

RAYMORE PLANNING AND ZONING COMMISSION AGENDA

Tuesday, December 19, 2017 - 7:00 p.m.

City Hall Council Chambers
100 Municipal Circle
Raymore, Missouri 64083

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Personal Appearances - None
5. Consent Agenda
 - a. Acceptance of Minutes from November 21, 2017 meeting
6. Old Business - None
7. New Business
 - a. 2018 Meeting Calendar
 - b. Case #17034: Hawk Ridge Park Site Plan
8. City Council Report
9. Staff Report
10. Public Comment
11. Commission Member Comment
12. Adjournment

Any person requiring special accommodation (i.e. qualified interpreter, large print, hearing assistance) in order to attend this meeting, please notify the City Clerk at (816) 331-0488 no later than forty-eight (48) hours prior to the scheduled commencement of the meeting.

Meeting Procedures

The following rules of conduct apply:

1. Public can only speak during the meeting under the following circumstances:
 - a. The citizen has made a formal request to the Community Development Department to make a personal appearance before the Planning Commission;
or,
 - b. A public hearing has been called by the Chairman and the Chairman has asked if anyone from the public has comments on the application being considered;
or
 - c. A citizen may speak under Public Comment at the end of the meeting.
2. If you wish to speak to the Planning Commission, please proceed to the podium and state your name and address. Spelling of your last name would be appreciated.
3. Please turn off (or place on silent) any pagers or cellular phones.
4. Please no talking on phones or with another person in the audience during the meeting.
5. Please no public displays, such as clapping, cheering, or comments when another person is speaking.
6. While you may not agree with what an individual is saying to the Planning Commission, please treat everyone with courtesy and respect during the meeting.

Every application before the Planning Commission will be reviewed as follows:

1. Chairman will read the case number from the agenda that is to be considered.
2. Applicant will present their request to the Planning Commission.
3. Staff will provide a staff report.
4. If the application requires a public hearing, Chairman will open the hearing and invite anyone to speak on the request.
5. Chairman will close the public hearing.
6. Planning Commission members can discuss the request amongst themselves, ask questions of the applicant or staff, and may respond to a question asked from the public.
7. Planning Commission members will vote on the request.

THE PLANNING AND ZONING COMMISSION OF THE CITY OF RAYMORE, MISSOURI, MET IN REGULAR SESSION TUESDAY, NOVEMBER 21, 2017 IN THE COUNCIL CHAMBERS OF CITY HALL, 100 MUNICIPAL CIRCLE, RAYMORE, MISSOURI WITH THE FOLLOWING COMMISSION MEMBERS PRESENT: CHAIRMAN WILLIAM FAULKNER, KELLY FIZER, LEO ANDERSON, MARIO URQUILLA, DON MEUSCHKE, AND MAYOR KRIS TURNBOW. ABSENT WERE ERIC BOWIE, MELODIE ARMSTRONG, AND CHARLES CRAIN. ALSO PRESENT WERE COMMUNITY DEVELOPMENT DIRECTOR JIM CADORET, ASSOCIATE PLANNER DAVID GRESS, PUBLIC WORKS DIRECTOR MIKE KRASS, ASSISTANT PUBLIC WORKS DIRECTOR GREG ROKUS AND CITY ATTORNEY JONATHAN ZERR.

1. Call to Order – Chairman Faulkner called the meeting to order at 7:00 p.m.
2. Pledge of Allegiance
3. Roll Call – Roll was taken and Chairman Faulkner declared a quorum present to conduct business.
4. Personal Appearances – None
5. Consent Agenda
 - a. Acceptance of minutes of October 3, 2017 meeting.
 - b. Case #17031 Westbrook at Creekmoor 13th Final Plat

Motion by Commissioner Anderson, Seconded by Commissioner Meuschke to approve the consent agenda.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Armstrong	Absent
Commissioner Bowie	Absent
Commissioner Crain	Absent
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Aye

Motion passed 6-0-0.

6. Old Business - None
7. New Business -

A. Election of Officers

Mayor Turnbow asked for a reading of the current officers.

