

RAYMORE PLANNING AND ZONING COMMISSION AGENDA

Tuesday, May 15, 2018 - 7:00 p.m.

City Hall Council Chambers
100 Municipal Circle
Raymore, Missouri 64083

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Personal Appearances - None
5. Consent Agenda
 - a. Acceptance of Minutes from April 17, 2018 meeting
 - b. Case #18006 - Sunrise Commons Minor Plat
 - c. Case #18009 - Second Replat of Kirby Estates
6. Old Business - None
7. New Business
 - a. Case #18007 - Brightside Daycare Site Plan, 845 E. Walnut Street
 - b. Case #18010 - Kirby Estates Rezoning, "A" to "PO" (public hearing)
8. City Council Report
9. Staff Report
10. Public Comment
11. Commission Member Comment
12. Adjournment

Any person requiring special accommodation (i.e. qualified interpreter, large print, hearing assistance) in order to attend this meeting, please notify the City Clerk at (816) 331-0488 no later than forty-eight (48) hours prior to the scheduled commencement of the meeting.

Meeting Procedures

The following rules of conduct apply:

1. Public can only speak during the meeting under the following circumstances:
 - a. The citizen has made a formal request to the Community Development Department to make a personal appearance before the Planning Commission;
or,
 - b. A public hearing has been called by the Chairman and the Chairman has asked if anyone from the public has comments on the application being considered;
or
 - c. A citizen may speak under Public Comment at the end of the meeting.
2. If you wish to speak to the Planning Commission, please proceed to the podium and state your name and address. Spelling of your last name would be appreciated.
3. Please turn off (or place on silent) any pagers or cellular phones.
4. Please no talking on phones or with another person in the audience during the meeting.
5. Please no public displays, such as clapping, cheering, or comments when another person is speaking.
6. While you may not agree with what an individual is saying to the Planning Commission, please treat everyone with courtesy and respect during the meeting.

Every application before the Planning Commission will be reviewed as follows:

1. Chairman will read the case number from the agenda that is to be considered.
2. Applicant will present their request to the Planning Commission.
3. Staff will provide a staff report.
4. If the application requires a public hearing, Chairman will open the hearing and invite anyone to speak on the request.
5. Chairman will close the public hearing.
6. Planning Commission members can discuss the request amongst themselves, ask questions of the applicant or staff, and may respond to a question asked from the public.
7. Planning Commission members will vote on the request.

THE PLANNING AND ZONING COMMISSION OF THE CITY OF RAYMORE, MISSOURI, MET IN REGULAR SESSION TUESDAY, APRIL 17, 2018, IN THE COUNCIL CHAMBERS OF CITY HALL, 100 MUNICIPAL CIRCLE, RAYMORE, MISSOURI WITH THE FOLLOWING COMMISSION MEMBERS PRESENT: CHAIRMAN WILLIAM FAULKNER, KELLY FIZER, DON MEUSCHKE, MATTHEW WIGGINS, MARIO URQUILLA, AND MAYOR KRIS TURNBOW. ABSENT WERE ERIC BOWIE, MELODIE ARMSTRONG, AND CHARLES CRAIN. ALSO PRESENT WERE COMMUNITY DEVELOPMENT DIRECTOR JIM CADORET, ASSOCIATE PLANNER DAVID GRESS, AND CITY ATTORNEY JONATHAN ZERR.

1. Call to Order – Chairman Faulkner called the meeting to order at 7:00 p.m.
2. Pledge of Allegiance
3. Roll Call – Roll was taken and Chairman Faulkner declared a quorum present to conduct business.
4. Personal Appearances – None
5. Consent Agenda
 - a. Acceptance of minutes of March 20, 2018 meeting.

Motion by Commissioner Urquilla, Seconded by Commissioner Wiggins to accept the March 20, 2018 minutes as submitted.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Armstrong	Absent
Commissioner Bowie	Absent
Commissioner Crain	Absent
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Aye

Motion passed 6-0-0.

6. Old Business - None
7. New Business -
 - A. Case #18008 - Annual Review of the Growth Management Plan - (public hearing)

Associate Planner David Gress presented the annual report to the Commission, including the assessment of activity over the previous year; the assessment of progress towards implementing the goals, objectives and action steps outlined in the plan; an assessment of the plan's ability to support the City Council vision and goals; an assessment of the potential gaps in the plan; an update on other plans adopted by the City; and discussion on other issues deemed relevant by the Community Development Director.

Mr. Gress indicated that staff recommends an update to the Future Land Use Map and Transportation Master Plan depending on the results of the Land Use Inventory Analysis.

Chairman Faulkner opened the public hearing at 7:22 p.m.

No public spoke.

Chairman Faulkner closed the public hearing at 7:22 p.m.

Commissioner Fizer asked for clarification on what constitutes a mid-size tenant space that was referenced as an issue the City currently faces.

Mr. Gress explained that Economic Development Director Matt Tapp has expressed there is a need for lease space in buildings that generally fit into the C-2 "General Commercial" zoning district.

Commissioner Wiggins commented that a recent City Council work session there was much discussion on various projects, including office and retail development. He asked if there is an expectation on the number of employees these uses accommodate so the public knows what to expect from certain developments.

Chairman Faulkner indicated that the zoning of a parcel controls the future use of that parcel so you can expect office development in the PO "Professional Office District" and smaller retail uses in the C-1 "Neighborhood Commercial" district.

Mayor Turnbow stated he is part of the City Economic Development Team and he has been seeing recent activity in many areas of development, including residential, commercial and light-industrial. Raymore is getting recognized as the place for businesses to be.

Community Development Director Jim Cadoret commented that the City has set aside funding for work on preparation of a new plan since 2013. This funding would support efforts of City staff and the Commission to prepare a new plan. The current plan was completed in 2013 and staff anticipates work on a new plan to occur in 2020.

City Attorney Jonathan Zerr advised the Commission on language that could be included in a motion on the Case under consideration.

Motion by Commissioner Urquilla, Seconded by Commissioner Wiggins, to accept Case #18008 and direct staff to proceed with updating the Future Land Use Map and Transportation Master Plan depending upon the results of the Land Use Inventory Analysis and that these updates will be presented for consideration at a future Commission meeting.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Armstrong	Absent
Commissioner Bowie	Absent
Commissioner Crain	Absent
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Aye

Motion passed 6-0-0.

8. City Council Report

Mr. Zerr gave the City Council report for the March 12 Council meeting.

9. Staff Report

Community Development Director Jim Cadoret provided an overview of the upcoming cases to be considered by the Commission. Due to lack of cases for review the Commission has cancelled its May 1 meeting.

Mr. Gress provided an overview of the status of current City infrastructure projects.

10. Public Comment

None.

11. Commission Member Comment

Commissioner Meuschke asked about the status of Hawk Ridge Park.

Mr. Cadoret advised the Commission that staff are currently reviewing the construction bids that were submitted

Commissioner Meuschke asked about the future extension of the road south of Benton House.

Mr. Cadoret commented that the road segment is part of Johnston Drive that will eventually connect to Dean Avenue to the east.

Commissioner Fizer stated the Easter event held by the City was fun and mentioned the upcoming Summer Scene event scheduled for June 9th.

Commissioner Urquilla thanked staff for its work.

Mayor Turnbow thanked staff for its work.

Chairman Faulkner thanked staff for the educational material that is often included in the Commission packets.

12. Adjournment

Motion by Commissioner Urquilla, Seconded by Commissioner Wiggins to adjourn the April 17, 2018 Planning and Zoning Commission meeting.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Armstrong	Absent
Commissioner Bowie	Absent
Commissioner Crain	Absent
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Aye

Motion passed 6-0-0.

The April 17, 2018 meeting adjourned at 7:53 p.m.

Respectfully submitted,

Jim Cadoret

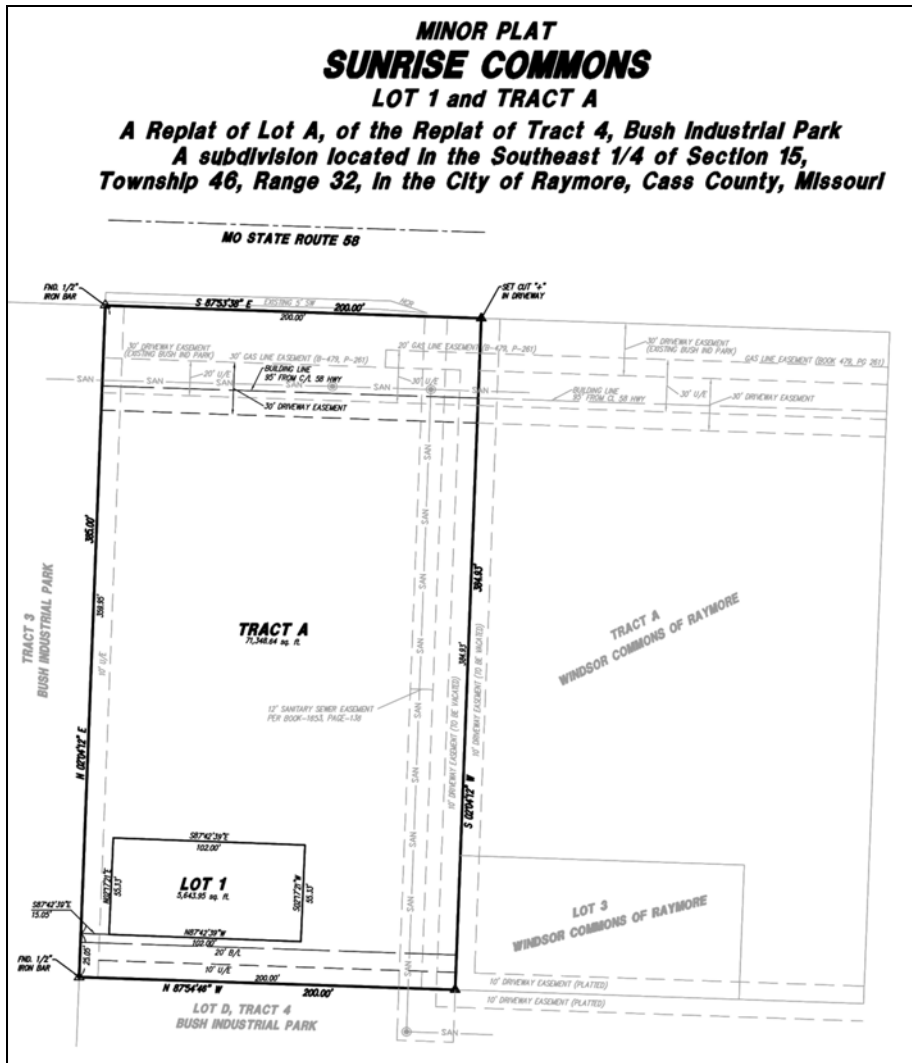


To: Planning and Zoning Commission
 From: City Staff
 Date: May 15, 2018
 Re: Case #18006 - Sunrise Commons Minor Plat

GENERAL INFORMATION

Applicant/ Property Owner: Jenny Winkler; Winkler-Llosa Development, LLC
 616 NW Brookhaven Drive
 Lee's Summit, MO 64081

Property Location: Generally located near the intersection of MO-58 Highway and J-Highway (S. Lincoln Road)



2016 Aerial Photograph:



Site Photographs:



(View looking south from MO-58 Highway, showing the northern property line and access drive).

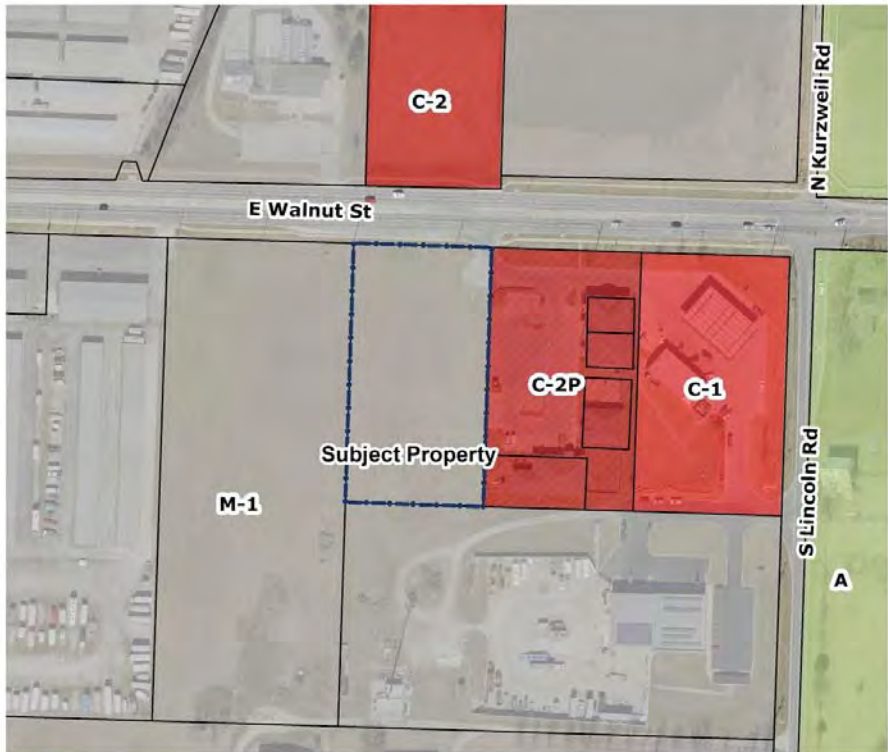


(View looking west from the eastern property line).



(View looking east toward Windsor Commons from the western property line).

Existing Zoning: "M-1" Light Industrial



Existing Surrounding Zoning: **North:** “C-2” General Commercial District
“M-1” Light Industrial District
South: “M-1” Light Industrial District
East: “C-2P” General Commercial Planned District
West: “M-1” Light Industrial District

Existing Surrounding Uses: **North:** Undeveloped
South: Light Industrial, Equipment Storage
East: Daycare, Professional Office
West: Undeveloped

Total Tract Size: 1.77 Acres/77,101.2 Square Feet

Total Number of Lots: 1

Growth Management Plan: The Future Land Use Plan Map contained in the Growth Management Plan identifies this property as appropriate for Business Park development.

Major Street Plan: The Major Thoroughfare Plan Map contained in the Growth Management Plan has E. Walnut St. (MO-58) classified as a Major Arterial.

Advertisement: City Ordinance does not require advertisement for Minor Plats.

Public Hearing: City Ordinance does not require a public hearing for Minor Plats

PROPOSAL

Outline of Requested Action: The applicant seeks to obtain Final Plat approval for Sunrise Commons.

City Ordinance Requirements: In order for the applicant to accomplish the aforementioned action they must meet the provisions of the Unified Development Code. Chapter 470 of the Unified Development Code outlines the requirements and actions that need to be taken in order to final plat property, specifically, Section 470.130.

PREVIOUS ACTIONS ON OR NEAR THE PROPERTY

- The Bush Industrial Park Plat was approved by the Raymore City Council on August 27, 1990.
- The Replat of Bush Industrial Park Tract 4, which created the subject property, was recorded on June 11, 1996.

- The Windsor Commons of Raymore Plat, a replat of Bush Industrial Park Tract 4, located directly to the east was approved by the City of Raymore on February 12, 2007 and recorded on March 30, 2007.
- The site plan for the Windsor Commons of Raymore office building(s) was approved by the Planning and Zoning Commission on March 7, 2006.

ENGINEERING DIVISION COMMENTS

The Engineering Department has reviewed the application and recommends approval of the proposed plat. Please refer to the attached memorandum for specific comments.

STAFF COMMENTS

- The development standards applicable to the property are as follows:

	M-1
Minimum Lot Area	
per lot	None
per dwelling unit	-
Minimum Lot Width (feet)	100
Minimum Lot Depth (feet)	100
Yards, Minimum (feet)	
front	30
rear	20
side	10
side, abutting residential district	20
Maximum Building Height (feet)	80
Maximum Building Coverage (%)	50

The proposed plat complies with all of the applicable standards for the “M-1” Light Industrial District.

- The applicant also is also requesting to vacate an existing 20’ wide driveway easement along the eastern property line. If approved, the applicant shall reflect the vacation of the easement on the approved plat.

STAFF PROPOSED FINDINGS OF FACT

Section 470.130 of the Unified Development Code states that the Planning and Zoning Commission will recommend approval and the City Council will approve the final plat if it finds the final plat:

1. **is substantially the same as the approved preliminary plat;**

A Minor Plat does not require an approved preliminary plat.

2. **complies with all conditions, restrictions and requirements of this Code and of all other applicable ordinances and design standards of the City; and;**

The proposed final plat does comply with all conditions, restrictions and requirements of the Unified Development Code and all other applicable ordinances and design standards for the City.

3. **complies with any condition that may have been attached to the approval of the preliminary plat.**

There is no preliminary plat on file for the subject property.

REVIEW OF INFORMATION AND SCHEDULE

<u>Action</u>	<u>Planning Commission</u>	<u>City Council 1st</u>	<u>City Council 2nd</u>
Review	May 15, 2018	June 11, 2018	June 25, 2018

STAFF RECOMMENDATION

Staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and forward Case #18006 Sunrise Commons Minor Plat to the City Council with a recommendation of approval, subject to the following condition:

1. If approved, the applicant shall revise the plat to reflect the vacation of the 20' wide driveway easement along the eastern property line.

Memorandum

TO: Planning and Zoning Commission
FROM: Greg Rokos, Assistant Director of Public Works - Engineering
DATE: 5/3/2018
RE: Final Plat - Sunrise Commons

The Public Works and Engineering Department has reviewed the Final Plat application for the Sunrise Commons and determined that the plans and specifications comply with the standards adopted by the City of Raymore.

Staff recommends approval of this application.

MINOR PLAT SUNRISE COMMONS

LOT 1 and TRACT A

**A Replat of Lot A, of the Replat of Tract 4, Bush Industrial Park
A subdivision located in the Southeast 1/4 of Section 15,
Township 46, Range 32, in the City of Raymore, Cass County, Missouri**

PROPERTY DESCRIPTION:
All of Lot A, Replat of Tract 4, Bush Industrial Park, a subdivision in the City of Raymore, Cass County, Missouri. Containing 76,992.59 sq. ft. or 1.76 Acres.

EASEMENTS:
An easement or license is hereby granted to the City of Raymore to locate, construct and maintain or to authorize the location, construction and maintenance of conduits, gas, water, sewer lines, poles, wires, anchors and surface drainage and all or any of them over, under and along the strips of land designated as "Utility Easement" or by the abbreviation of "U/E" on the accompanying plat.
Reciprocal easements are hereby dedicated over driveway and parking areas to permit vehicular access to and from the property and parking areas to permit all owners and invitees to drive, park or walk, or allow their invitees to park their motor vehicles on this plat and site plat recorded in conjunction with the Declarations of Covenants outlining said rights of ingress and egress. These easements for vehicular and individual access to and from the property is established for the plat of SUNRISE COMMONS, LOT 1 AND TRACT A, A REPLAT OF LOT A, OF THE REPLAT OF TRACT 4, BUSH INDUSTRIAL PARK, over the entirety of Tract A for the benefit of present and future owners of Lot 1 and and future platted lots, their mortgagees, tenants and business invitees.

STREETS:
Street right-of-way shown on the accompanying plat not heretofore dedicated to public use is hereby dedicated.

DEDICATION:
The undersigned proprietors of the above described tract of land have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall hereafter be known as "SUNRISE COMMONS, LOT 1 AND TRACT A".

In testimony whereof: The Winkler-Llosa Development, LLC, a Missouri Limited Liability Company has caused these presents to be signed by its Member this _____ day of _____, _____.

Jenny Winkler - Member

State of Missouri }
County of Cass } SS

On this _____ day of _____, _____, before me personally appeared Jenny Winkler, who being by me sworn did say that he is the sole member of The Winkler-Llosa Development, LLC, a Missouri Limited Liability Company and that said instrument was signed in behalf of said Company by its Member and to be the free act and deed of said Company.

In witness whereof: I have hereunto set my hand and affixed my Notarial Seal at my office the day and year last above written.

Notary Public in and for Cass County, Missouri

This plat of SUNRISE COMMONS, LOT 1 AND TRACT A, has been submitted and approved by the Raymore Planning and Zoning Commission this _____ day of _____, _____.

Planning Commission Secretary

This plat of SUNRISE COMMONS, LOT 1 AND TRACT A, including easements and right-of-ways accepted by the City Council has been submitted to and approved by the Raymore City Council by Ordinance No. _____ duly passed and approved by the Mayor of Raymore, Missouri on this _____ day of _____, _____.