Chairman Faulkner stated the current officers are:

Chairman: William Faulkner
Vice Chairman: Kelly Fizer
Secretary: Charles Crain

Motion by Commissioner Anderson, Seconded by Mayor Turnbow to keep the existing officers in place for the next year.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Armstrong	Absent
Commissioner Bowie	Absent
Commissioner Crain	Absent
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Aye

Motion passed 6-0-0.

B. Case #17029 - Rezoning of Cumberland Plaza Lots 1-4; C-1 to C-2 (public hearing)

Associate Planner David Gress presented the staff report. Mr. Gress indicated the request is to reclassify the zoning of 4 lots commonly known as 118, 208, 210 and 214-216 W. Walnut Street. Staff identified these 4 lots as having a zoning designation that was not consistent with surrounding property. The surrounding commercial lots are zoned C-2. The interest of staff on this request is to reclassify the zoning of these 4 lots to C-2. Each property owner was notified and no objections have been filed. The request does require a public hearing that was advertised with neighbors notified. Staff requested the following exhibits be entered into the record: Mailed notices to adjoining property owners; notice of publication; Unified Development Code; application; Growth Management Plan; and the staff report.

Mr. Gress stated that a Good Neighbor meeting was held but no neighbors attended. Staff recommends approval of the reclassification of zoning.

Public hearing opened at 7:13 p.m.

No public spoke.

Public hearing closed at 7:13 p.m.

Commissioner Anderson commented that he was glad to see a cleanup of the kaleidoscope of zoning in the area.

Mr. Gress stated that staff saw the opportunity to make the zoning in the area more cohesive.

Chairman Faulkner commented on the history of zoning in the area and the research that staff did to verify the current zoning of the lots.

Commissioner Fizer asked what the differences in allowed uses are between the C-1 and C-2 districts.

Mr. Gress identified that there are only 3 additional uses allowed in the C-2 district: Hotel, indoor sports and recreation; and indoor entertainment.

Motion by Commissioner Anderson, Seconded by Commissioner Meuschke, to accept the staff proposed findings of fact and forward Case #17029, **Rezoning of Cumberland Plaza Lots 1-4**, to the City Council with a recommendation of approval.

Vote on Motion:

Chairman Faulkner	Aye
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Commissioner Anderson	Aye
Commissioner Armstrong	Absent
Commissioner Bowie	Absent
Commissioner Crain	Absent
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Aye

Motion passed 6-0-0.

C. Case #17030 - Rezoning of Good Ranch Tract 1; A to C-3 (public hearing)

Associate Planner David Gress presented the staff report. Mr. Gress indicated the request is to reclassify the zoning of 9.2 acres located on the northwest corner of Dean Avenue and North Cass Parkway. The surrounding commercial area is zoned C-3. The interest of staff on this request is to reclassify the zoning of this sliver of agricultural zoning to regional commercial to match the surrounding zoning. The sliver of zoning was created when the final design of North Cass Parkway was shifted to the south. The property owner was notified and no objections have been filed. The request does require a public hearing that was advertised with neighbors notified. Staff requested the following exhibits be entered into the record: Mailed notices to adjoining property owners; notice of publication; Unified Development Code; application; Growth Management Plan; and the staff report.

Mr. Gress stated that a Good Neighbor meeting was held but no neighbors attended. Staff recommends approval of the reclassification of zoning.

Public hearing opened at 7:22 p.m.

No public spoke.

Public hearing closed at 7:22 p.m.

Motion by Commissioner Fizer, Seconded by Commissioner Urquilla, to accept the staff proposed findings of fact and forward Case #17030, **Rezoning of Good Ranch Tract 1**, to the City Council with a recommendation of approval.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Armstrong	Absent
Commissioner Bowie	Absent
Commissioner Crain	Absent
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Aye

Motion passed 6-0-0.

D. Case #17033: 26th Amendment to the Unified Development Code - (public hearing)

Community Development Director Jim Cadoret presented the staff report on the application. Mr. Cadoret indicated that an amendment to the text of the Unified Development Code requires a public hearing. He entered for the record the Growth Management Plan, Unified Development Code, the

notice of publication, and the staff report. He stated at its October 3, 2017 meeting the Commission discussed the results of research completed by staff on several topics and directed staff to prepare this proposed amendment.

Mr. Cadoret reviewed proposed revision #1, which proposes to clarify language related to the keeping of animals on residential lots in Raymore. The request would amend current code language to specify chickens and fowl and to allow these animals in the A and RE districts and upon property zoned R-1 that are at least 3 acres in size.

Mr. Gress presented proposed revision #2, a proposal to add two definitions: Accessory Dwelling, Attached; and Accessory Dwelling, Detached.

Mr. Gress presented proposed revision #3, which would amend the use table by identifying those zoning districts wherein attached accessory dwelling units and detached accessory dwelling units are allowed. Attached units would be allowed in all residential zoning districts. Detached units would be allowed in the A, RE, RR, R-1, and R-1A districts only.

Mr. Gress presented proposed revision #4, which establishes the size and design requirements for accessory dwelling units.

Mr. Gress presented proposed revision #5 which would clarify code language related to new solar energy system installations in the City.

Mayor Turnbow asked if the code included a prohibition on systems being installed on the front roof of a home or business.

Mr. Gress commented that the proposal would allow solar energy systems on the front roof of a home or business.

Public hearing opened at 7:49 p.m.

Peggy and Mike Phillips, 608 Loran Lane, spoke regarding proposed revision #1. They indicated that the issue of chickens on residential lots has been discussed before and that they are against allowing these animals in the rear yard of residential homes. Her concern is on enforcement and the burden this would have on animal control officers. She has no problem on allowing these animals on lots that are greater than 3 acres in size.

Kara Ince, 212 W. Heritage Drive, spoke regarding revision #1. She indicated she lives in a subdivision and is in support of allowing chickens on small residential lots. She had chickens at one time but Code Enforcement told her they were not allowed and she had to get rid of them. She believes chickens provide benefits to her children. If the property is taken care of, the chickens would not be a burden. Several local communities do allow chickens on smaller lots.

Susan Dooley, 606 Condor Street, spoke regarding revision #1. She too had chickens at one time and Code Enforcement made her remove them. She indicated she brought the issue before City Council but there was not support to change the code. She indicated Lee's Summit does allow chickens on smaller lots. She is in support of allowing chickens on smaller lots.

Melody Woo, 801 S. Franklin Street, spoke regarding revision #1. She has had good experiences with Animal Control officers. She indicated she would like to have the option of having chickens on her lot. If granny flats are to be allowed, then chickens should be allowed as well.

Public hearing closed at 8:01 p.m.

Commissioner Urquilla asked if there is a requirement on the maximum number of chickens allowed per acre in the A and RE districts.

Mr. Cadoret stated the code does not distinguish a maximum number, but there are national standards available for what is a reasonable maximum number.

Chairman Faulkner commented that revision #1 is an incremental change that is proposed. He provided a brief review of past discussions the Commission has had on the topic.

Commissioner Anderson asked how many times staff has been contacted by residents on the issue of whether chickens are allowed.

Mr. Cadoret stated he receives a few calls each month on the issue.

Commissioner Anderson stated that while he appreciates knowing what other communities are doing, Raymore stands on its own merits and character. He does not believe there is a public outcry on the issue.

Commissioner Urquilla commented that this issue can be brought forward later for further consideration.

Motion by Mayor Turnbow, Seconded by Commissioner Urquilla, to accept the staff proposed findings of fact and forward Case #17033, **26th Amendment to the Unified Development Code**, with a recommendation of approval.

Commissioner Anderson made a motion to amend the original motion, Seconded by Mayor Turnbow, to exclude revision #1 from the case.

Vote on Amended Motion:

Chairman Faulkner	Nay
Commissioner Anderson	Aye
Commissioner Armstrong	Absent
Commissioner Bowie	Absent
Commissioner Crain	Absent
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Urquilla	Nay
Mayor Turnbow	Aye

Motion failed 4-2-0.

Chairman Faulkner made a motion to amend the original motion, Seconded by Commissioner Anderson, to remove proposed change under Section 405.040A2 under revision #1.