Mayor

ATTEST:

City Clerk

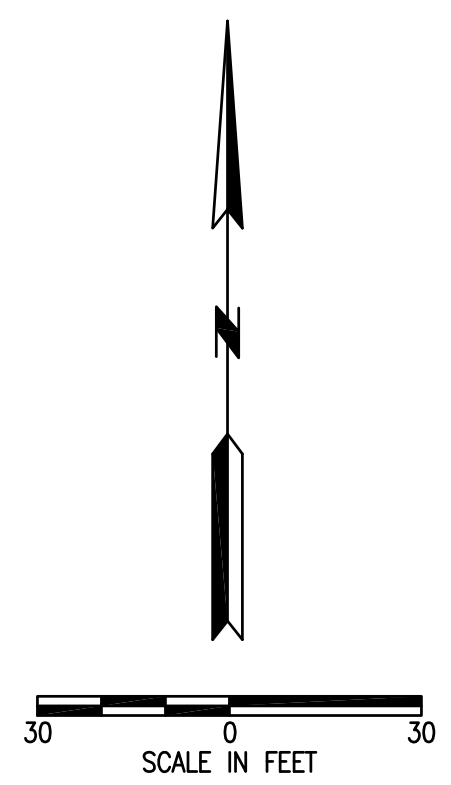
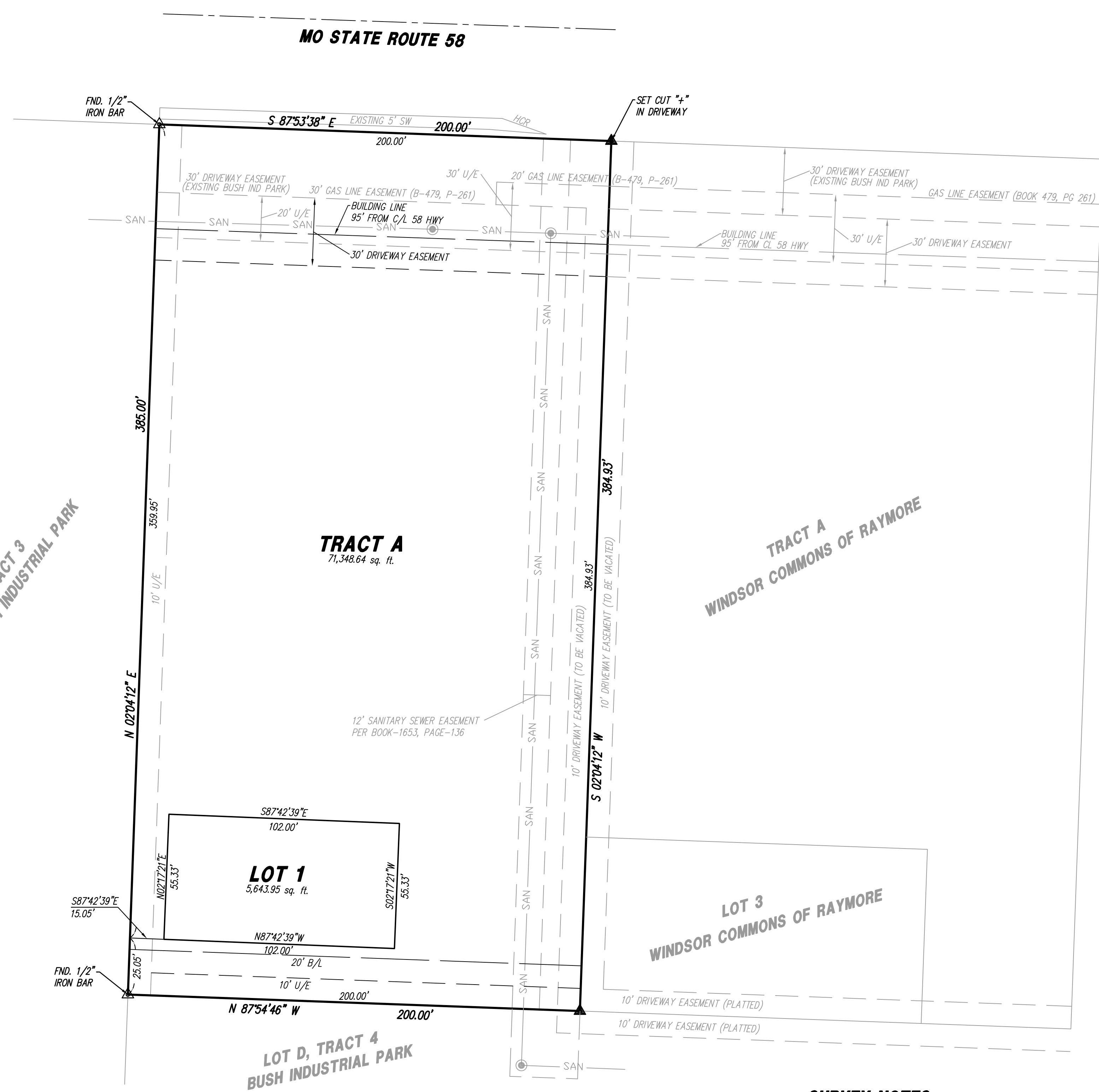
City Engineer

Entered on transfer record this _____ day of _____, _____.

Deputy County Recorder of Deeds

I hereby certify that the within plat of **SUNRISE COMMONS, LOT 1 AND TRACT A**, is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS as adopted by the Missouri Board for Architects, Professional Engineers, and Land Surveyors and the Missouri Department of Natural Resources further certify that the Section and Sectional Subdivision corner monuments and survey boundary corner monuments were either found or set as indicated on this plat; that I have with all State and City of Raymore statutes, ordinances and regulations governing the practice of surveying and platting of subdivisions to the best of my knowledge and belief.

Branton E. Ladwig, LS-2006016633
APRIL 23, 2018
IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THIS PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES.



KEY:
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
△ INDICATES MONUMENT FOUND
▲ INDICATES SET 1/2" IRON BAR, PLS 2006016633

LADWIG & ASSOCIATES, LLC.
LAND SURVEYORS
33604 E. 235th Street
Pleasant Hill, Missouri 64080
816-309-6621

Missouri Certificate of Authority
Land Surveying - LS-2012028511

OWNER
The Winkler-Llosa Development, LLC.
616 NW. Brookhaven Drive
Lee's Summit, MO. 64081
816-246-4269
Contact: Jenny Winkler

SURVEY NOTES:
1. △ Denotes Found Monumentation as noted.
2. All front and rear lot corners to be set with 1/2" Iron Bars with plastic cap unless otherwise noted.
3. The Parent Tract for this Survey is the Replat of Tract 4, Bush Industrial Park, recorded in Book 14 at Page 8, in the Cass County Recorder of Deeds Office.
4. This Survey meets or exceeds the accuracy standards of an "Urban Property" Survey.
5. Bearings are based on Missouri State Plane Grid.
6. Per Flood Insurance Rate Map, City of Raymore, Cass County, Missouri, Community Panel Number 290070 0037 F, revised January 2, 2013, the property falls in Zone X, defined as area determined to be outside the 0.2% annual chance floodplain.



To: Planning and Zoning Commission
From: City Staff
Date: May 15, 2018
Re: Case #18009 - Replat of Kirby Estates (Final Plat)

GENERAL INFORMATION

Applicant: Compass Health Network - Pathways Community Health
616 Burkarth Road
Warrensburg, MO 64093

Property Owner: VOE, LLC
704 W. Foxwood Drive
Raymore, MO 64083

Property Location: Generally the northeast corner of MO-58 and Sunset Lane



2016 Aerial Photograph:



Site Photographs:



(View looking north from along Sunset Lane from the southwest corner of the property).



(View looking east from the western property line).



(View of the south end of the existing pond).

Existing Zoning: "A" Agricultural District

Existing Surrounding Zoning: **North:** "R-1" Single Family Residential District

South: "PO" Professional Office District

East: "R-1" Single Family Residential District

West: "R-3B" Apartment Community Residential District

Existing Surrounding Uses: **North:** Undeveloped

South: Undeveloped

East: Single Family Residential

West: Commercial, Undeveloped

Total Tract Size: 8.23 Acres

Total Number of Lots: 1

Growth Management Plan: The Future Land Use Plan Map contained in the Growth Management Plan identifies this property as appropriate for Low Density Residential Development

Major Street Plan: The Major Thoroughfare Plan Map contained in the Growth Management Plan has E. Walnut St. (MO-58) classified as a Major Arterial.

Advertisement: City Ordinance does not require advertisement for Minor Plats.

Public Hearing: City Ordinance does not require a public hearing for Minor Plats

PROPOSAL

Outline of Requested Action: The applicant seeks to obtain Final Plat approval for the Replat of Kirby Estates.

City Ordinance Requirements: In order for the applicant to accomplish the aforementioned action they must meet the provisions of the Unified Development Code. Chapter 470 of the Unified Development Code outlines the requirements and actions that need to be taken in order to final plat property, specifically, Section 470.130.

PREVIOUS ACTIONS ON OR NEAR THE PROPERTY

- The original plat of Kirby Estates was approved by the City on July 11, 1983.

- The Wedgewood Place subdivision, directly to the east of the subject property was approved by the City on September 2, 1986.
- Kirby estates was replatted and further subdivided and approved on January 27, 1992.
- The 1.8 acres of land at the southern end of the site, currently zoned as "PO" Professional Office district, was rezoned from "A" Agricultural District on March 10, 1997.
- The 5.6 acres to the south of the site, currently zoned "C-2" General Commercial District, was rezoned from "A" Agricultural District on March 10, 1997.
- The Preliminary Plat for Madison Valley, the residential subdivision directly to the north, was approved by the City on September 27, 2004. The preliminary plat for the remaining undeveloped portion has since expired.
- The Raymore Market Center, which includes Price Chopper and other commercial tenants to the southwest, was approved by the City on January 22, 2007.
- The tract of land to the west, commonly known as Raymore Senior Village, was platted and rezoned from "R-2" Single and Two Family Residential District to "R-3B" Apartment Community Residential District September 24, 2012.

ENGINEERING DIVISION COMMENTS

The Engineering Department has reviewed the application and recommends approval of the proposed plat. Please refer to the attached memorandum for specific comments.

STAFF COMMENTS

1. The applicant has also submitted an application requesting to reclassify the zoning of the subject property from "A" Agricultural District to "PO" Professional Office District.
2. The southern portion of the site, roughly 1.8 acres was rezoned from "A" Agricultural District to "PO" Professional Office District on March 10, 1997.
3. As part of the development on the site, Sunset Lane will be extended to the northern property line.

4. Adequate ROW already exists for the extension of Sunset Lane. No additional ROW is required as part of this plat.
5. A 10' utility easement is being dedicated along the western property line to accommodate the future extension of the water line and other public utilities.

STAFF PROPOSED FINDINGS OF FACT

Section 470.130 of the Unified Development Code states that the Planning and Zoning Commission will recommend approval and the City Council will approve the final plat if it finds the final plat:

1. **is substantially the same as the approved preliminary plat;**

A Minor Plat does not require an approved preliminary plat.

2. **complies with all conditions, restrictions and requirements of this Code and of all other applicable ordinances and design standards of the City; and;**

The proposed final plat does comply with all conditions, restrictions and requirements of the Unified Development Code and all other applicable ordinances and design standards for the City.

3. **complies with any condition that may have been attached to the approval of the preliminary plat.**

There is no preliminary plat on file for the subject property.

REVIEW OF INFORMATION AND SCHEDULE

<u>Action</u>	<u>Planning Commission</u>	<u>City Council 1st</u>	<u>City Council 2nd</u>
Review	May 15, 2018	June 11, 2018	June 25, 2018

STAFF RECOMMENDATION

Staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and forward Case #18009 Replat of Kirby Estates to the City Council with a recommendation of approval.

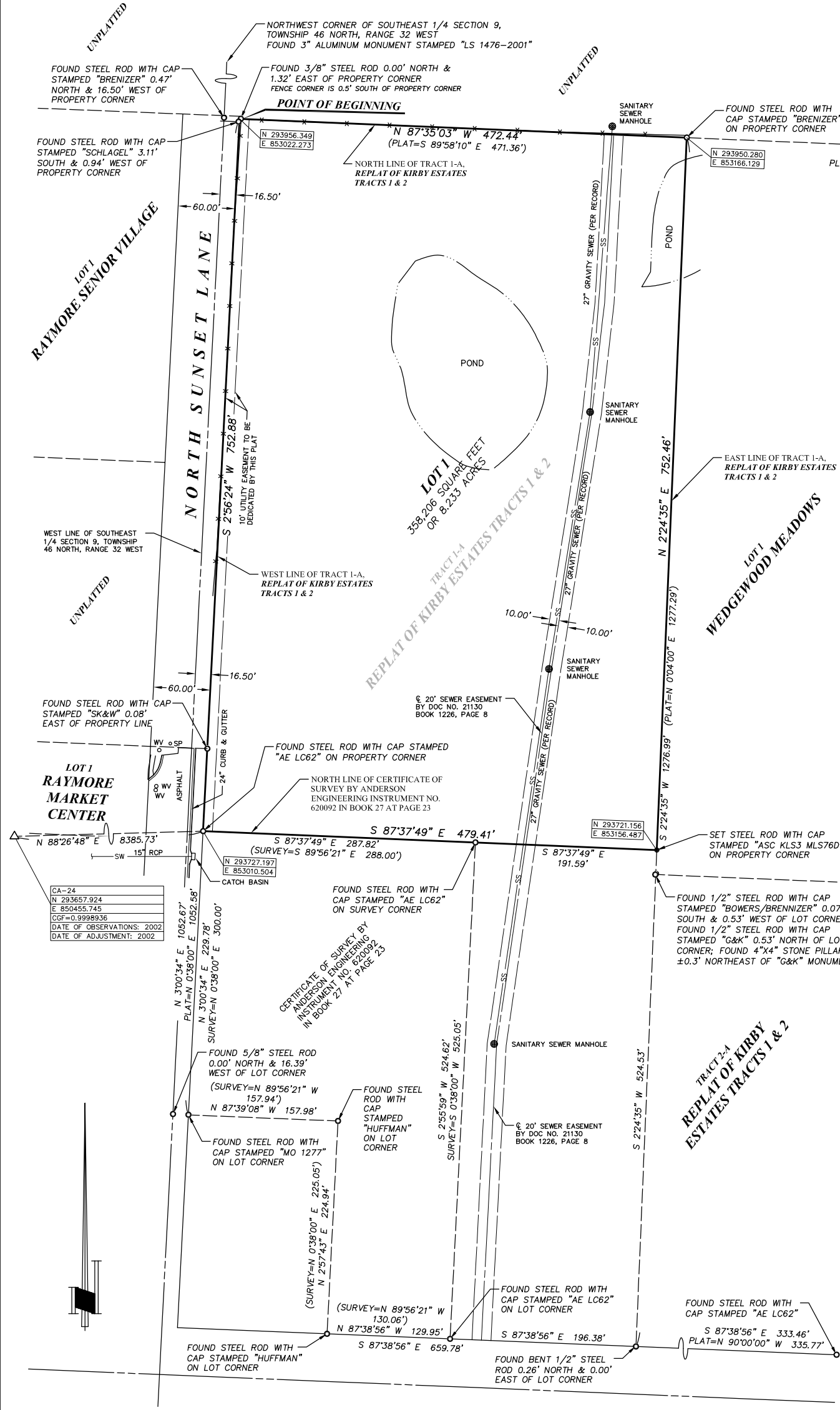
Memorandum

TO: Planning and Zoning Commission
FROM: Greg Rokos, Assistant Director of Public Works - Engineering
DATE: 5/3/2018
RE: Final Plat - Kirby Estates

The Public Works and Engineering Department has reviewed the Final Plat application for the Replat of Kirb Estates and determined that the plans and specifications comply with the standards adopted by the City of Raymore.

Staff recommends approval of this application.

MINOR PLAT
"SECOND REPLAT OF KIRBY ESTATES"
 A MINOR SUBDIVISION IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 46 NORTH, RANGE 32 WEST
 RAYMORE, CASS COUNTY, MISSOURI



DESCRIPTION:
 THAT PART OF TRACT 1-A, REPLAT OF KIRBY ESTATES TRACTS 1 & 2, A SUBDIVISION IN RAYMORE, CASS COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID TRACT 1-A; THENCE SOUTH 2°-56'-24\"/>

THE ABOVE DESCRIPTION WAS PREPARED BY ANDERSON SURVEY COMPANY AND IS A PORTION OF THE PROPERTY DESCRIBED IN DOCUMENT NO. 105408 IN BOOK 1559 AT PAGE 240.

PLAT DEDICATION:
 THE UNDERSIGNED OWNER(S) OF THE PROPERTY DESCRIBED HEREIN HAS/HAVE CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THIS PLAT AND THE PROPERTY SHALL HEREAFTER BE KNOWN AS:

"SECOND REPLAT OF KIRBY ESTATES"

EASEMENT INFORMATION:
 THE EASEMENT INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM A TITLE REPORT ISSUED BY STEWART TITLE GUARANTY COMPANY, REPORT NO. 01530-4358, DATED MARCH 27, 2018.

1. EXCEPTION ITEMS 1, 2A, 2D, 2E, 3, 4, 5, 6, 14, & 15 ARE NOT SURVEY RELATED ITEMS, THEREFORE ARE NOT ADDRESSED HEREON.
2. EXCEPTION ITEM 2B STATES "EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS" - ANDERSON SURVEY COMPANY IS NOT AWARE OF ANY UNRECORDED EASEMENTS AFFECTING THE SUBJECT PROPERTY
3. EXCEPTION ITEM 2C STATES "ANY ENCROACHMENTS, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED AN AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND"
4. EXCEPTION ITEM 7 STATES "BUILDING LINES, EASEMENTS AND RESTRICTIONS SHOWN ON THE PLAT OF KIRBY ESTATES RECORDED 08/09/1983 IN PLAT BOOK 9 AND PAGE 41" - THERE DO NOT APPEAR TO BE ANY BUILDING LINES, EASEMENTS OR RESTRICTIONS ON SAID PLAT THAT AFFECT THE SUBJECT PROPERTY
5. EXCEPTION ITEM 8 STATES "BUILDING LINES, EASEMENTS AND RESTRICTIONS SHOWN ON THE PLAT OF RE-PLAT OF KIRBY ESTATES TRACTS 1 AND 2 RECORDED 01/31/1992 IN PLAT BOOK 12 AND PAGE 178" - THERE DO NOT APPEAR TO BE ANY BUILDING LINES, EASEMENTS OR RESTRICTIONS ON SAID PLAT THAT AFFECT THE SUBJECT PROPERTY
6. EXCEPTION ITEM 9 STATES "MATTERS DISCLOSED BY CERTIFICATE OF SURVEY RECORDED 01/23/2018, AS DOCUMENT NO. 620092 IN BOOK 27 AT PAGE 23" - THERE DO NOT APPEAR TO BE ANY EASEMENTS AFFECTING THE SUBJECT PROPERTY SHOWN ON SAID CERTIFICATE OF SURVEY.
7. EXCEPTION ITEM 10 STATES "RIGHT OF WAY GRANTED TO THE GAS SERVICE COMPANY AS MORE FULLY SET FORTH IN THE INSTRUMENT RECORDED IN BOOK 479 AT PAGE 256" - THIS EASEMENT DOES NOT APPEAR TO AFFECT THE SUBJECT PROPERTY
8. EXCEPTION ITEM 11 STATES "STANDARD SEWER EASEMENT GRANTED TO RAYMORE, A MISSOURI MUNICIPALITY AS MORE FULLY SET FORTH IN THE INSTRUMENT RECORDED AS DOCUMENT NO. 21130 IN BOOK 1226 AT PAGE 8" - AS SHOWN HEREON
9. EXCEPTION ITEM 12 STATES "PERMANENT DRAINAGE EASEMENT GRANTED TO THE CITY OF RAYMORE, MISSOURI AS MORE FULLY SET FORTH IN THE INSTRUMENT RECORDED AS DOCUMENT NO. 110606 IN BOOK 1580 AT PAGE 148" - THIS EASEMENT DOES NOT APPEAR TO AFFECT THE SUBJECT PROPERTY
10. EXCEPTION ITEM 13 STATES "TEMPORARY EASEMENT GRANTED TO THE CITY OF RAYMORE, MISSOURI AS MORE FULLY SET FORTH IN THE INSTRUMENT RECORDED AS DOCUMENT NO. 110607 IN BOOK 1580 AT PAGE 149" - THIS EASEMENT DOES NOT APPEAR TO AFFECT THE SUBJECT PROPERTY

FLOOD INFORMATION:
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, MAP NO. 29037C0029F, REVISED JANUARY 2, 2018, THIS PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN THEREON

UTILITY EASEMENTS DEDICATION:
 AN EASEMENT OR LICENSE IS HEREBY GRANTED TO THE CITY OF RAYMORE, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, ANCHORS, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENTS" (U.E.), OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE ON THIS PLAT.

IN TESTIMONY WHEREOF:
 STATE OF _____)
 COUNTY OF _____) SS

BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CAME _____, TO ME, PERSONALLY KNOWN TO BE THE SAME PERSON WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND DULY ACKNOWLEDGED THE EXECUTION OF SAME, IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND YEAR ABOVE WRITTEN.

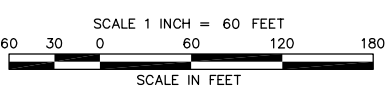
IN WITNESS WHEREOF:
 I HAVE HEREUNTO SET MY HAND AND AFFIXED MY SEAL AT MY OFFICE IN SAID COUNTY AND STATE, THE DAY AND YEAR LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC _____ PRINT NAME _____

OWNER/DEVELOPER
 PATHWAY COMMUNITY HEALTH
 ATTENTION: ALISSA KARNES
 616 BURKARTH ROAD
 WARRENSBURG, MISSOURI 64093
 PHONE: (660)747-8216
 ALT. PHONE: (573)578-8888
 E-MAIL: akarnes@compasshn.org

SURVEYOR
 ANDERSON SURVEY COMPANY
 ATTENTION: JAMES S. ANDERSON, PLS
 203 N.W. EXECUTIVE WAY
 LEE'S SUMMIT, MISSOURI 64063
 PHONE: (816)246-5050
 FAX: (816)246-0502
 E-MAIL: jsa@andersonsurvey.com

THE BEARING AND COORDINATE SYSTEM SHOWN HEREON IS BASED ON MISSOURI COORDINATE SYSTEM OF 1983, WEST ZONE



PLANNING AND ZONING COMMISSION:
 THIS PLAT OF "SECOND REPLAT OF KIRBY ESTATES" HAS BEEN SUBMITTED TO AND APPROVED BY THE RAYMORE PLANNING AND ZONING COMMISSION THIS _____ DAY OF _____, 20____.

SECRETARY _____
CITY COUNCIL:
 THIS PLAT OF "SECOND REPLAT OF KIRBY ESTATES", INCLUDING EASEMENTS AND RIGHTS-OF-WAY ACCEPTED BY THE CITY COUNCIL, HAS BEEN SUBMITTED TO AND APPROVED BY THE RAYMORE CITY COUNCIL BY ORDINANCE NO. _____, DULY PASSED AND APPROVED BY THE MAYOR OF RAYMORE, MISSOURI, ON THE _____ DAY OF _____, 20____.

(SEAL) _____ MAYOR _____
 ATTEST: _____ CITY CLERK _____ CITY ENGINEER _____

RECORDER OF DEEDS:
 ENTERED ON TRANSFER RECORD THIS _____ DAY OF _____, 20____.

DEPUTY COUNTY RECORDER OF DEEDS _____



MINOR PLAT	
THIS IS TO CERTIFY THAT THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS AND LANDSCAPE ARCHITECTS AND MEETS OR EXCEEDS THE ACCURACY STANDARDS OF A CLASS URBAN SURVEY.	
DATE: MARCH 8, 2018 FOR: PATHWAY COMMUNITY HEALTH COMPASS HEALTH NETWORK 616 BURKARTH ROAD WARRENSBURG, MO 64093 ATTN: ALISSA KARNES	PROJECT LOCATION: RAYMORE CASS COUNTY MISSOURI
 ANDERSON SURVEY COMPANY 203 N. W. EXECUTIVE WAY LEE'S SUMMIT, MISSOURI 64063 (816) 246-5050	
MISSOURI STATE CERTIFICATE OF AUTHORITY, 000076	
JAMES S. ANDERSON, PLS #1726	



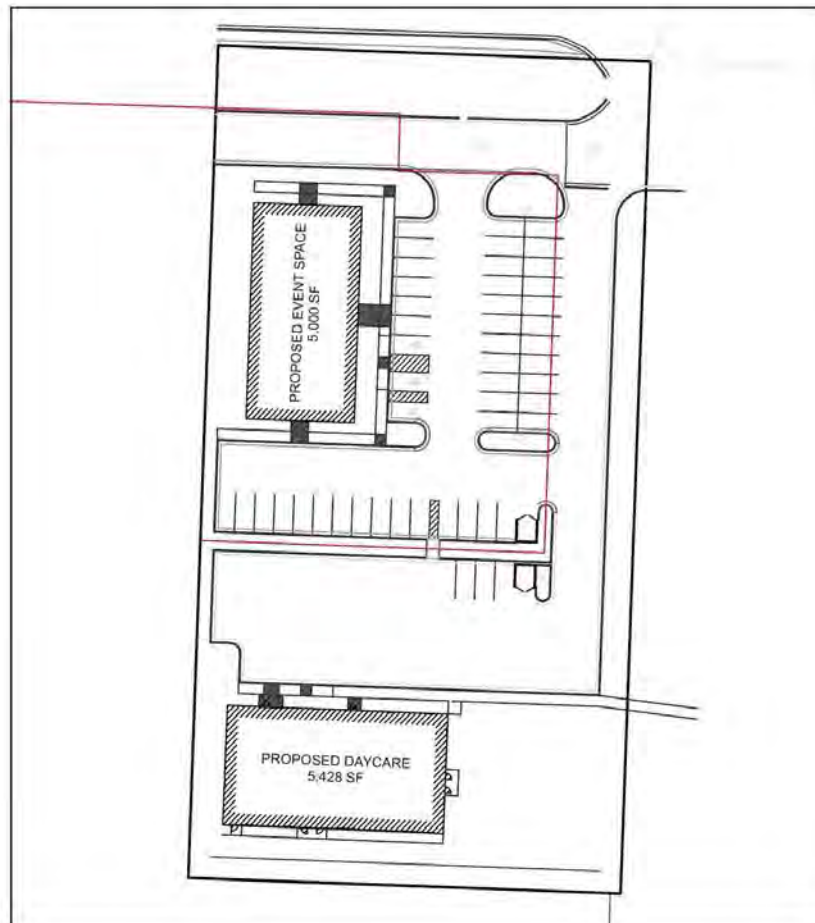
To: Planning and Zoning Commission
From: City Staff
Date: May 15, 2018
Re: Case #18007 - Brightside Daycare Center Site Plan

GENERAL INFORMATION

Applicant/ Jenny Winkler; Winkler-Llosa Development, LLC
Property Owner: 616 NW Brookhaven Drive
Lee's Summit, MO 64081

Requested Action: Site Plan approval for a 5,400 SF daycare building and a 5,000 SF auxillary building/event center.

Property Location: Generally located near the intersection of MO-58 Highway and J-Highway (S. Lincoln Road)



Aerial Photograph:



Property Photographs:



(View looking south from MO-58 Highway, showing the northern property line and access drive).



(View looking west from the eastern property line).



(View looking east toward Windsor Commons from the western property line).

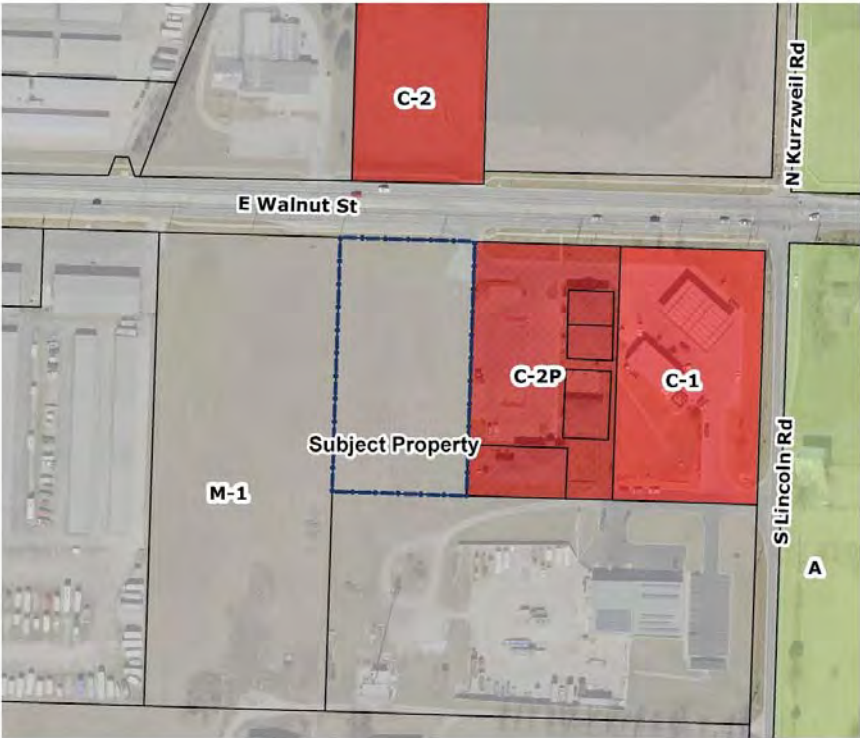


(View looking east along the southern property line)



(View looking east from the existing daycare facility to the west. The proposed outdoor play area will connect to the existing play area shown above).

Existing Zoning: “M-1” Light Industrial District



2. the convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent areas or roads;
3. the adequacy of waste disposal methods and protection from pollution of surface or ground water;
4. the protection of historic and environmental features on the site under review and in adjacent areas;
5. the stability of the built environment, particularly residential neighborhoods, by promoting urban development which is compatible with clearly identified natural resources; and
6. the adequacy of provisions for resulting additional system demands which may be imposed by the development upon roads and streets, water supply and storage, storm sewerage, and sanitary sewerage and wastewater treatment and the consistency of the development with the City's Growth Management Plan.

B. Applicability

1. All applications for building permits for developments in the multi-family, commercial and industrial zoning districts are subject to site plan review in accordance with this section. All nonresidential uses in residential districts require site plan review.
2. No building permit will be issued without being granted site plan approval when it is required by this subsection.

C. Application

Applications for site plan review may be obtained from the Community Development Director. The application must be completed in its entirety in accordance with Section 470.010C and filed with the Community Development Director. The applicant must submit copies in accordance with the submission schedule regularly adopted by the Planning and Zoning Commission.

D. Procedure

1. Community Development Director Action
 - a. All site plans will be reviewed by the Community Development Director.
 - b. The Community Development Director has the authority to take final action (approve, conditionally approve or deny) on applications for:
 - (1) developments that have an approved site plan on file where the application proposes to expand the existing use by less than 10 percent or 5,000 square feet, whichever is less; or
 - (2) developments that have an approved site plan on file where the application proposes to modify signage, parking, landscaping or other minor feature and the proposed modifications will be in compliance with all requirements of this Code.
 - c. The Community Development Director must complete the review within 20 days of receiving a complete application.

2. Planning and Zoning Commission Action

With the exception of those cases identified in paragraph 1 above, all other applications for site plan review will be reviewed by the Community Development Director, and forwarded to the Planning and Zoning Commission for review and action. The Commission has the authority to take final action, and may approve, approve with conditions or disapprove the application.

3. Conditions of Approval

In approving a site plan, the Planning and Zoning Commission or, when applicable the Community Development Director, may impose reasonable conditions, safeguards and restrictions upon the applicant and the premises.

E. Findings of Fact

1. In order to be approved, the Community Development Director or Planning and Zoning Commission must find that the following conditions are met:
 - a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;
 - b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;
 - c. the proposed use is allowed in the district in which it is located;
 - d. vehicular ingress and egress to and from the site, and circulation within the site provides provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;
 - e. the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;
 - f. the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services;
 - g. open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;
 - h. the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;
 - i. provides adequate parking for the use, including logical and safe parking and circulation;
 - j. provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes

native plant materials selected to withstand the local climate and individual site microclimates; and

- k. includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.

F. Effect of Approval

If the Planning and Zoning Commission or, when applicable, the Community Development Director approves a site plan, it will be considered permission to prepare and submit a building permit application that complies with the approved site plan and conditions of approval.

G. Appeals

1. The applicant may appeal the decision of the Community Development Director to the Planning and Zoning Commission.
 - a. The applicant must notify the Community Development Director of their intent to appeal within 10 days of the date of decision from the Community Development Director.
 - b. The Community Development Director will schedule the appeal for the next regularly scheduled Planning and Zoning Commission meeting which is no sooner than 15 days from the date the intent to appeal was filed.
 - c. The applicant must provide an additional 15 review copies of the drawings and the additional required fee along with the intent to appeal.
2. The applicant may appeal the decision of the Planning and Zoning Commission to the City Council.
 - a. The applicant must notify the Community Development Director of their intent to appeal, in writing, within 10 days of the date of the Planning and Zoning Commission meeting when the application was considered.
 - b. The Community Development Director will schedule the appeal for the next regularly scheduled City Council meeting provided it is at least 15 days from the date the intent to appeal was filed.
 - c. The applicant will provide an additional 15 review copies of the drawings along with the intent to appeal.

PREVIOUS ACTIONS ON THE PROPERTY

- The Bush Industrial Park Plat was approved by the Raymore City Council on August 27, 1990.
- The Replat of Bush Industrial Park Tract 4, which created the subject property, was recorded on June 11, 1996.
- The Windsor Commons of Raymore Plat, a replat of Bush Industrial Park Tract 4, located directly to the east was approved by the City of Raymore on February 12,

2007 and recorded on March 30, 2007.

- The site plan for the Windsor Commons of Raymore office building(s) was approved by the Planning and Zoning Commission on March 7, 2006.

ENGINEERING DIVISION COMMENTS

The Engineering Department has reviewed the application and recommends approval of the proposed site plan. Please refer to the attached memorandum for specific comments.

STAFF COMMENTS

1. **Development Standards:** The development standards applicable to the property are as follows:

	M-1
Minimum Lot Area	
per lot	None
per dwelling unit	-
Minimum Lot Width (feet)	100
Minimum Lot Depth (feet)	100
Yards, Minimum (feet)	
front	30
rear	20
side	10
side, abutting residential district	20
Maximum Building Height (feet)	80
Maximum Building Coverage (%)	50

2. **Special Use Conditions:** Section 420.030C outlines the special use conditions for a day care facility as follows:

Day Care Homes and Centers

- a. Day care homes and centers must be licensed by and in compliance with all State and local laws governing such facilities, when applicable.
- b. Any outdoor areas used by the facility as recreational areas must be enclosed by a fence no less than 42 inches in height.
- c. Day care homes and centers must include designated safe unloading (drop-off) and loading (pick-up) areas for children.

The proposed Site Plan complies with all of the required special conditions.

3. **Parking:** A daycare facility and an auxiliary/event space must comply with the following parking requirements:

Use	Minimum Parking Spaces Required
Day Care	1 per 600 square feet; there must be a minimum of 2 spaces.+ 2 spaces for drop-off/pick-up.
Sports and Recreation, Participant	
Indoor	1 per 200 square feet

The proposed 5,428 square foot daycare facility requires 10 parking spaces, and the proposed auxiliary/event space requires 25 spaces, for a total of 35 required parking spaces.

The proposed daycare facility (phase 1) has provided 32 parking spaces. Two of which are handicapped-accessible.

The proposed auxiliary/event space (phase 2) has provided 46 spaces. Three of which are handicapped-accessible.

The proposed site plan complies with the parking requirements for the proposed uses.

4. Landscaping

Twenty percent (20%) of the lot is required to be reserved for landscaped area. A landscaped area a minimum of six feet in width shall be provided along all street frontages and along all perimeter property lines. A total of twenty-two percent (22%) of the site is provided with landscaping. Adequate landscaping has been provided along all property lines.

A Type-B screen is required along the eastern property line, to provide screening between the property to the east, which is zoned C-2P. Adequate screening has been provided along the eastern property line.

A total of 4 trees are required between the parking lot area and the adjacent streets. 4 trees have been provided.

The required trees and shrubs in the parking lot landscape islands are provided.

5. Building Design:

The proposed building is in compliance with the building design standards contained in Section 440.010 listed below.

Section 440.010 Building Design Standards

C. Building Materials

1. Masonry Construction

A minimum of 50 percent of front and side facades shall consist of materials described by this sub-section.

- a. Masonry construction shall include all masonry construction which is composed of solid, cavity, faced or veneered-wall construction, or similar materials approved by the Planning and Zoning Commission.
- b. Stone materials used for masonry construction may consist of granite, sandstone, slate, limestone, marble or other hard and durable all-weather stone. Ashlar, cut stone and dimensioned stone construction techniques are acceptable.
- c. Brick material used for masonry construction shall be composed of hard-fired (kiln-fired), all weather common brick or other all-weather common brick or all-weather-facing brick.
- d. Concrete finish or precast concrete panel (tilt wall) construction shall be exposed or aggregate, hammered, sandblasted or other finish as approved by the Planning and Zoning Commission.
- e. Stucco or approved gypsum concrete/plaster materials are also permitted.

2. Glass Walls

Glass walls shall include glass-curtain walls or glass-block construction. A glass-curtain wall shall be defined as an exterior wall which carries no floor or roof loads and which may consist of a combination of metal, glass and other surfacing materials supported in a metal frame.

3. Metal Walls

- a. The use of metal siding is permitted only in industrial districts and only for side and rear façades. The materials used on the front façade shall be incorporated into any façade visible from a public street to break up the monotony of those facades.
- b. The use of corrugated panels, with a depth of less than three-quarter inch or a thickness less than U.S. Standard 26 gauge is prohibited.
- c. The use of unpainted metal panels, excluding panels made from copper, weathering steel, or stainless steel, is prohibited. The color finish of metal panels and exposed fasteners shall have extended durability with high resistance to fade and chalk.
- d. Corrugated metal facades shall be complemented with masonry, whether brick, stone, stucco or split-face block. Architectural metal panels may be an acceptable substitute for masonry. Appropriate landscaping shall be used to complement and enhance a building's design, color and material.

6. Pedestrian Access:

Pedestrian Access to the building has been provided. A sidewalk will be constructed along the east side of the detention basin along MO-58, and will extend along the eastern property line, connecting to the sidewalk along the front of the building.

7. Signage: A master signage plan was not submitted with the application. Signage is not approved as part of the site plan but can be shown for illustration purposes only. A sign permit is required prior to installation of any sign in the future.

8. Fire District Review: The site plan was reviewed by the South Metropolitan Fire Protection District. Per the Fire District's request, a fire hydrant was added to the site along the western property line, between the two proposed buildings.

The South Metropolitan Fire Protection District requires the issuance of a building permit from the district. This permit is in addition to the building permit issued by the City of Raymore.

9. Stormwater Management: Stormwater will be collected on site and discharged to a retention pond located along 58 Highway. Once treated, water will be transmitted from the retention pond into an existing stormwater inlet on 58 Highway.

The applicant has designed a regional detention facility, which will be able to serve the proposed development, as well as future development on the site to the west. A Stormwater Maintenance Agreement is required for the proposed facility.

10. Site Lighting: The proposed site lighting plan is in compliance with the outdoor lighting performance standards for the City.

11. Trash Enclosure: The proposed site plan included two trash enclosures (one associated with each phase). Both enclosures will be screened by a brick wall designed to match the building.

12. Screening of Mechanical Equipment: All electrical and mechanical equipment located adjacent to the building shall be screened from view from adjacent properties and any adjacent street. Accessory utility facilities that are in excess of 3 ½ feet shall be screened. The landscape plan shows adequate screening around the equipment.

13. Site Access: Access to the site will be provided off of 58 Highway. The driveway off of 58 Highway will connect to an existing service drive, which will be extended to serve the site.

The access drive will also serve future development on the site to the west.

STAFF PROPOSED FINDINGS OF FACT

Section 470.160 of the Unified Development Code states that the Planning and Zoning Commission and the City Council must make findings of fact taking into consideration the following:

- a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;**

The site plan does comply with all applicable standards of the Unified Development Code and all other applicable City ordinances and policies.

- b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;**

The site plan does not conflict with any of the adopted master plans of the City or the purpose and intent of the Unified Development Code.

- c. the proposed use is allowed in the district in which it is located;**

A daycare facility is a permitted use in the "M-1" Light Industrial Zoning District, subject to compliance with all special conditions. The proposed site plan is in compliance with the required special conditions.

- d. vehicular ingress and egress to and from the site, and circulation within the site provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;**

Vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of vehicles. Access to the site is provided from an access drive which connects to 58 Highway.

- e. the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;**

The site plan does provide for safe, efficient and convenient movement of pedestrians. Sidewalks are provided to allow pedestrians to access the site from MO-58 Highway.

- f. the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services;**

The placement of the building allows the efficient use of the land. The proposed development is compatible to the existing development to the east, and minimizes

visual and physical impact on other adjacent properties.

- g. open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;**

There are no unique natural resource features on the site that need to be preserved.

- h. the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;**

The property is mostly flat, and requires very little alteration to the existing topography. There are no existing trees or natural watercourses on the property that need to be preserved or protected.

- i. provides adequate parking for the use, including logical and safe parking and circulation;**

Parking for the use meets the minimum requirement and is provided in a logical manner. Circulation through the site is well planned.

- j. provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates; and**

Adequate landscaping is provided for the site. Adjoining uses are compatible, but the change in zoning classifications between the subject property and property to the east requires a Type-B screen along the eastern property line. Adequate screening between the properties has been provided.

- k. includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.**

The site illumination has been designed and located to minimize adverse impacts on adjacent properties.

REVIEW OF INFORMATION AND SCHEDULE

Action
Site Plan Review

Planning Commission
May 15, 2018

STAFF RECOMMENDATION

The staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and approve Case #18007 Brightside Daycare Center Site Plan subject to the following conditions:

Prior to commencement of any land disturbance activities:

1. State of Missouri and City of Raymore land disturbance permits shall be obtained prior to the commencement of any site grading or land disturbance activities.
2. All erosion control measures identified on the site disturbance plan and required by the land disturbance permit must be installed prior to grading and these measures must be maintained until the requirements of the SWPPP are satisfied.

Prior to issuance of a Building Permit

3. Building construction plans shall be reviewed and approved by the Building Official.
4. Applicant must receive approval from the Raymore City Council for the vacation of the 20' wide driveway easement that exists along the eastern property line (Case #18005)

Prior to issuance of a Certificate of Occupancy:

5. All accessible parking spaces must be identified by signs complying with the Manual of Uniform Traffic Control Devices and the Department of Justice, Code of Federal Regulation 28 CFR Part 36, ADA Standards for Accessible Design. The sign must be vertically mounted on a post or wall no more than five feet from the space and centered on the width of the space.
6. Two of the accessible parking spaces shall be served by an access aisle a minimum of ninety-six inches wide and shall be designated "lift van accessible only" with signs that meet the requirements of the federal Americans with Disabilities Act.
7. If the electrical transformer box and any other accessory utility facility is taller than three and one-half feet or covers more than twenty-five square feet in area than it must be screened in accordance with Section 420.040D of the Unified Development Code.

8. All work shall be completed in accordance with the site plan approved by the Planning and Zoning Commission.

Perpetual Conditions:

9. Prior to removing erosion control measures at the conclusion of the project, the contractor must obtain concurrence from the City.
10. A signed copy of the weekly and post rain event erosion control inspection reports shall be submitted to the City upon completion of each report.
11. Owner must immediately notify City staff of any illicit discharge that enters or has the potential to enter the storm sewer system.

Memorandum

TO: Planning and Zoning Commission
FROM: Greg Rokos, Assistant Director of Public Works - Engineering
DATE: 5/3/2018
RE: Site Plan -Brightside Daycare

The Public Works and Engineering Department has reviewed the Site Plan application for the Brightside Daycare and determined that the plans and specifications comply with the standards adopted by the City of Raymore.

Staff recommends approval of this application.

BRIGHTSIDE DAY CARE AND FUTURE BUILDING 2

RAYMORE, CASS COUNTY, MISSOURI

FINAL DEVELOPMENT PLAN

UTILITIES

City of Raymore
 Building Inspections Division
 100 Municipal Circle
 Raymore, Mo.
 816-331-2377

KCPCL
 130 SE Hamblen Road
 Lee's Summit, Mo.
 816-347-4320

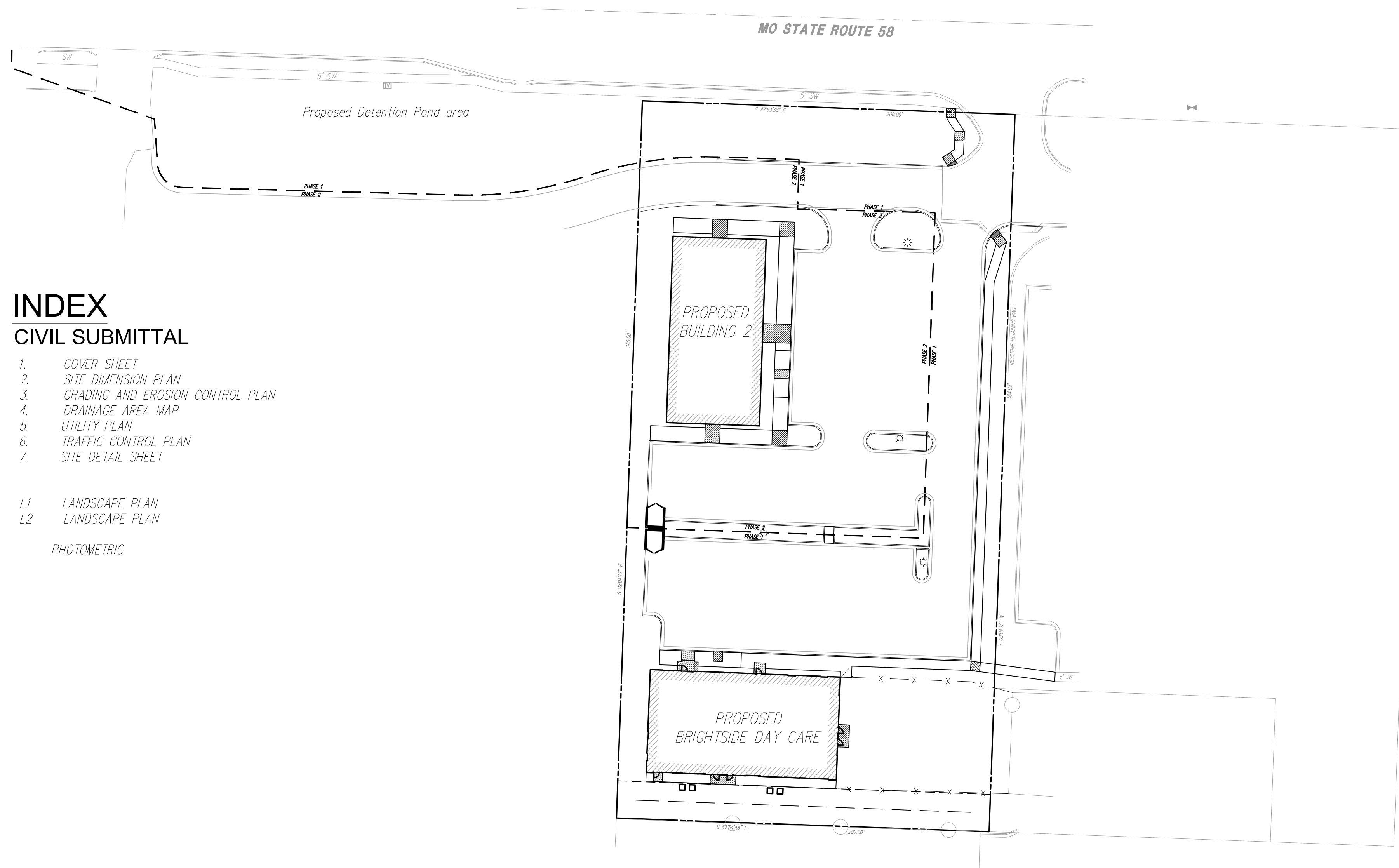
Spire (formerly MGE)
 (Administrative Offices)
 3025 SE Clover Road
 Lee's Summit, MO
 816-537-4681

AT&T
 Craig Perkins
 500 E. 8th Street
 Kansas City, MO 64106
 816-275-2721

Comcast
 New Construction Hotline
 866-771-2281

Missouri One Call
 1-800-344-7483

Water Main Taps
 816-331-2377



INDEX

CIVIL SUBMITTAL

1. COVER SHEET
2. SITE DIMENSION PLAN
3. GRADING AND EROSION CONTROL PLAN
4. DRAINAGE AREA MAP
5. UTILITY PLAN
6. TRAFFIC CONTROL PLAN
7. SITE DETAIL SHEET

- L1 LANDSCAPE PLAN
 L2 LANDSCAPE PLAN

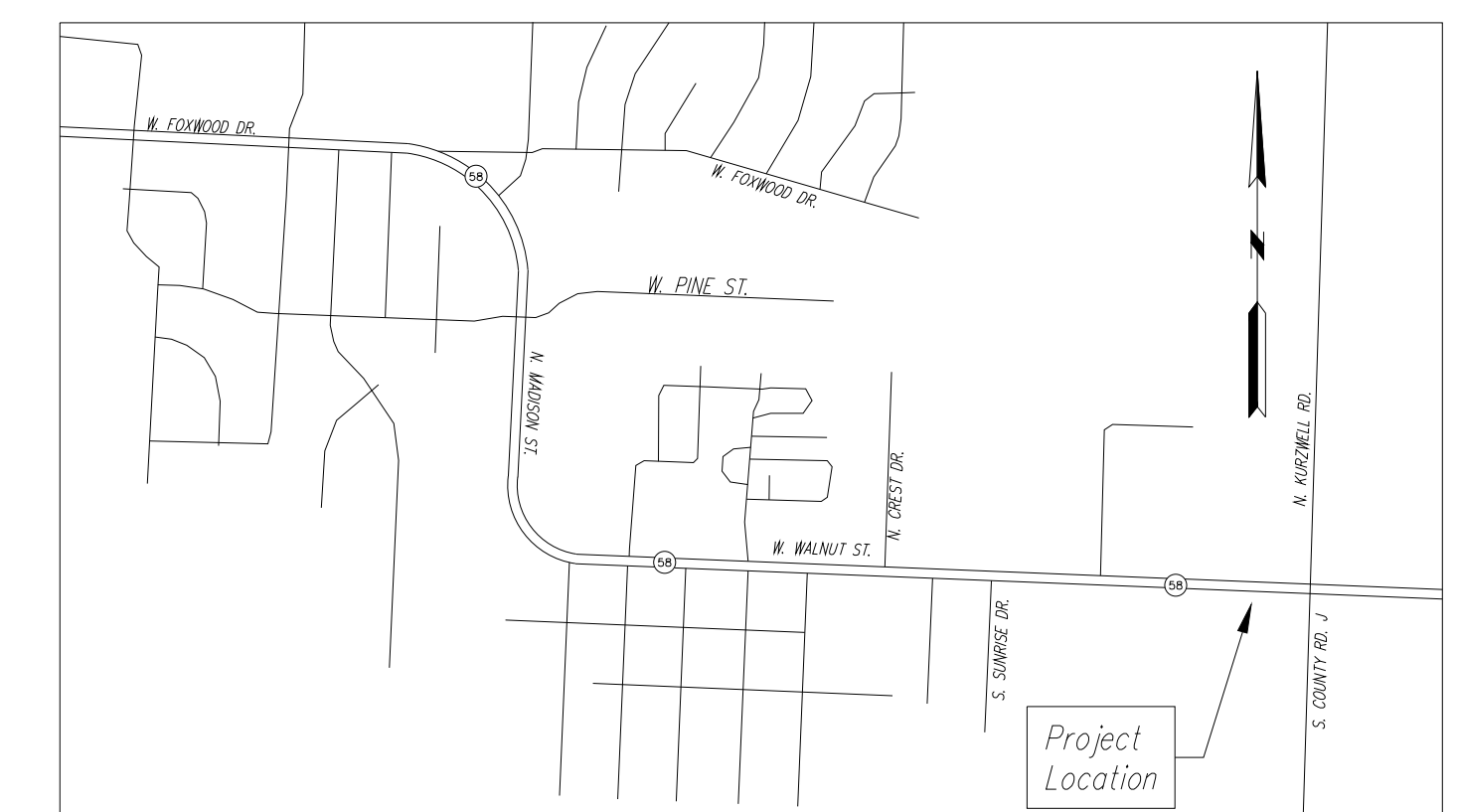
PHOTOMETRIC



PROJECT BENCHMARK:
 Top of Storm Sewer Catch Basin lid at north east corner of site in Right of Way.
 N: 960140.3990'
 E: 2805705.9150'
 TOP ELEV. 1037.58

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

VICINITY MAP



PLANS PREPARED FOR
The Winkler-Llosa Development, LLC
 616 NW Brookhaven Drive
 Lee's Summit, MO 64081
 816-246-4269
 Contact: Jenny Winkler

GENERAL NOTES:

1. The underground utilities shown herein have been plotted from available information and do not necessarily reflect the actual existence, or nonexistence, size, type, number, or locations of these or other utilities. The contractor shall be responsible for verifying the actual locations of all underground utilities, shown or not shown, and said utilities shall be located in the field prior to any grading, excavation, or construction of improvements. These provisions shall in no way absolve any party from complying with the "UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT", Chapter 319, RSMO.
2. Gas, Water, and other Utilities shall not conflict with the depth or horizontal location of existing and proposed sanitary and storm sewers, including building laterals.
3. Prior to submittal of construction bids, the Contractor shall be required to visit the site to verify existing conditions and proposed improvements.
4. The Contractor shall be responsible for notification and coordination with all Utility Companies.
5. The Contractor shall notify the Engineer immediately of any discrepancies in the plans.
6. All sidewalks shall be ADA compliant.
7. All curb shall be CO-1 unless otherwise noted.

NO.	BY	CHK/APP	DATE	REVISION
1	EDH	PKS	05/07/18	City Comments 04/09/18



5/1/18
Consult Inc
 engineers
 planners
 CORPORATE LICENSE No. E2010005873

COVER SHEET

BRIGHTSIDE DAY CARE CENTER
 RAYMORE - CASS COUNTY - MISSOURI

XREF NO. 171556
DRAWING NO. 17053
DATE JANUARY 25, 2018
JOB NO. 17053

MO STATE ROUTE 58

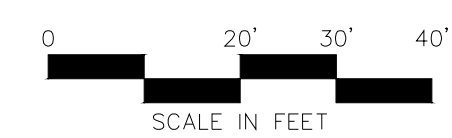
DETENTION POND
(See Storm Water Report for
Detention Pond Details)

PHASE 1
PHASE 2
Future Drive to match
common drive.
Future Drive with
development of Tract 3

FUTURE BUILDING
5000 SF

LOT A, TRACT 4
BUSH INDUSTRIAL PARK

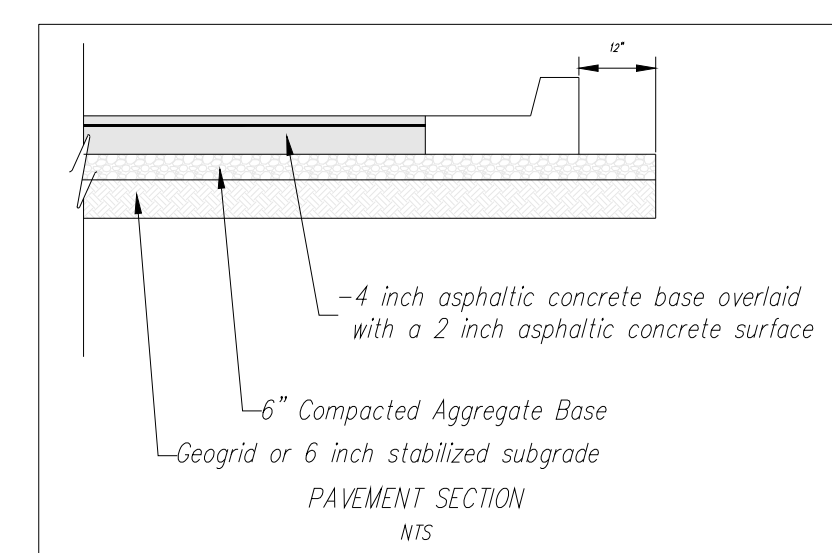
PROPOSED DAY CARE
5428 SF



- Pavement
- Heavy Duty Concrete Section to be 8" poured concrete over 6" aggregate on 6" stabilized subgrade.
- Phase Line
- Channel centerline
- 4' Tall Chain Link Fence

Level landing = Minimum 5' x 5' sidewalk with no slope greater than 2% in any direction.

All level landings to have a minimum of 18" of level pavement beyond the pull/latch side of all ada doorways designated with "LEVEL LANDING"



SITE INFORMATION:
Legal Description: LOT A, TRACT 4, BUSH INDUSTRIAL PARK
Zoning: M-1, Light Industrial
Lot Area: 76,974 SF (1.77 AC)
Building Area (GFA):
5,428 SF (Day Care) and 5,000 SF (Building 2)
FAR: .14 to 1
Parking Space Required:
Day Care: 1 space/600 SF = 10 + 2 = 12 spaces
Building 2: 1 space/200 SF = 25 spaces
Parking Spaces Provided: 78 spaces
ADA Spaces Required/Provided: 4/5
Standard Space Size: 9'x18'

- NOTES:
- All construction and materials to conform to the city and the specifications and details per the Kansas City Metro Chapter APWA. It is advisable that the contractor become familiar with this document in the event that there is a discrepancy between this and the approved plan and the Manual. Advise the design engineer of any discrepancy prior to bidding or working on this project.
 - Silt fence shall be installed at the perimeter of all disturbed areas within the site during construction for erosion control.
 - Contractor shall contact the Public Works Inspections 48 hours prior to commencement of work at (816) 331-1852.
 - Contractor to locate and relocate any existing utilities that may conflict with construction as necessary.
 - All curb shall be CG-1 or integral with the sidewalk.
 - A handicap parking sign, 5' above finish grade, shall be placed at the head of the designated parking space.
 - There shall be two way traffic movement.
 - Perimeter parking area dimensions shown are to the back of curb. Parking space striping is measured to face of curb.
 - All mechanical equipment shall be screened to 100% opacity and match building material (See Architectural Submittal). (Height of screen shall equal the height of mechanical equipment that is being screened).
 - See architectural submittal for all building dimensions, monument signs and lighting details.
 - This lot is not in a flood plane per FIRM Panel 37 of 480, Map No. 29037C0037r, dated Jan. 2, 2013.
 - ADA accessible ramp to have detectable surface on public handicap ramps only. Detectable surfaces do not need to be installed on the ramps at commercial drives. See KCAPWA web site for details.
 - Building coordinates are pointed to or measured at the outside face of building foundation corners. Contractor shall confirm building dimensions with structural drawings.
 - Other coordinates are pointed to or measured from the back of curb, back of wall or property corner location.
 - Contractor shall coordinate building entrances, egresses, walkways and door locations with architectural and structural drawings.
 - See architectural/structural/mechanical/electrical drawings for miscellaneous site equipment and pods.
 - Curb to be installed at proposed drives by saw cutting a clean straight edge of existing asphalt and forming curb to edge of gutter existing elevation.

NO.	BY	CHK/APP
1	EDH	RKS

DATE	REVISION
05/07/18	City Comments 04/09/18

5/1/18
R. KEVIN STERRETT, NO. E 28440

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8

SITE DIMENSION PLAN

BRIGHTSIDE DAY CARE CENTER
RAYMORE - CASS COUNTY - MISSOURI

XREF NO.	171556
DRAWING NO.	17053
DATE	JANUARY 25, 2018
JOB NO.	17053
SHEET	7

NO.	BY	DATE	REVISION
1	EDH	04/09/18	City Comments 04/09/18



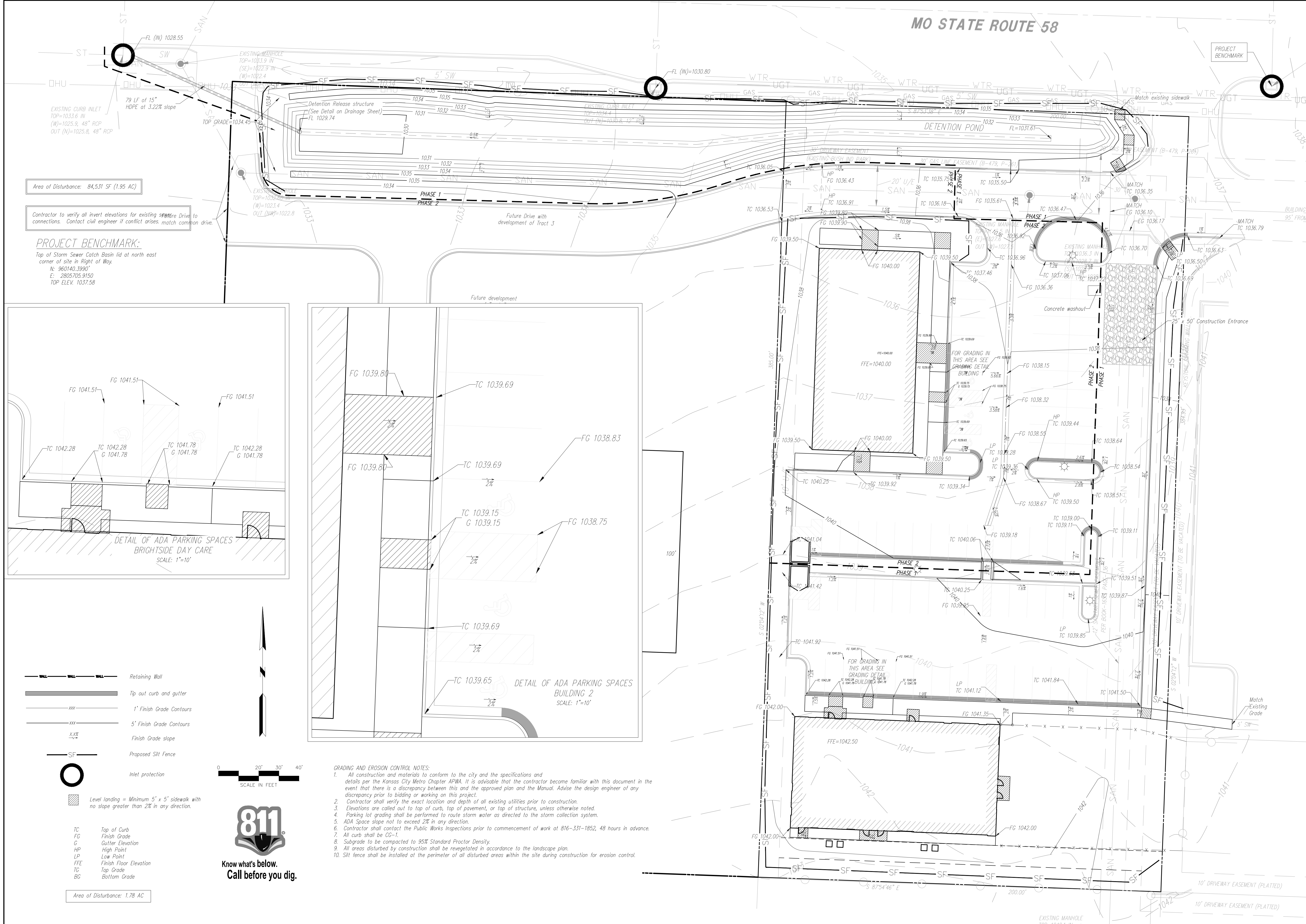
5/1/18

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GRADING AND EROSION CONTROL PLAN
BRIGHTSIDE DAY CARE CENTER
RAYMORE - CASS COUNTY - MISSOURI

XREF NO.	171556
DRAWING NO.	17053
DATE	JANUARY 25, 2018
JOB NO.	17053

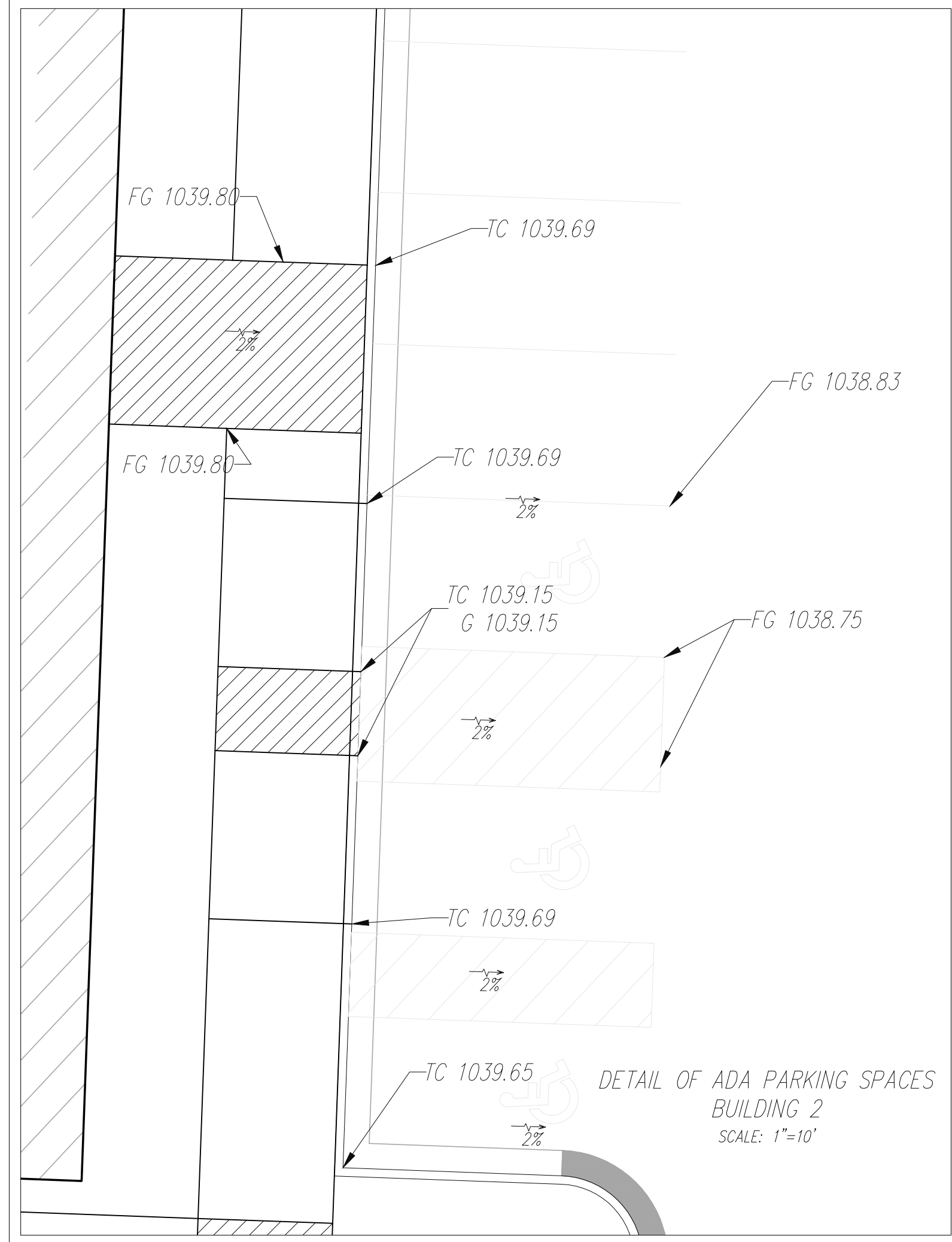
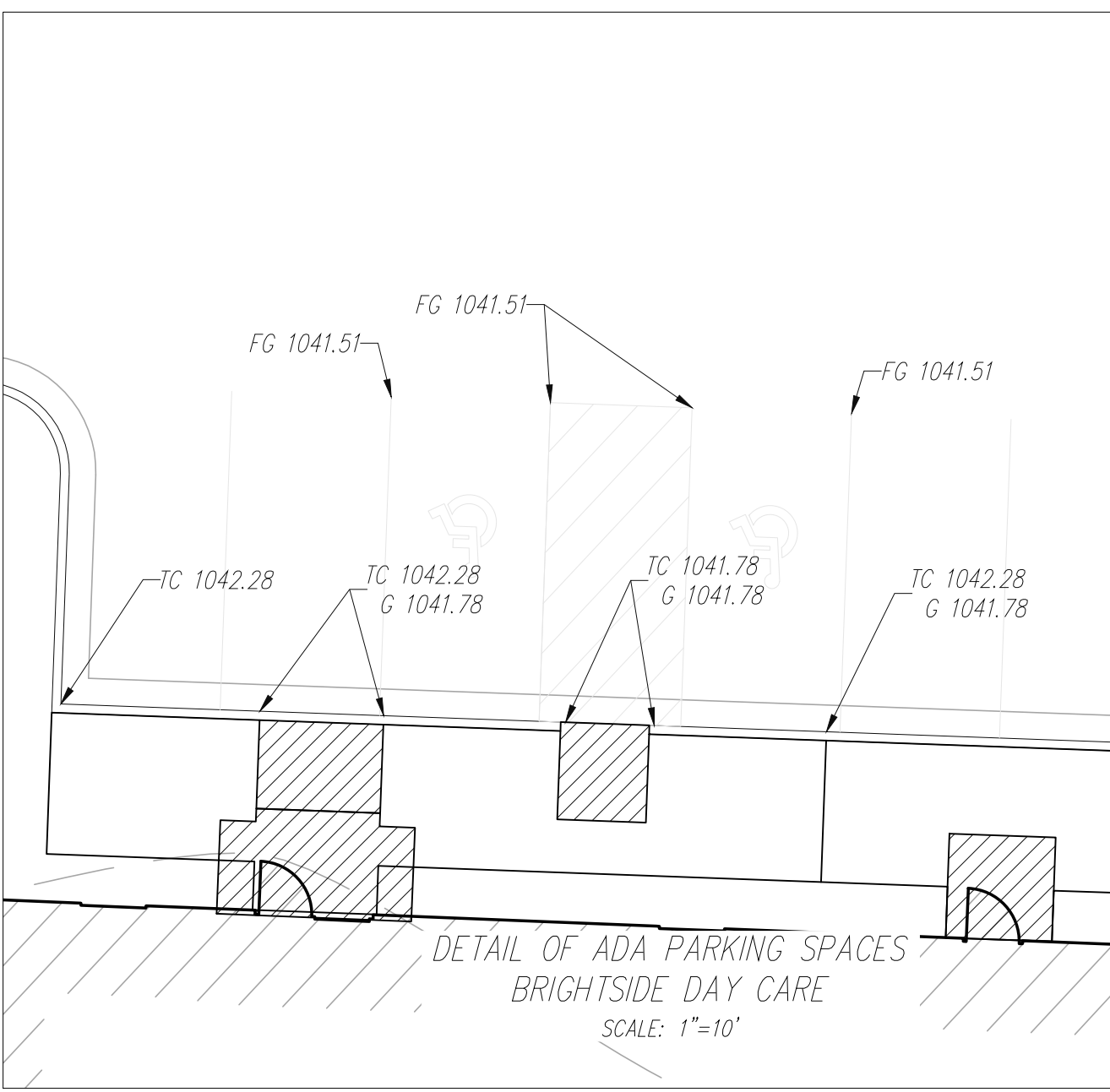
3 SHEET OF 7



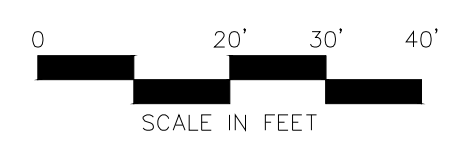
Area of Disturbance: 84,531 SF (1.95 AC)

Contractor to verify all invert elevations for existing Sewer Drive to connections. Contact civil engineer if conflict arises, match common drive.

PROJECT BENCHMARK:
Top of Storm Sewer Catch Basin lid at north east corner of site in Right of Way.
N: 960140.3990'
E: 2805705.9150'
TOP ELEV. 1037.58



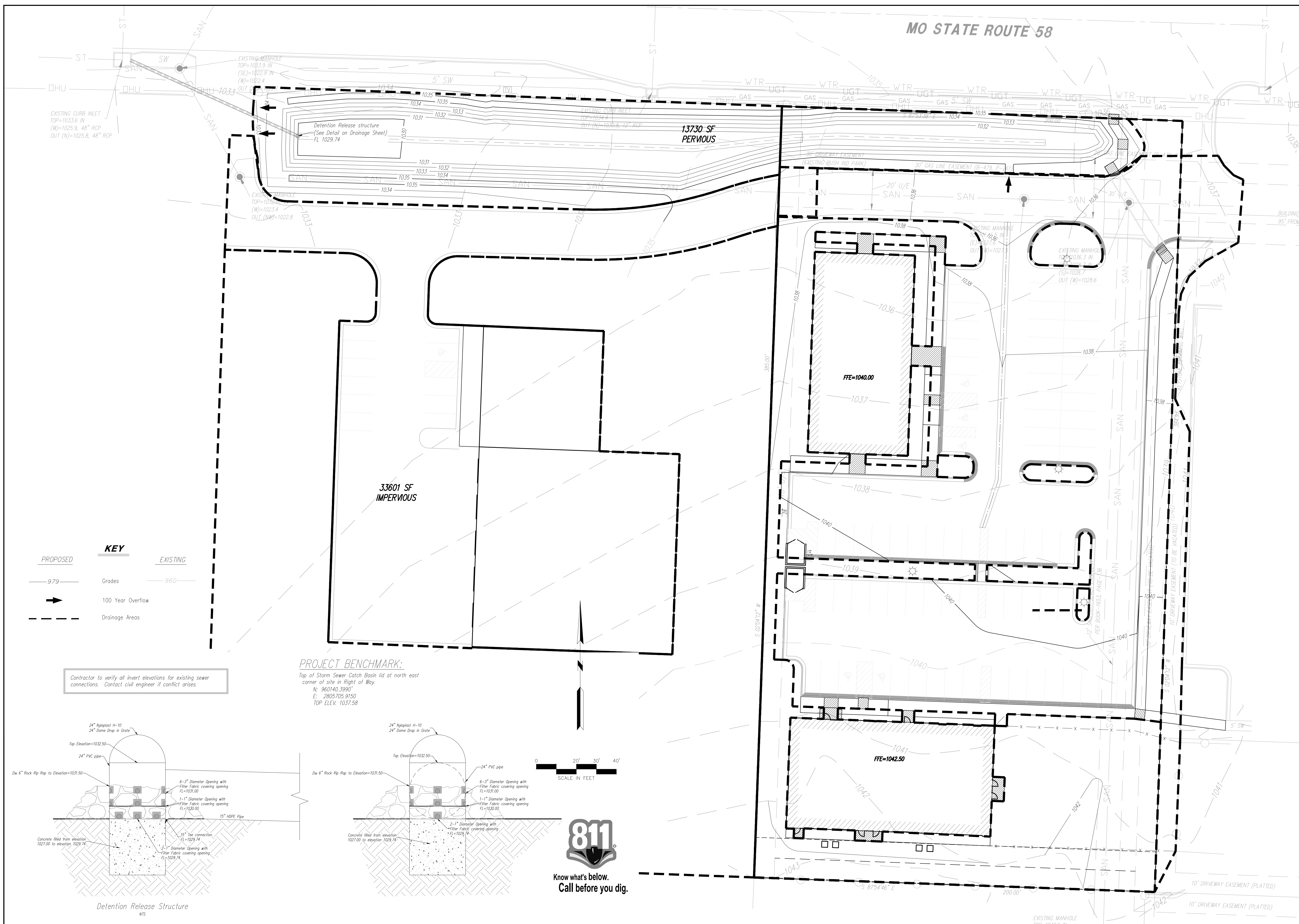
- Retaining Wall
- Tip out curb and gutter
- 1' Finish Grade Contours
- 5' Finish Grade Contours
- Finish Grade slope
- Proposed Silt Fence
- Inlet protection



- TC Top of Curb
- FG Finish Grade
- G Gutter Elevation
- HP High Point
- LP Low Point
- FFE Finish Floor Elevation
- TG Top Grade
- BG Bottom Grade

Area of Disturbance: 1.78 AC

- GRADING AND EROSION CONTROL NOTES:**
- All construction and materials to conform to the city and the specifications and details per the Kansas City Metro Chapter APIWA. It is advisable that the contractor become familiar with this document in the event that there is a discrepancy between this and the approved plan and the Manual. Advise the design engineer of any discrepancy prior to bidding or working on this project.
 - Contractor shall verify the exact location and depth of all existing utilities prior to construction.
 - Elevations are called out to top of curb, top of pavement, or top of structure, unless otherwise noted.
 - Parking lot grading shall be performed to route storm water as directed to the storm collection system.
 - ADA Space slope not to exceed 2% in any direction.
 - Contractor shall contact the Public Works inspections prior to commencement of work at 816-331-1852, 48 hours in advance.
 - All curb shall be CG-1.
 - Subgrade to be compacted to 95% Standard Proctor Density.
 - All areas disturbed by construction shall be revegetated in accordance to the landscape plan.
 - Silt fence shall be installed at the perimeter of all disturbed areas within the site during construction for erosion control.

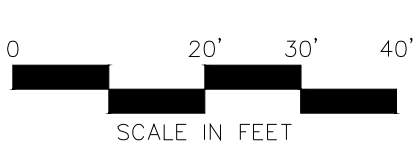
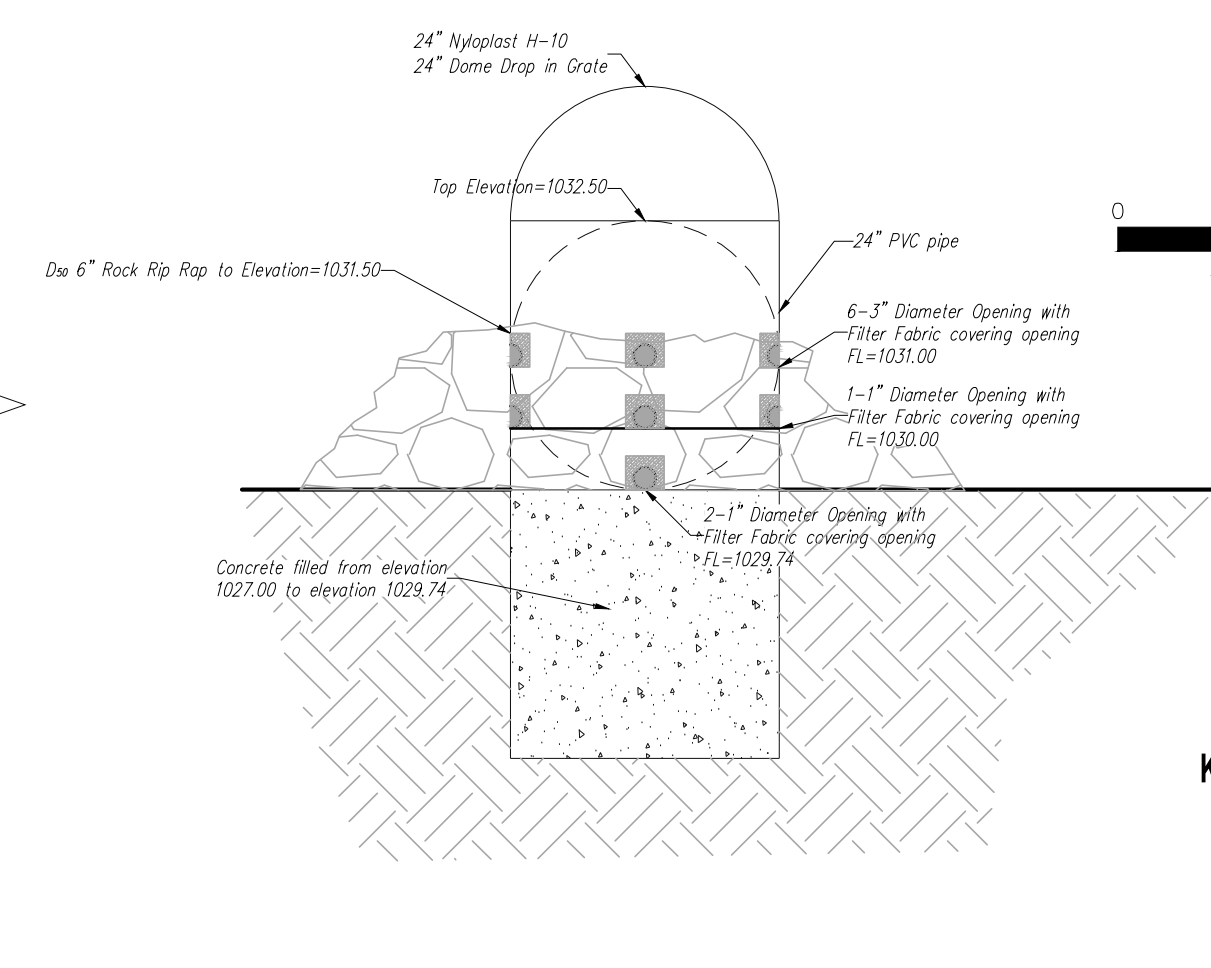
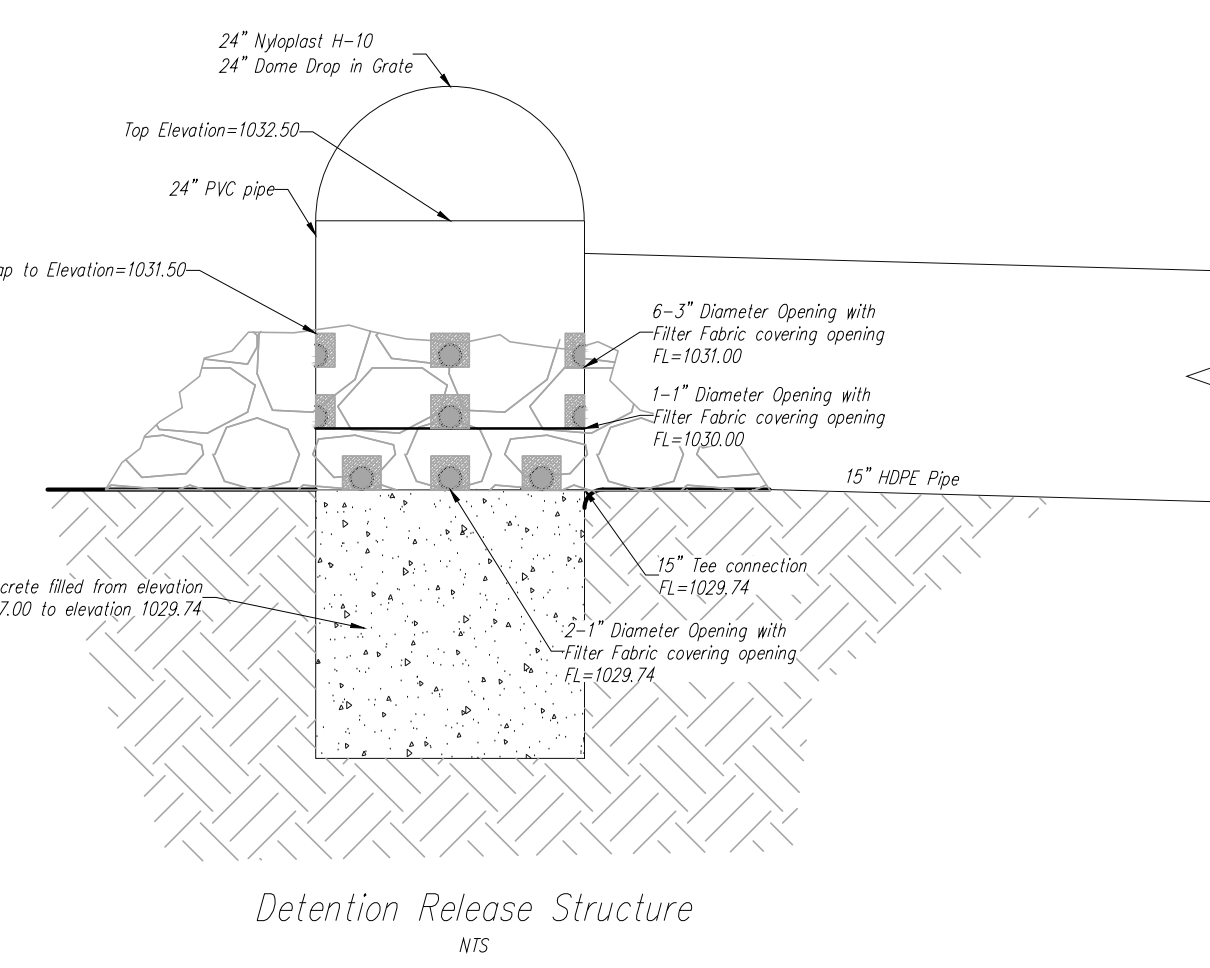


KEY

PROPOSED	EXISTING
979	960
→	100 Year Overflow
- - -	Drainage Areas

PROJECT BENCHMARK:
 Top of Storm Sewer Catch Basin lid at north east corner of site in Right of Way.
 N: 960140.3990
 E: 2805705.9150
 TOP ELEV: 1037.58

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.



NO.	BY	CHK/APP
1	EDH	PKS

DATE	REVISION
05/07/18	City Comments 04/09/18

5/1/18

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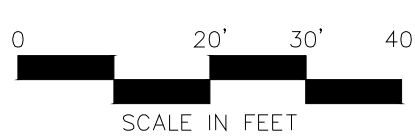
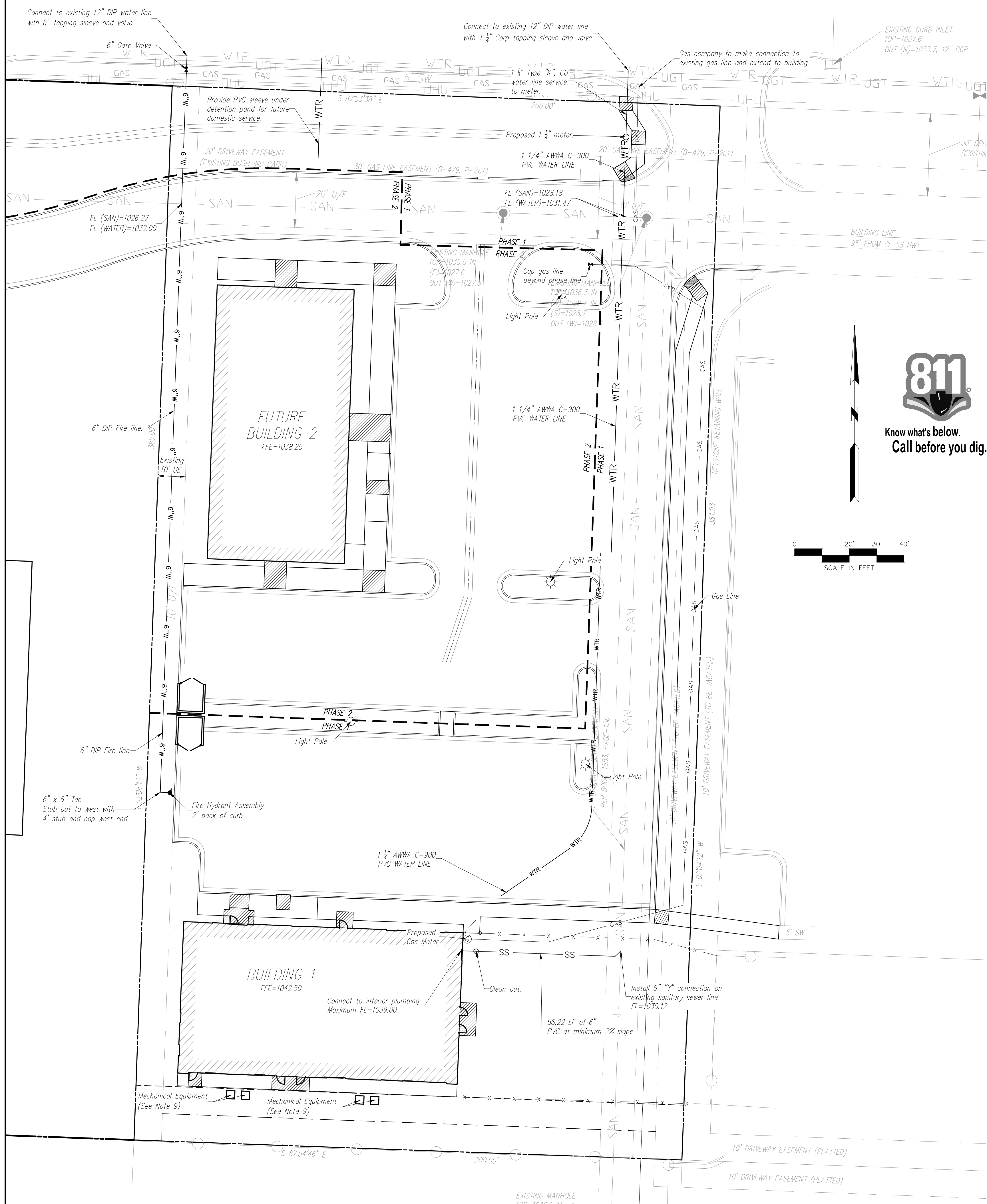
DRAINAGE AREA MAP

BRIGHTSIDE DAY CARE CENTER
 RAYMORE - CASS COUNTY - MISSOURI

X-REF NO.	171556
DRAWING NO.	17053
DATE	JANUARY 25, 2018
JOB NO.	17053

4 OF 7

MO STATE ROUTE 58



--- Phase Line
 - - - - - Utility Easement

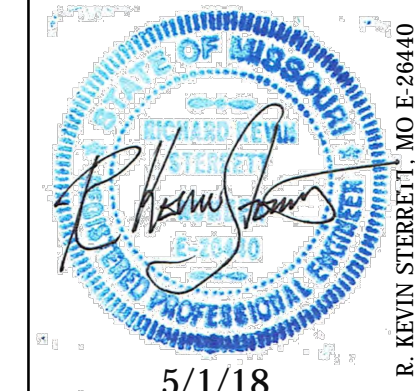
- UTILITY NOTES:**
- All construction and materials to conform to the city and the specifications and details per the Kansas City Metro Chapter APWA. It is advisable that the contractor become familiar with this document in the event that there is a discrepancy between this and the approved plan and the Manual. Advise the design engineer of any discrepancy prior to bidding or working on this project.
 - Sanitary sewer service to be 6" Schedule 40 or SDR-26 PVC at 2% minimum slope.
 - Contractor to contact the Water Utilities Department, Operations Division, at 816-331-5182 to schedule water main taps and cut-ins, 48 hours in advance.
 - Thrust blocks to be provided at all water line bends and tee locations.
 - There will be no roof mounted mechanical units.
 - Domestic water lines to be 1 1/2" diameter Type K Copper from main to meter and 1 1/2" diameter C900 PVC from meter to building.
 - Contractor to coordinate with KCPL for temporary and permanent electric alignment and connection.
 - See MEP plans for all utility information inside of the building.
 - Mechanical equipment at rear of building may be adjusted as needed for sidewalk installation.

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

PROJECT BENCHMARK:
 Top of Storm Sewer Catch Basin lid at north east corner of site in Right of Way.
 N: 960140.3990'
 E: 2805705.9150
 TOP ELEV. 1037.58

NO.	BY	CHK/APP
1	EDH	PKS

DATE	REVISION
05/07/18	City Comments 04/09/18



5/1/18

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R. KEVIN STERRETT, NO. E 2010008273
 CORPORATE LICENSE NO. E2010008273

UTILITY PLAN

BRIGHTSIDE DAY CARE CENTER
 RAYMORE - CASS COUNTY - MISSOURI

XREF NO.	171598
DRAWING NO.	17053
DATE	JANUARY 25, 2018
JOB NO.	17053
SHEET	7
OF	

NOTE: SIGN PLACING IS MINIMUM. ADJUST SPACING TO AVOID DRIVEWAYS OR OTHER SIGNS. COVER CONFLICTING EXISTING SIGNS.



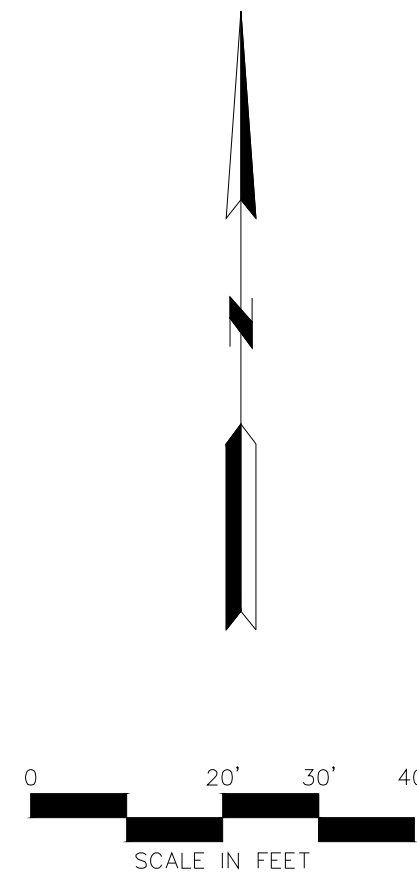
CHANNELIZER
40' SPACING
(CONE OR DRUM)

MO STATE ROUTE 58

CONSTRUCTION TAP INTO WATER LINE

Traffic control devices and signs are per MUTCD.

○ Drum or cones channelizer



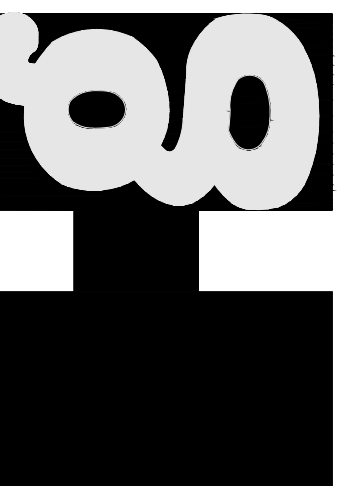
Know what's below.
Call before you dig.

NO.	BY	CHK/APP
1	EDH	PKS



5/1/18

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TRAFFIC CONTROL PLAN

BRIGHTSIDE DAY CARE CENTER
RAYMORE - CASS COUNTY - MISSOURI

X-REF NO.	171556
DRAWING NO.	17053
DATE	JANUARY 25, 2018
JOB NO.	17053

6 SHEET OF 7

BRIGHTSIDE CHILDREN'S CENTER
RAYMORE, MO

LANDSCAPE PLAN
PERMIT SET

Professional Seal



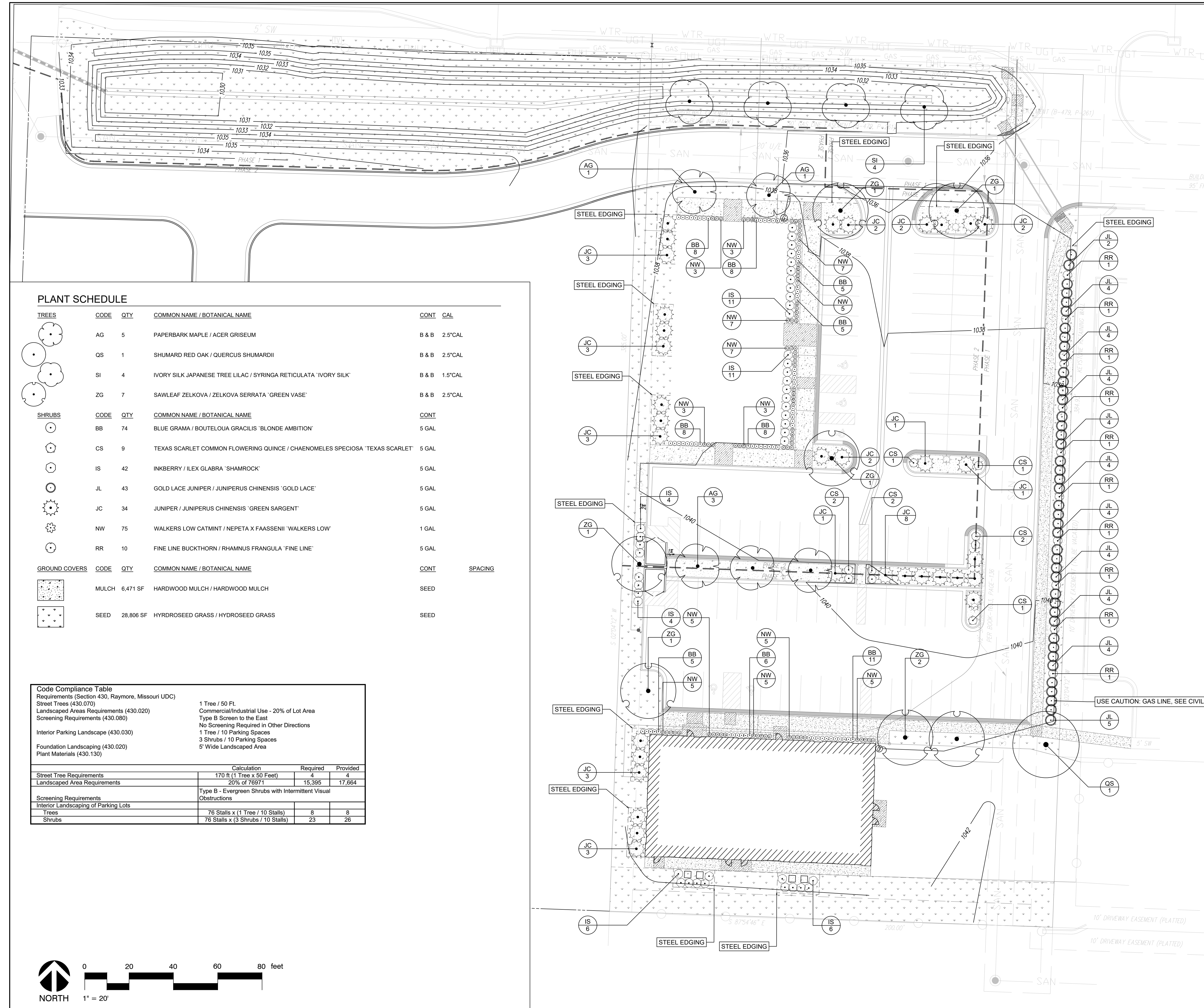
Prints Issued

Prints Issued	Description	Date
1	Permit Set	05/01/2018
2		
3		
4		
5		
6		
7		
8		
9		

Project Number: 17-070
Drawn By: LWS
Checked By: LWS

Sheet Number

L-1



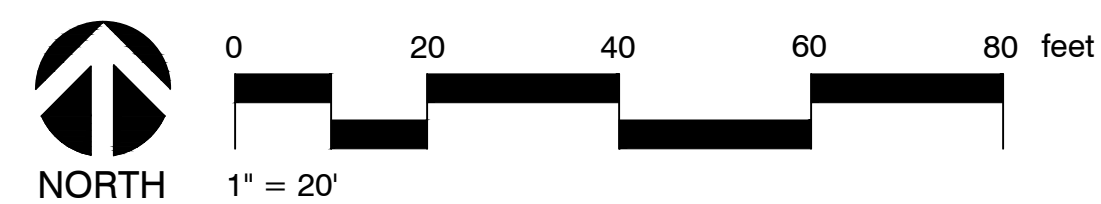
PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL
	AG	5	PAPERBARK MAPLE / ACER GRISEUM	B & B	2.5" CAL
	QS	1	SHUMARD RED OAK / QUERCUS SHUMARDII	B & B	2.5" CAL
	SI	4	IVORY SILK JAPANESE TREE LILAC / SYRINGA RETICULATA 'IVORY SILK'	B & B	1.5" CAL
	ZG	7	SAWLEAF ZELKOVA / ZELKOVA SERRATA 'GREEN VASE'	B & B	2.5" CAL
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	
	BB	74	BLUE GRAMA / BOUTELOUA GRACILIS 'BLONDE AMBITION'	5 GAL	
	CS	9	TEXAS SCARLET COMMON FLOWERING QUINCE / CHAENOMELES SPECIOSA 'TEXAS SCARLET'	5 GAL	
	IS	42	INKBERRY / ILEX GLABRA 'SHAMROCK'	5 GAL	
	JL	43	GOLD LACE JUNIPER / JUNIPERUS CHINENSIS 'GOLD LACE'	5 GAL	
	JC	34	JUNIPER / JUNIPERUS CHINENSIS 'GREEN SARGENT'	5 GAL	
	NW	75	WALKERS LOW CATMINT / NEPETA X FAASSENII 'WALKERS LOW'	1 GAL	
	RR	10	FINE LINE BUCKTHORN / RHAMNUS FRANGULA 'FINE LINE'	5 GAL	
GROUND COVERS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	SPACING
	MULCH	6,471 SF	HARDWOOD MULCH / HARDWOOD MULCH	SEED	
	SEED	28,806 SF	HYDROSEED GRASS / HYDROSEED GRASS	SEED	

Code Compliance Table
Requirements (Section 430, Raymore, Missouri UDC)

Requirements	Calculation	Required	Provided
Street Trees (430.070)	170 ft (1 Tree x 50 Feet)	4	4
Landscaped Areas Requirements (430.020)	20% of 76971	15,395	17,664
Screening Requirements (430.080)	Type B - Evergreen Shrubs with Intermittent Visual Obstructions		
Interior Parking Landscape (430.030)	1 Tree / 10 Parking Spaces 3 Shrubs / 10 Parking Spaces		
Foundation Landscaping (430.020)	5' Wide Landscaped Area		
Plant Materials (430.130)			

1 Tree / 50 Ft
Commercial/Industrial Use - 20% of Lot Area
Type B Screen to the East
No Screening Required in Other Directions



LANDSCAPE NOTES

GENERAL

- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES RESULTING FROM LANDSCAPE OPERATIONS. ANY UTILITIES SHOWN ON PLAN ARE FOR REFERENCE ONLY AND MAY OR MAY NOT DEPICT THE ACTUAL LOCATION OF SERVICES.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS, AND REQUIRED INSPECTIONS BY THE LEGAL AUTHORITIES.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN PRIOR TO BIDDING.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT, PRIOR TO PURCHASING MATERIALS OR STARTING CONSTRUCTION.
- EXISTING TREES AND THEIR ROOT ZONES SHALL BE PROTECTED FROM ALL CONSTRUCTION ACTIVITIES. PROTECTION ZONES SHALL BE IDENTIFIED ON THE PROPERTY BY USING STANDARD ORANGE BARRICADE FENCING 4' IN HEIGHT AND SUPPORTED WITH CHANNEL POSTS.
- ALL LAND AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE BROUGHT TO FINISH GRADE AND PLANTED IN SEED OR OTHER APPROPRIATE GROUND COVERS.

PLANTING PREPARATION

- ALL PLANTING BEDS SHALL BE AMENDED WITH 1 CUBIC YARD OF COMPOST PER 1,000 SQUARE FEET. TILL COMPOST INTO SOIL TO AN 8" DEPTH.
- PLANT PIT BACKFILL FOR TREES AND SHRUBS SHALL BE 1/3 TOPSOIL AND 2/3 EXISTING SOIL. ADD 3 MYCHORIZZAL TABLETS IN PIT FOR EACH TREE.
- PLANTED BED EDGES SHALL BE IN STRAIGHT LINES OR GENTLE FLOWING CURVES AS DESIGNED. SUDDEN CURVES OR SHARP ANGLES SHOULD BE AVOIDED.
- MOUND ALL PLANTING BEDS NOT ADJACENT TO BUILDINGS. PROVIDE POSITIVE DRAINAGE AROUND ALL PLANTING BEDS.
- FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.

PLANTING MATERIALS

- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE AMERICANHORT "AMERICAN STANDARD OF NURSERY STOCK."
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- PLANTS DESIGNATED CONTAINER GROWN SHALL HAVE BEEN GROWN IN POTS, CANS OR BOXES FOR A MINIMUM OF SIX MONTHS AND A MAXIMUM OF TWO YEARS. THESE PLANTS SHALL BE REMOVED FROM CONTAINERS BEFORE PLANTING. PLANTS THAT APPEAR ROOT-BOUND SHALL BE REJECTED.
- ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS. THE FOLLOWING APPLIES FOR GENERAL PLANT LOCATIONS:
 - CREeping GROUNDcover SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
 - ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - EQUALLY SPACE ALL PLANTS OF THE SAME SPECIES FOR BEST VIEWING.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVING EDGE, AND 3.5' FROM BUILDINGS.

SEED/SOD

- SEED SEED SHALL COMPLY WITH US DEPT. OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT AND EQUAL IN QUALITY TO STANDARDS FOR CERTIFIED SEED. SEED SHALL BE A TURF-TYPE FESCUE (3-WAY BLEND). SEED BLEND SHALL CONSIST OF THE FOLLOWING:

TURF-TYPE TALL FESCUE	85%
KENTUCKY BLUEGRASS	10%
ANNUAL RYEGRASS	5%

 ALL SEEDED AREAS TO BE MULCHED WITH STRAW OR HYDROMULCH AT TIME OF INSTALLATION UNTIL SEED HAS ESTABLISHED.

RELATED ITEMS

- MULCH: USE 3" SHREDDED HARDWOOD MULCH IN PLANTING BEDS AND AROUND TREES. MULCH SHALL CONSIST OF PURE WOOD PRODUCTS AND BE FREE OF ALL FOREIGN SUBSTANCES. PROVIDE AND INSTALL PRE-EMERGENT HERBICIDE PRIOR TO MULCH INSTALLATION PER MANUFACTURERS INSTRUCTIONS.
- ROCK MULCH: WHERE INDICATED, PROVIDE AND INSTALL PROFESSIONAL-GRADE WEED BARRIER FABRIC AND 4" OF RIVER COBBLES (2-4" SIZE).
- EDGING: ALL PLANT BEDS AND TURF AREAS MUST BE SEPARATED WITH STEEL EDGING.
- TREE TIES: CONTRACTOR SHALL USE AN APPROVED TREE TIE SYSTEM THAT IS EASILY ADJUSTABLE, STRONG IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES.

PROVIDE THE FOLLOWING, OR APPROVED EQUAL:

- | | |
|--------------------------|------------------------|
| "THE ORIGINAL TREESTRAP" | THE ORIGINAL TREESTRAP |
| "TREE TIE WEBBING" | A.M. LEONARD AND SONS |
| "CINCH TIES" | V.I.T. PRODUCTS |

- ANNUALS: ANNUAL PLANT SELECTION SHALL BE APPROVED BY OWNER. SPECIES CHOSEN SHALL BE APPROPRIATE FOR SEASON OF INSTALLATION.

MAINTENANCE AND CLEAN-UP

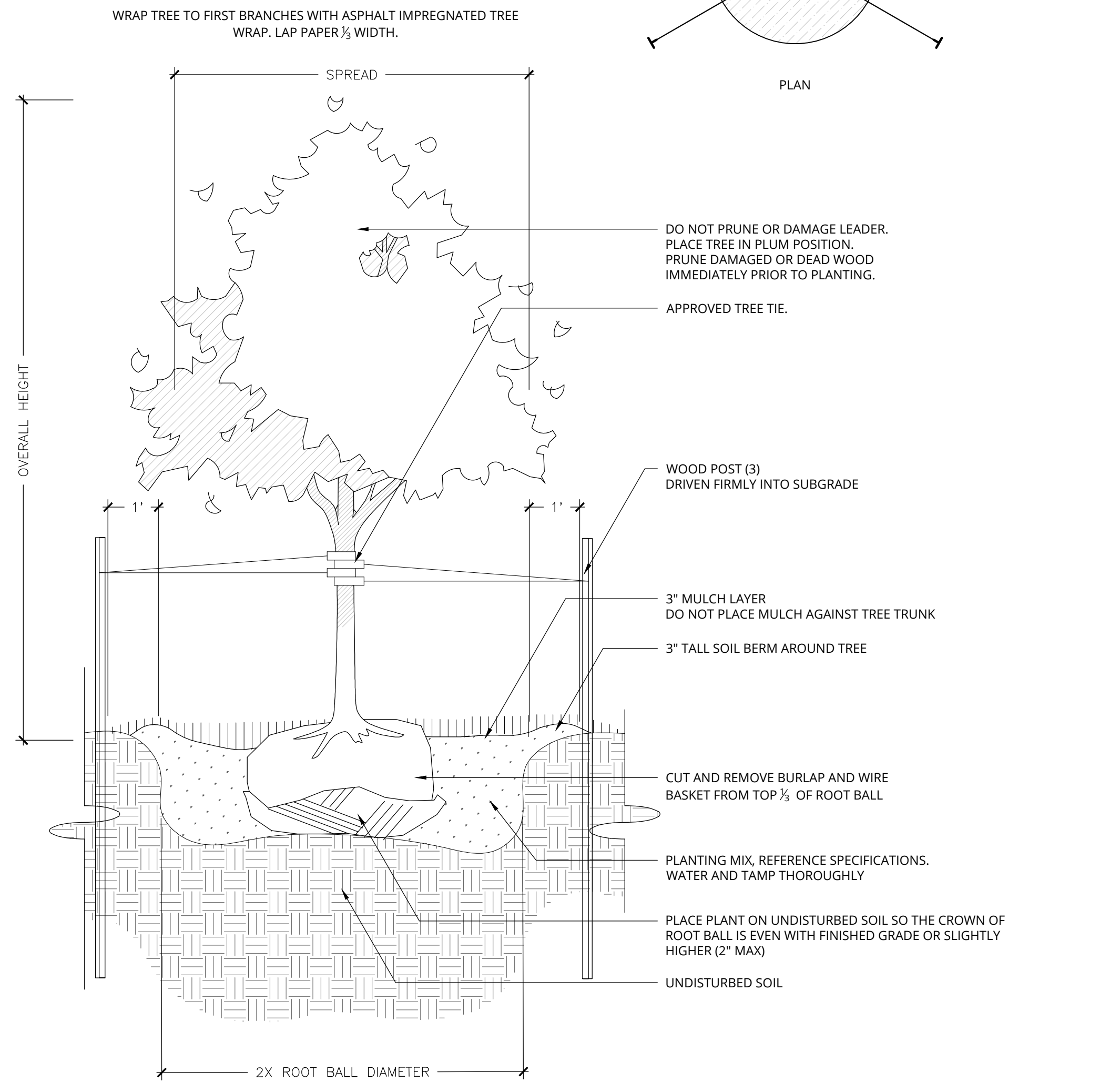
- THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANTS' HEALTHY CONDITION.
- REMOVE ALL RUBBISH, EQUIPMENT, AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES. REMOVE SOIL OR DIRT THAT ACCUMULATES DUE TO PLANTING OPERATIONS EACH DAY.

INSPECTION, WARRANTIES AND GUARANTEE

- AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION AFTER ONE FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE SHALL BE REPLACED FREE OF CHARGE TO THE OWNER.
- OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THESE SPECIFICATION REQUIREMENTS.
- CONTRACTOR SHALL GUARANTEE TREES, SHRUBS, PERENNIALS AND TURF FOR ONE CALENDAR YEAR FOLLOWING PROVISIONAL ACCEPTANCE OF THE OVERALL PROJECT. DURING THE GUARANTEE PERIOD, PLANTS THAT DIE DUE TO NATURAL CAUSES OR THAT ARE UNHEALTHY OR UNSIGHTLY IN CONDITION, SHALL BE REPLACED BY THE CONTRACTOR. PLANTS USED FOR THE REPLACEMENT SHALL BE OF THE SAME VARIETY AND SIZE AS ORIGINALLY SPECIFIED IN THE PLANT SCHEDULE. REPLACEMENTS SHALL BE MADE WITHIN ONE WEEK OF REQUEST PENDING FAVORABLE SEASONAL PLANTING CONDITIONS. GUARANTEE WILL NOT BE ENFORCED SHOULD THE PLANT MATERIAL DIE DUE TO VANDALISM, OVER OR UNDER WATERING BY THE OWNER, IMPROPER MAINTENANCE PROCEDURES CARRIED OUT BY THE OWNER INVOLVING LAWN MOWER DAMAGE, OVER FERTILIZATION, ACTS NOT RELATED TO CONTRACTUAL RESPONSIBILITIES OF CONTRACTOR OR SIMILAR CIRCUMSTANCES BEYOND THE CONTROL OF THE CONTRACTOR.

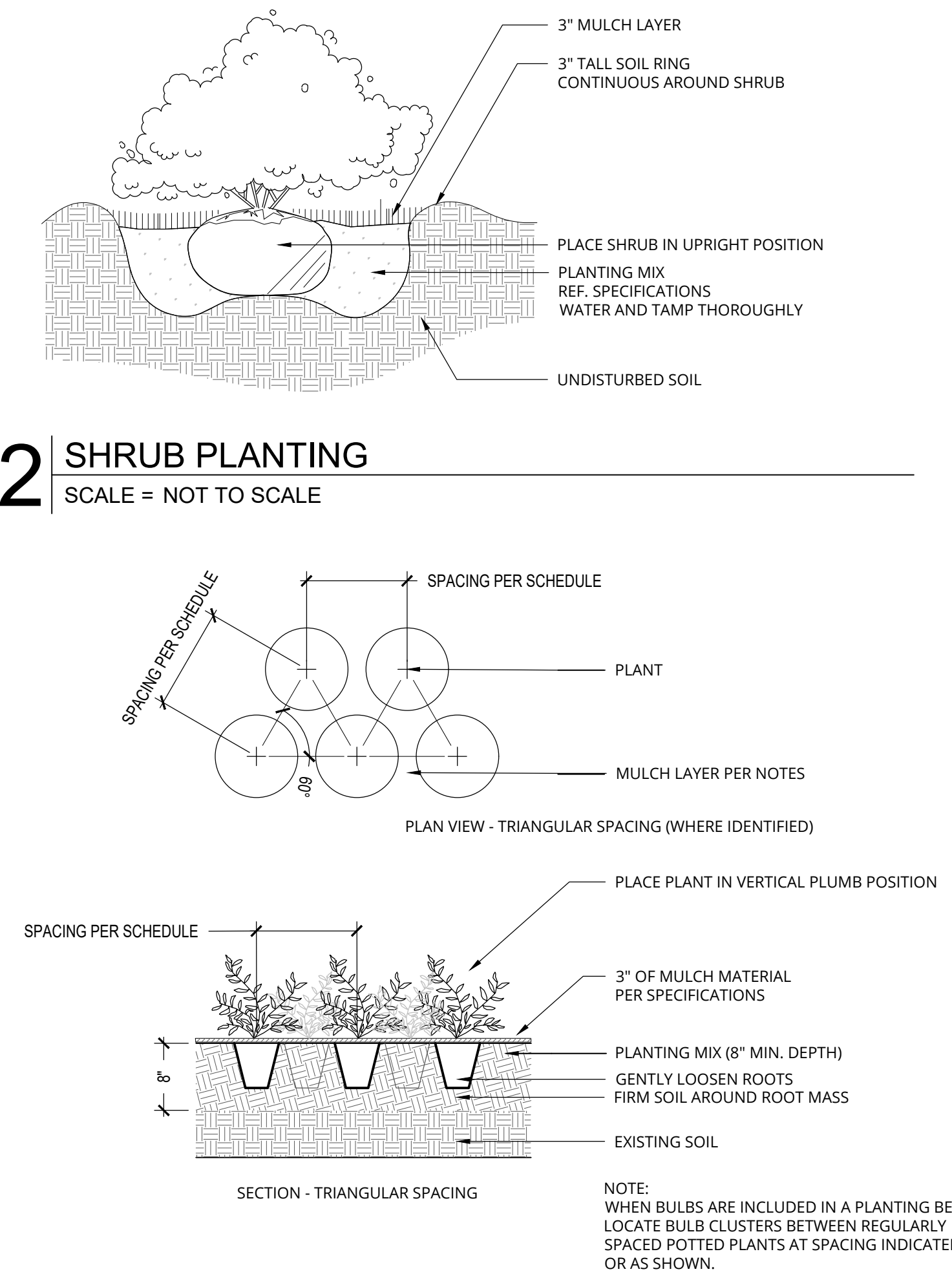
1 TREE PLANTING

SCALE = NOT TO SCALE



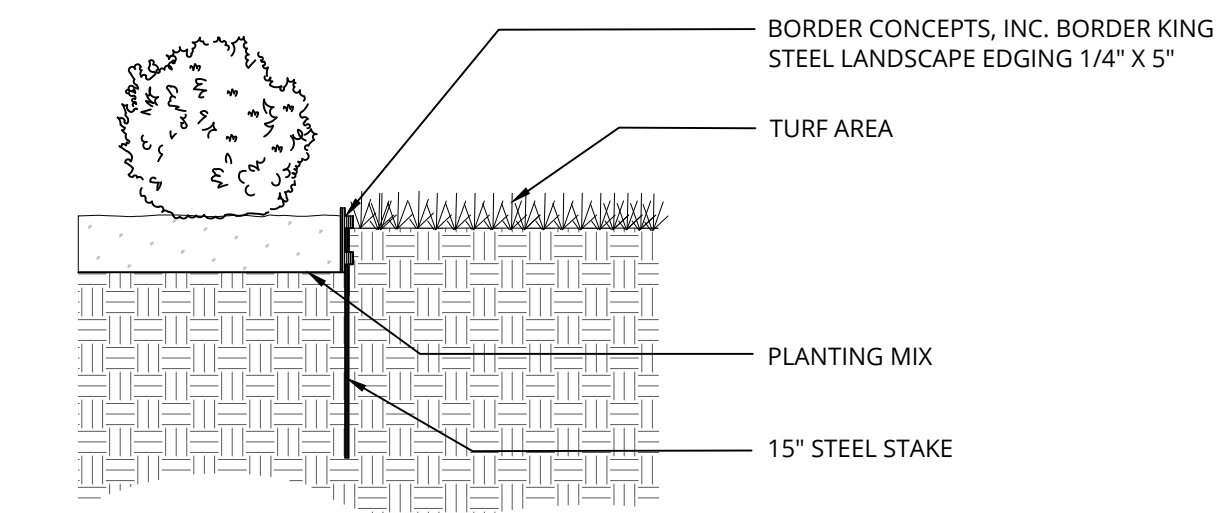
2 SHRUB PLANTING

SCALE = NOT TO SCALE



3 PLANT SPACING

SCALE = NOT TO SCALE



4 STEEL EDGE

SCALE = NOT TO SCALE

Professional Seal



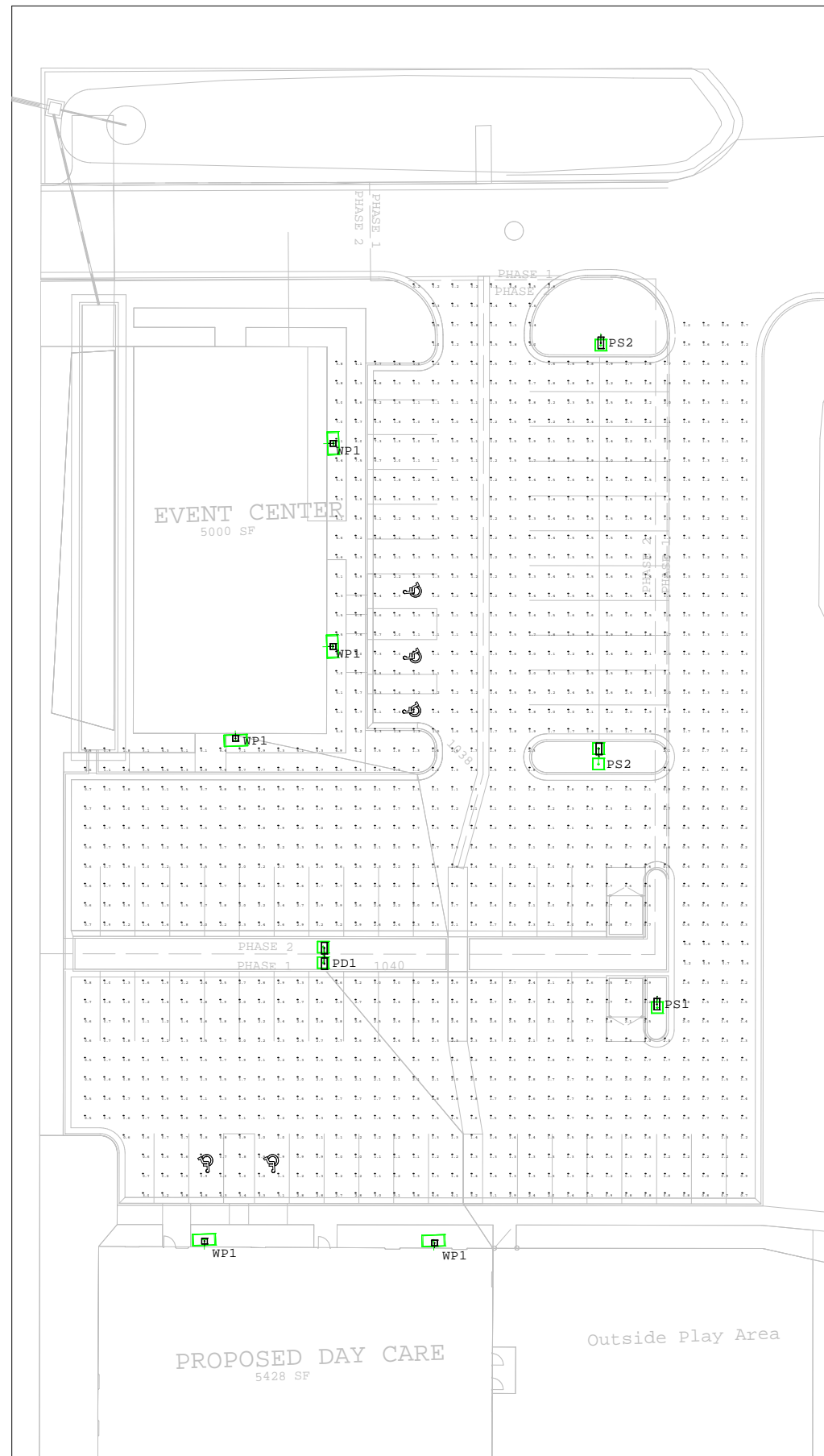
Prints Issued

1	Description	Date
1	Permit Set	05/01/2018
2		
3		
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6		
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8		
9		

Project Number: 17-070
Drawn By: LWS
Checked By: LWS

Sheet Number

L-2



Scale: 1 inch= 40 Ft.



Galleon



GWC

DISCLAIMER:

These calculations have been performed according to IES standards and good practice. There may be differences between measured values and the results presented herein, based on the extent in which field conditions deviate from the input data. These conditions include room dimensions, luminaire position, surface reflectances, architectural elements and furniture, temperature, voltage, measurement techniques and equipment tolerances. All attached drawings and images are for photometric reference only they are not made for construction.

AREA INFORMATION:

Area label :
 Wall height: 0'-00"
 Mounting height: 25'/10'
 Reflectances : NA

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking_Surface	Fc	1.83	9.1	0.2	9.15	45.50

LPD Area Summary			
Label	Area	Total Watts	LPD
LPDArea_1	62150	860	0.014

Luminaire Schedule							
Symbol	Qty	Label	Description	Tag	Lum. Watts	Lum. Lumens	LLF
← →	1	PD1	McGraw Edison: GLEON-AF-02-LED-E1-T3	Double Pole	113	12181	0.910
→	1	PS1	McGraw Edison: GLEON-AF-02-LED-E1-T4W	Single Pole	113	12094	0.910
→	2	PS2	McGraw Edison: GLEON-AF-02-LED-E1-T4FT	Single Pole	113	12252	0.910
→	5	WP1	McGraw Edison: GWC-AF-01-LED-E1-SL2	Wall Mount	59	6227	0.910



#	Date	Comments

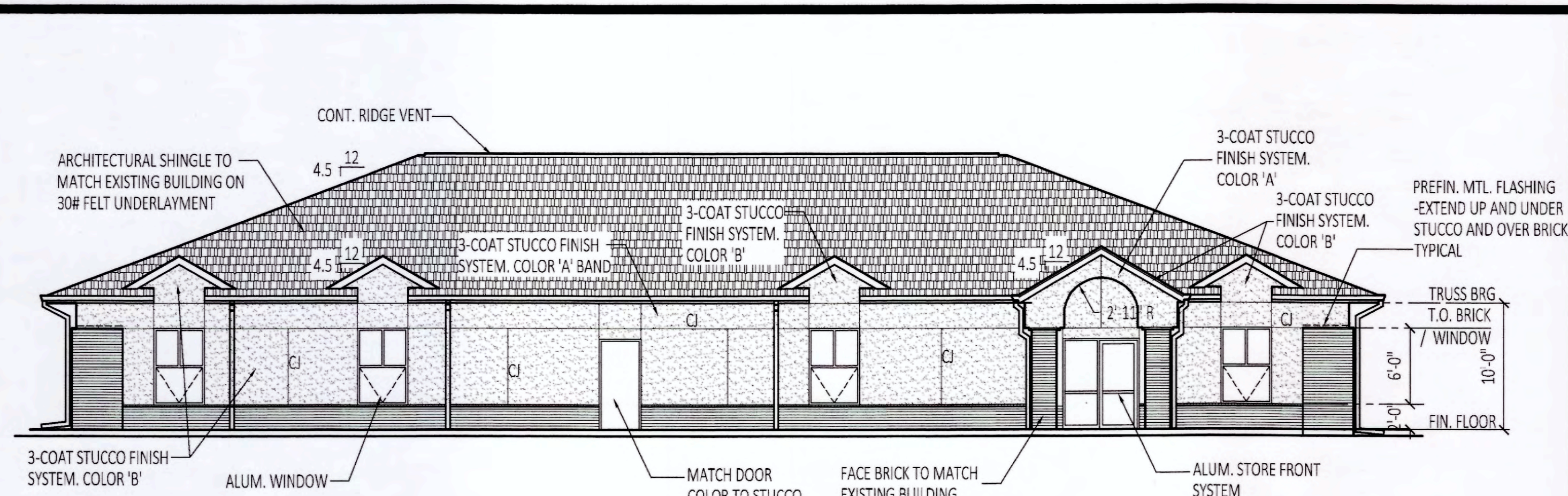
Revisions

Calculated By: Kevin Hooley
Requested By:
Date: 3/8/2018
Scale: N/A

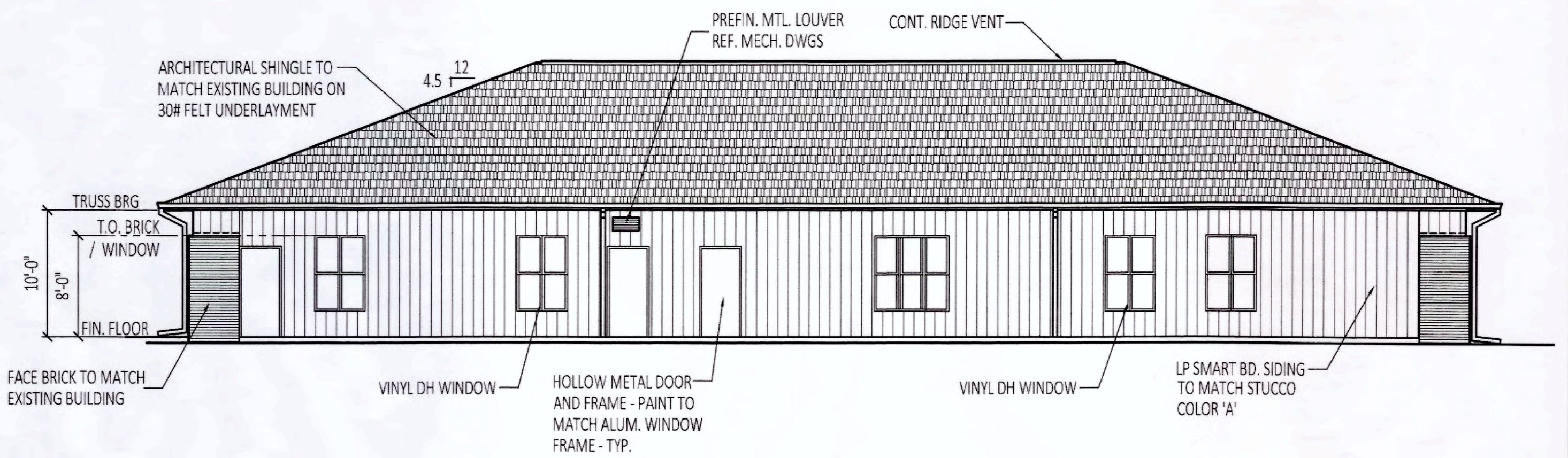
Bright Side Academy
Site-Layout



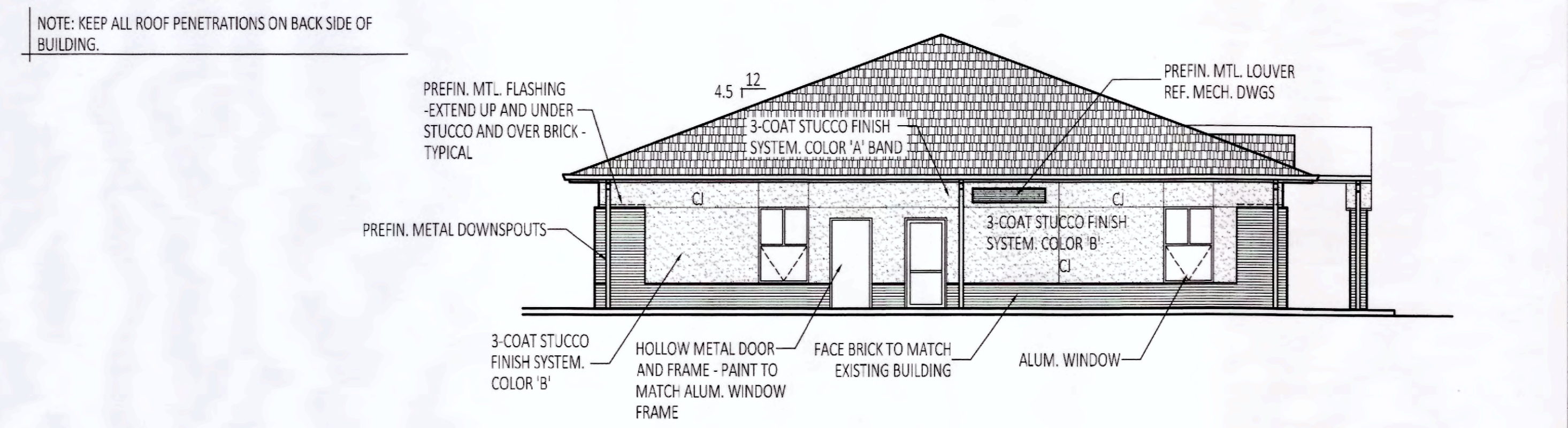
5 Existing Building / Color Palette
SCALE: 1/8"=1'-0"



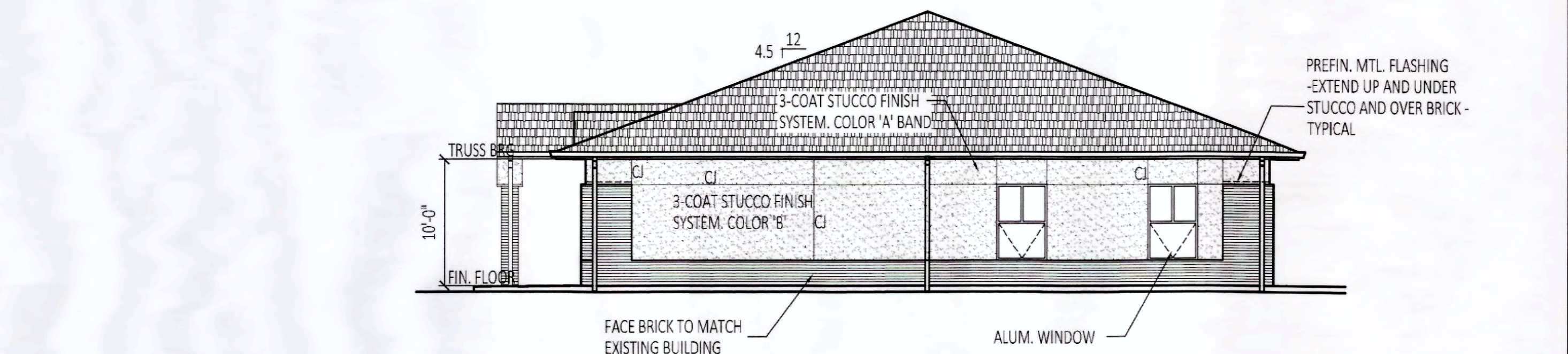
1 North Elevation
SCALE: 1/8"=1'-0"



2 South Elevation
SCALE: 1/8"=1'-0"



3 West Elevation
SCALE: 1/8"=1'-0"

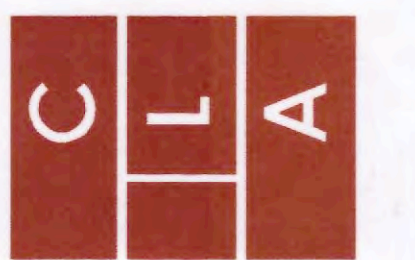


4 East Elevation
SCALE: 1/8"=1'-0"

NOTE: KEEP ALL ROOF PENETRATIONS ON BACK SIDE OF BUILDING.

Drawing Name: S:\201817-Brightside Childrens Center\18-007\X-ELEV.dwg Last Modified: Mar 26, 2018 - 1:32pm by craigluebbert

Craig Luebbert
Architecture
24 NW Chipman 'B', 816.875.4863



Construction Documents
BRIGHTSIDE
Children's Center Inc.
E Walnut St., Raymore, Missouri

DATE ISSUED:	3.26.18
REVISIONS:	

ARCHITECTURAL PROJECT NUMBER
18-007

SHEET NUMBER
A200



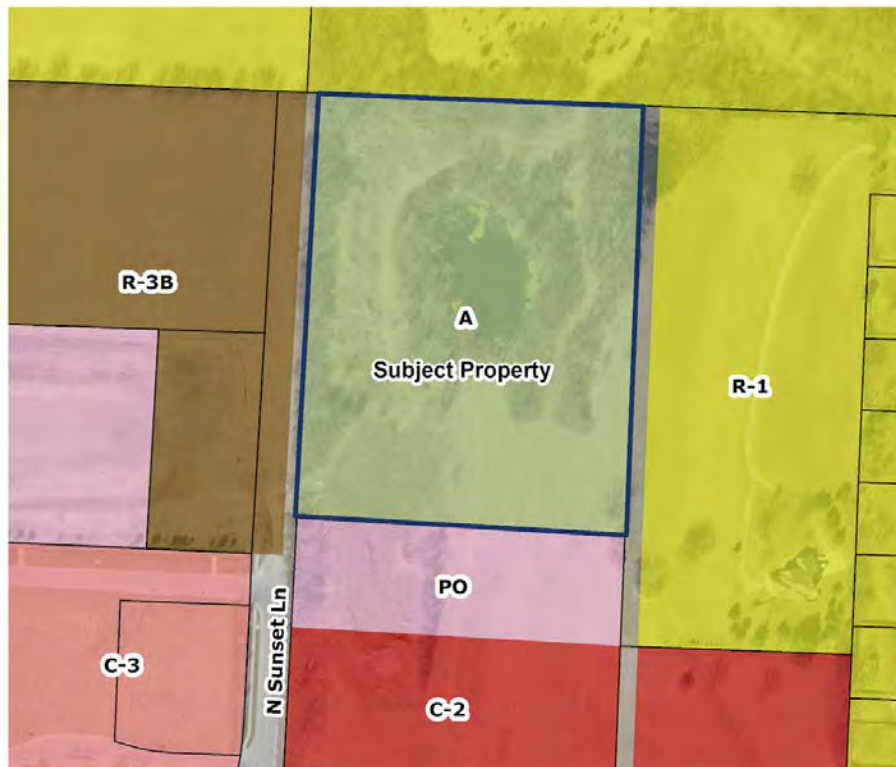
To: Planning and Zoning Commission
From: City Staff
Date: May 15, 2018
Re: Case #18010 Rezoning; Kirby Estates, "A" to "PO"

GENERAL INFORMATION

- Applicant:** Compass Health Network - Pathways Community Health
616 Burkarth Road
Warrensburg, MO 64093
- Property Owner:** VOE, LLC
704 W. Foxwood Drive
Raymore, MO 64083
- Requested Action:** Requesting to reclassify the zoning of 8.23 acres commonly known as Kirby Estates from "A" Agricultural district to "PO" Professional Office district
- Property Location:** Generally the northeast corner of MO-58 and Sunset Lane



Existing Zoning: "A" Agricultural District



Growth Management Plan: The Future Land Use Map of the current Growth Management Plan designates this property as appropriate for Low Density Residential.

Major Street Plan: The Major Thoroughfare Plan Map classifies W. Foxwood Drive (MO Highway 58) as a Major Arterial, and Sunset Lane as a Minor Collector.

Legal Description:

Advertisement: April 26, 2018 **Journal** newspaper

Public Hearing: May 15, 2018 Planning Commission meeting

- Items of Record:**
- Exhibit 1. Mailed Notices to Adjoining Property Owners**
 - Exhibit 2. Notice of Publication**
 - Exhibit 3. Unified Development Code**
 - Exhibit 4. Application**
 - Exhibit 5. Growth Management Plan**
 - Exhibit 6. Staff Report**
 - Exhibit 7. Applicant's Conceptual Site Plan**

Additional exhibits as presented during hearing

REQUEST

Applicant is requesting to reclassify the zoning designation of 8.23 acres commonly known as Kirby Estates from "A" Agricultural district to "PO" Professional Office district.

REZONING REQUIREMENTS

Chapter 470: Development Review Procedures outlines the applicable requirements for Zoning Map amendments.

Section 470.020 (B) states:

"Zoning Map amendments may be initiated by the City Council, the Planning and Zoning Commission or upon application by the owner(s) of a property proposed to be affected."

Section 470.010 (E) requires that an informational notice be mailed and "good neighbor" meeting be held.

Section 470.020 (F) requires that a public hearing be held by the Planning and Zoning Commission and the City Council. The Planning and Zoning Commission will submit a recommendation to the City Council upon conclusion of the public hearing.

Section 470.020 (G) outlines eleven findings of fact that the Planning and Zoning Commission and City Council must take into consideration in its deliberation of the request.

PREVIOUS PLANNING ACTIONS ON OR NEAR THE PROPERTY

- The original plat of Kirby Estates was approved by the City on July 11, 1983.
- The Wedgewood Place subdivision, directly to the east of the subject property was approved by the City on September 2, 1986.
- Kirby estates was replatted and further subdivided and approved on January 27, 1992.
- The 1.8 acres of land at the southern end of the site, currently zoned as "PO" Professional Office district, was rezoned from "A" Agricultural District on March 10, 1997. This property is also owned by the applicant.
- The 5.6 acres to the south of the site, currently zoned "C-2" General Commercial District, was rezoned from "A" Agricultural District on March 10, 1997.
- The Preliminary Plat for Madison Valley, the residential subdivision directly to the north, was approved by the City on September 27, 2004. The preliminary plat for the remaining undeveloped portion has since expired.

- The Raymore Market Center, which includes Price Chopper and other commercial tenants to the southwest, was approved by the City on January 22, 2007.
- The tract of land to the west, commonly known as Raymore Senior Village, was platted and rezoned from "R-2" Single and Two Family Residential District to "R-3B" Apartment Community Residential District September 24, 2012.

GOOD NEIGHBOR INFORMATIONAL MEETING COMMENTS

A Good Neighbor meeting was held on Wednesday May 2, 2018 in the Council Chambers of City Hall. 14 residents attended the meeting, along with city staff and staff from Compass Health. The comments below provide a summary of the meeting:

Will the building be operational 24 hours?

- No, the building will have typical business hours, similar to a regular medical/dental office. There is a possibility that there will be some days with extended hours to accommodate individual patient's work schedules. Staff also operates a 24-hour crisis hotline, but the service will not be operated out of this location.

What will the elevation/height of the building look like?

- The building will potentially be between 2-3 stories, depending on which side of the building you are looking at. The steep topography allows for the building to appear as a "walkout" style building with 3 stories in the rear, and 1½ to 2 in the front.

What are the screening requirements between the surrounding residential properties?

- A Type-A screen will be required along the portions of the site that abut residential properties. Opaque screening of at least 6' in height, as well as intermittent visual obstructions of at least 12' will be required. Additional landscaping and screening will also be required around the proposed parking lots.

What will be the overall size of the building proposed for the site?

- The initial conceptual plan showed a 40,000 SF building, but as the team finalizes the programming of the building, it will likely expand to 50,000 to 60,000 SF for the final design. We are wanting to plan for growth to ensure we have enough space as we continue to program and add services.

Will there be a community space in the building?

- Yes, there will be a community room that would be available to community groups, non-profits, etc...

How will the site be illuminated? The residents that live near the site do not want light spilling over onto their properties.

- The lighting plan has not been fully designed yet, but it will have to comply with the standards of the City. The plan is to incorporate some type of ambient lighting within the building for safety and security. Outdoor lighting will be designed to maximize lighting on-site, and minimize impact on adjacent properties.

Stormwater runoff along the eastern property line from 58 Highway is already a major issue. How will the developer of the site address that?

- Drainage from the site will have to be reviewed and approved by the City, and must comply with their standards. The steep slope of the site does provide a challenge for managing the runoff. This will be addressed as the project moves forward. It is likely that the proposed improvements to the pond, and existing swale will help address this issue.

What will the architecture of the building look like?

- Final design of the building has not started, but the team provided inspirational images from some of there existing facilities for the meeting. The architect for the project, BSA LifeStructures, was chosen for their expertise in health facilities.

What is the proposed timeline for the project?

- Approximately 2 to 2½ years. The project still needs to obtain final site plan approval from the City. Once completed, the bidding and construction process would likely take 1½ to 2 years.

What is the breakdown of the types of services that will be offered?

- It is hard to have a defnite answer, because we are proposing to add services that we have not offered before. Roughly 50% of the services are geared toward mental health and behavior. 25% of the services would be dental, and 25% would be primary care services. It is a 50/50 split of services between adults and youth.

Will there be a pharmacy on site?

- Yes, there will be a pharmacy on site. However, it will only be available for patients of the facility. It will not be accessible to the public.

Was there any increase in crime following the construction of the existing facility in Raymore?

- There has been no increase in crime. Police, fire and emergency services are often requested at the facility in order to assist with patients, but there have never been any issues with criminal activity on site.

City staff also followed up with the Raymore Police department on the matter. In the last 5 years, police have received 90 service calls from the facility. Police have never been dispatched to the property to address criminal activity.

STAFF COMMENTS

1. The property directly to the south of the site, roughly 1.8 acres and also zoned "PO" Professional office, is also owned by the applicant. This property was rezoned from "A" Agricultural District on March 10, 1997.
2. The development standards for the existing and proposed zoning districts are as follows:

	A	PO
Minimum Lot Area		
per lot	10 ac.	-
per dwelling unit	10 ac.	-
Minimum Lot Width (feet)	330	100
Minimum Lot Depth (feet)	100	100
Yards, Minimum (feet)		
front	50	30
rear	50	20
side	15	10
side, abutting residential district	-	20
Maximum Building Height (feet)	35	35
Maximum Building Coverage (%)	10	30

3. The uses permitted uses within the existing and proposed zoning districts include:

Use	A	Use	PO
RESIDENTIAL USES		RESIDENTIAL USES	
Household Living		Household Living	
Single-family Dwelling, Detached (conventional)	P	Single-family Dwelling, Attached	-
Manufactured Home Residential – Design	S	Multi-family Dwelling (3+ units)	-
Single-family Dwelling, Attached	-	Cluster Residential Development	-
Two-family Dwelling (Duplex)	-	Manufactured Home Park	-
Multi-family Dwelling (3+ units)	-	Dwelling Units Located Above the Ground Floor	-
Apartment Community	-	Group Living	
Cluster Residential Development	S	Assisted Living	-
Manufactured Home Park	-	Group Home	-
Employee Living Quarters	P	Nursing Care Facility	-
Accessory Dwelling	P	Transitional Living	-
Group Living		PUBLIC AND CIVIC USES	
Assisted Living	-	College or University	C
Group Home	S	Cultural Exhibit or Library	C
Nursing Care Facility	-	Government Buildings and Properties	C
Transitional Living	-	Hospital	P

Group Living Not Otherwise Classified	-	Place of Public Assembly	P
PUBLIC AND CIVIC USES		Public Safety Services	P
Cultural Exhibit or Library	C	Religious Assembly	P
Government Buildings and Properties	C	School	P
Place of Public Assembly	C	Social Club or Lodge	P
Public Safety Services	C	Utilities	
Religious Assembly	P	Major	C
School	P	Minor	P
Utilities		COMMERCIAL USES	
Major	C	Adult Business	-
Minor	P	Animal Services	
COMMERCIAL USES		Kennel	-
Animal Services		Veterinary Services	-
Kennel	C	Art Gallery	-
Day Care		Banks and Financial Services	
Day Care Home	S	Banks	-
Entertainment and Spectator Sports		Payday Loan Store	-
Indoor	C	Consumer Loan Establishment	-
Outdoor	C	Pawn Shop	-
Funeral and Interment Services		Body Art Services	-
Cemetery	C	Business Support Service	P
Funeral Home	-	Construction Sales and Service	-
Lodging		Day Care	
Bed and Breakfast	S	Day Care Center	S
Sports and Recreation, Participant		Eating and Drinking Establishment	
Outdoor	C	Restaurant	-
Indoor	C	Tavern	-
		Entertainment and Spectator Sports	
OTHER USES		Indoor	-
Accessory Uses	S	Outdoor	-
Agricultural Uses		Funeral and Interment Services	
Farming	P	Cremating	-
Boarding Stables and Riding Schools	C	Funeral Home	-
Home Occupation	S	Lodging	
Parking		Bed and Breakfast	-
Accessory Parking	P	Hotel or Motel	-
Wireless Communication Facility		Medical or Dental Clinic	P
Colocated	S	Office	P
		Personal and Consumer Service	P
		Retail Sales	
		Large (100,000+ gfa)	-
		Small (up to 100,000 gfa)	-
		Self Storage Facility	-
		Self Storage Facility, Indoor	-
		Sports and Recreation, Participant	
		Outdoor	-
		Indoor	-

Vehicle Sales and Service	
Car Wash	-
Gas Station	-
Motor Vehicle Repair	-
Light Equipment and Vehicle Sales or Rental	-
Heavy Equipment Sales or Rental	-
Vehicle, Recreational Vehicle or Boat Storage/Towing	-
INDUSTRIAL USES	
Manufacturing, Production and Industrial Service	
Limited	-
General	-
Intensive	-
Research Laboratory	-
Trucking/Freight Terminal	-
Warehousing and Wholesaling	-
Waste-related Use	
Junkyard	-
Recycling Facility	-
Sanitary Landfill	-
OTHER USES	
Accessory Uses	S
Drive-through Facilities	-
Parking	
Accessory Parking	P
Non-accessory Parking	C
Wireless Communication Facility	
Freestanding	-
Co-located	S

STAFF PROPOSED FINDINGS OF FACT

Under Section 470.020 of the Unified Development Code, the Planning and Zoning Commission and City Council is directed concerning its actions in dealing with a rezoning request. Under 470.020 (G) (1) the Planning and Zoning Commission and City Council is directed to make findings of fact taking into consideration the following:

- 1. the character of the surrounding neighborhood, including the existing uses and zoning classification of properties near the subject property;** The character of the surrounding neighborhood consists of a mixture of developed and undeveloped land, including single family residential homes, as well as retail commercial and professional office buildings.
- 2. the physical character of the area in which the property is located;** the physical character of the area in which the property is located is mostly undeveloped land. Single family homes exist to the east of the subject

property, in the Wedgwood Place and Wedgewood Meadows subdivisions, and retail commercial exists to the southwest of the site near the Raymore Market Center development (Price Chopper, Great Clips, Minsky's). Cullen Funeral Home and a law office building exist directly to the south of the site.

3. **consistency with the goals and objectives of the Growth Management Plan and other plans, codes and ordinances of the City of Raymore;**

The Growth Management Plan identifies this property as appropriate for single family residential development, rather than professional office.

However, this proposal supports Economic Opportunity Goal #1 of the Growth Management Plan: *Retain existing businesses and encourage the expansion of existing businesses.* The request would allow the property owner(s), an existing business within the community, to expand the number of services provided to the community, which is not currently feasible at their existing location.

4. **suitability of the subject property for the uses permitted under the existing and proposed zoning districts;** The Growth Management Plan identifies this property as appropriate for single family residential development. However, the steep topography, pond, and other existing natural features act as barriers that would severely limit the number of single family homes that could be constructed on the site.

The use of this property under a professional office designation allows the property owner more flexibility to utilize the natural features as amenities to the site.

5. **the trend of development near the subject property, including changes that have taken place in the area since the subject property was placed in its current zoning district;** The trend of development near the subject property has been slow in recent years. The site, in addition to a number of surrounding properties have remained undeveloped since they were incorporated into the City.

Many of the surrounding properties have been rezoned from "A" Agricultural district to multi-family residential and commercial zoning districts over the last 10-15 years, but no development has followed, with the exception of the Raymore Market Center.

6. **the extent to which the zoning amendment may detrimentally affect nearby property;** the proposed zoning map amendment would not detrimentally affect the surrounding properties. The undeveloped land surrounding the subject property has remained undeveloped since it was incorporated into the City. Any uses under the proposed zoning classification are required to provide adequate screening and landscaping to protect adjacent properties from visual and physical obstruction.

7. **whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;** Limited public infrastructure exists on the site in its current state, with the exception of a sanitary sewer line that runs north-south along the site. Any development that occurs on the property will require the extension of the water line and storm sewer to serve the site.

Sunset Lane will also be extended to the northern property line when development occurs.

8. **the suitability of the property for the uses to which it has been restricted under the existing zoning regulations;** under the existing zoning classification, the subject property is restricted to single family residential development only. Due to the steep topography, pond, and other existing natural features, the amount of developable space for single family homes is limited.
9. **the length of time (if any) the property has remained vacant as zoned;** the property has remained vacant since it was incorporated into the City.
10. **whether the proposed zoning map amendment is in the public interest and is not solely in the interests of the applicant; and** the proposed zoning map amendment is in the public interest.
11. **the gain, if any, to the public health, safety and welfare due to the denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.** there will be no gain to the public health, safety and welfare of the community as a result of the denial of the application. Denial of the application would prohibit the applicant from developing a proposed professional medical office, and the property would remain vacant until the development of single family homes became desirable.

REVIEW OF INFORMATION AND SCHEDULE

Action	<u>Planning Commission</u>	<u>City Council 1st</u>	<u>City Council 2nd</u>
Public Hearing	May 15, 2018	June 11, 2018	June 25, 2018

STAFF RECOMMENDATION

City Staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and forward Case #18010, rezoning of Kirby Estates from "A" Agricultural District to "PO" Professional Office District to City Council with a recommendation of approval.



N SUNSET LANE

POND

LOADING

24,000 SF FOOTPRINT
PARTIAL 3RD STORY
60,000 SF TOTAL

8 ACCESSIBLE

250 TOTAL PARKING SPACES

TRASH ENCLOSURE

MONUMENT SIGN

MONTHLY REPORT April 2018

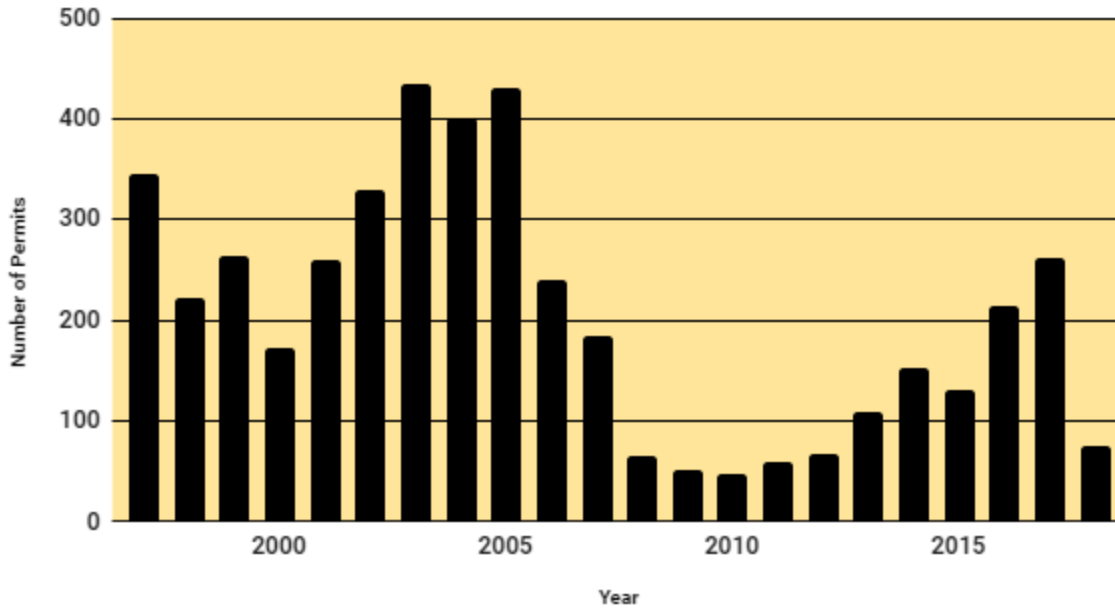
Building Permit Activity

Type of Permit	Apr 2018	2018 YTD	2017 YTD	2017 Total
Detached Single-Family Residential	18	37	63	202
Attached Single-Family Residential	22	38	10	60
Multi-Family Residential	0	0	0	20
Miscellaneous Residential (deck; roof)	67	158	143	480
Commercial - New, Additions, Alterations	1	6	12	34
Sign Permits	1	16	18	49
Inspections	Apr 2018	2018 YTD	2017 YTD	2017 Total
Total # of Inspections	597	2,089	2,446	7,141
Valuation	Apr 2018	2018 YTD	2017 YTD	2017 Total
Total Residential Permit Valuation	\$6,997,600	\$14,346,500	\$11,413,800	\$53,027,000
Total Commercial Permit Valuation	\$2,185,900	\$2,914,400	\$2,767,100	\$5,394,550

Additional Building Activity:

- Site work continues for the proposed Discover Vision Center building to be located at 1018 W. Foxwood Drive. Building construction is planned to start in Spring 2018.
- Construction work continues at the Recreation Activity Center in Recreation Park.
- Construction continues on 12 townhome units in the Timber Trails development, located south of Wal-Mart on the west side of Dean Avenue. 28 units have been completed.
- Construction has commenced on the new self-storage facility at 308 E. Walnut Street.

Single Family Building Permits



Code Enforcement Activity

Code Activity	Apr 2018	2018 YTD	2017 YTD	2017 Total
Code Enforcement Cases Opened	31	94	170	471
<i>Notices Mailed</i>				
-Tall Grass/Weeds	1	1	17	152
- Inoperable Vehicles	5	16	50	76
- Junk/Trash/Debris in Yard	11	31	22	75
- Object placed in right-of-way	2	5	9	22
- Parking of vehicles in front yard	4	16	43	87
- Exterior home maintenance	3	15	29	44
- Other (trash at curb early; signs; etc)	3	8	0	15
Properties mowed by City Contractor	0	0	0	60
Abatement of violations (silt fence repaired; trees removed; stagnant pools emptied; debris removed)	0	0	0	7
Signs in right-of-way removed	51	190	164	359
Violations abated by Code Officer	2	22	29	94

Development Activity

Current Projects

- Edgewater at Creekmoor 6th Final Plat
- Westbrook at Creekmoor 14th Final Plat
- Brightside Daycare Site Plan
- Sunrise Commons Minor Plat (Brightside Daycare)
- Compass Health Rezoning (northeast corner of 58 Highway and Sunset)
- Kirby Estates Replat

	As of Apr 30, 2018	As of Apr 30, 2017	As of Apr 30, 2016
Homes currently under construction	268	238	180
Total number of Undeveloped Lots Available (site ready for issuance of a permit for a new home)	390	568	722
Total number of dwelling units in City	8,286	8,031	7,842

Actions of Boards, Commission, and City Council

City Council

April 9, 2018

- Approved on 1st reading the acquisition of aerial photography and elevation data for the City through an agreement with the Mid-America Regional Council.

April 23, 2018

- Approved on 1st reading the acquisition of aerial photography and elevation data for the City through an agreement with the Mid-America Regional Council.

Planning and Zoning Commission

April 3, 2018

- Meeting Cancelled.

April 17, 2018

- Accepted the annual report of the Growth Management Plan.

Upcoming Meetings – May & June

May 1, 2018 Planning and Zoning Commission

- Meeting cancelled

May 14, 2018 City Council

- 1st reading - 27th Amendment to the Unified Development Code (public hearing)
- 1st reading - Brightside Daycare Easement Vacation (public hearing)

May 15, 2018 Planning and Zoning Commission

- Sunrise Commons Minor Plat
- Brightside Daycare Site Plan
- Rezoning, Northeast corner of Sunset Lane and 58 Highway, A to PO
- Kirby Estates Replat

May 28, 2018 City Council

- Meeting cancelled

June 5, 2018 Planning and Zoning Commission

- Annual review of the Unified Development Code

June 11, 2018 City Council

- 2nd reading - 27th Amendment to the Unified Development Code (public hearing)
- 2nd reading - Brightside Daycare Easement Vacation (public hearing)
- 1st reading - Sunrise Commons Minor Plat
- 1st reading - Rezoning, Northeast corner of Sunset Lane and 58 Highway, A to PO
- 1st reading - Kirby Estates Replat

June 19, 2018 Planning and Zoning Commission

- No items currently scheduled

June 25, 2018 City Council

- 2nd reading - Sunrise Commons Minor Plat
- 2nd reading - Rezoning, Northeast corner of Sunset Lane and 58 Highway, A to PO
- 2nd reading - Kirby Estates Replat

Department Activities

- Director Jim Cadoret and Associate Planner David Gress attended the American Planning Association national conference.

- Director Jim Cadoret met with the City of Independence Planning and Zoning Commission to discuss benefits of participation in the Communities for all Ages program.
- Staff finalized the annual review and report of the Growth Management Plan.
- Staff continued work on creation of Standard Operating Procedures for the Department.
- A "Good Neighbor" meeting was held on the proposed rezoning of the northeast corner of Sunset Lane and 58 Highway.

GIS Activities

- Desktop & ArcGIS server upgrade, enterprise components installed on new server
- Preparation for data migration to MS SQL Server 2016
- Orthophotos - preparation of systematic review of preliminary delivery
- Committee input for LiDAR acquisition
- Office arrangement & wall maps
- Informational support for operations of planning & zoning, public works, etc
- Application for feature addition & field reporting of mapping error
- ArcGIS Pro training at MAGIC (Midamerica GIS Consortium) Biennial Symposium
- Styling of active server pages with 2018 brand standard, browser testing
- Preparation to better support https in response to emerging browser standards