Mr. Cadoret clarified for the Commission that removing the language contained in A2 would not change how the code is interpreted. Chickens and fowl would still be allowed only in the A and RE zoning districts.

Vote on Amended Motion:

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Armstrong	Absent
Commissioner Bowie	Absent
Commissioner Crain	Absent
Commissioner Fizer	Nay

Commissioner Meuschke Aye
Commissioner Urquilla Nay
Mayor Turnbow Nay

Motion failed 3-3-0.

Commissioner Urquilla commented that he believes the proposed language under 2A helps to clarify the code requirement.

Commissioner Fizer agreed.

Mayor Turnbow commented that staff did the necessary research and supports the recommended code language.

Vote on Original Motion:

Chairman Faulkner Aye
Commissioner Anderson Nay
Commissioner Armstrong Absent
Commissioner Bowie Absent
Commissioner Crain Absent
Commissioner Fizer Aye
Commissioner Meuschke Aye
Commissioner Urquilla Aye
Mayor Turnbow Aye

Motion passed 5-1-0.

Commissioner Anderson stated that based upon public comments made this evening he wanted the opportunity to come back and revisit this issue again in the future.

8. City Council Report

Mr. Zerr gave the City Council report.

9. Staff Report

Mr. Cadoret provided an overview of the upcoming cases to be considered by the Commission and on the 2018 National APA Planning Conference scheduled for April 21-24.

Mr. Cadoret requested, and the Commission confirmed, that the meeting scheduled for December 5, 2017 be cancelled due to lack of business and that the January 16, 2018 be cancelled for City Council to use the room that evening.

Public Works Director Mike Krass introduced Greg Rokos as the new Assistant Director of Public Works. Mr. Krass provided an overview of the status of current City infrastructure projects.

10. Public Comment

1. Karen Ince, 212 W. Heritage Drive, asked about street lights in the older neighborhoods of Raymore, including the end of Heritage Drive. She indicated there are no street lights at the end of Heritage and requested the City look into this.
2. Susan Dooley, 606 Condor. She expressed that Lee's Summit has a population over 100,000 and allows chickens. Additionally, the Animal Control Manager for Lee's Summit has expressed that the most difficult issue with having chickens in Lee's Summit is getting it through City Council.

- Melody Woo, 801 S. Franklin Street, understood that the backyard chicken issue is not moving forward soon, but asked when the issue could be expected to be discussed again.

Chairman Faulkner expressed that the case heard tonight will be considered by City Council on January 8, 2018.

11. Commission Member Comment

Commissioner Meuschke welcomed Commissioner Urquilla.

Commissioner Anderson welcomed Commissioner Urquilla and thanked staff.

Vice-Chairman Fizer thanked the public for the input and welcomed Commissioner Urquilla.

Commissioner Urquilla thanked the Commissioners for the welcome. He stated that there is a lack of street lights in some of the older areas of the City.

Mayor Turnbow welcomed Commissioner Urquilla and mentioned the recent ribbon cutting for the new art work in front of Raymore Marketplace.

Chairman Faulkner thanked staff for its work and support to the Commission.

12. Adjournment

Motion by Mayor Turnbow, Seconded by Commissioner Meuschke to adjourn the November 21, 2017 Planning and Zoning Commission meeting.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Armstrong	Absent
Commissioner Bowie	Absent
Commissioner Crain	Absent
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Sarsfield	Aye
Mayor Turnbow	Aye

Motion passed 6-0-0.

The November 21, 2017 meeting adjourned at 8:54 p.m.

Respectfully submitted,

Jim Cadoret



To: Planning and Zoning Commission
From: City Staff
Date: December 19, 2017
Re: **Case #17034 - Hawk Ridge Park Site Plan**

GENERAL INFORMATION

**Applicant/
Property Owner:** City of Raymore
Requested Action: Site plan approval for Hawk Ridge Park
Property Location: Northern terminus of Johnston Parkway



Aerial Photograph:



Property Photographs:



(View from the northern terminus of Johnston Parkway)

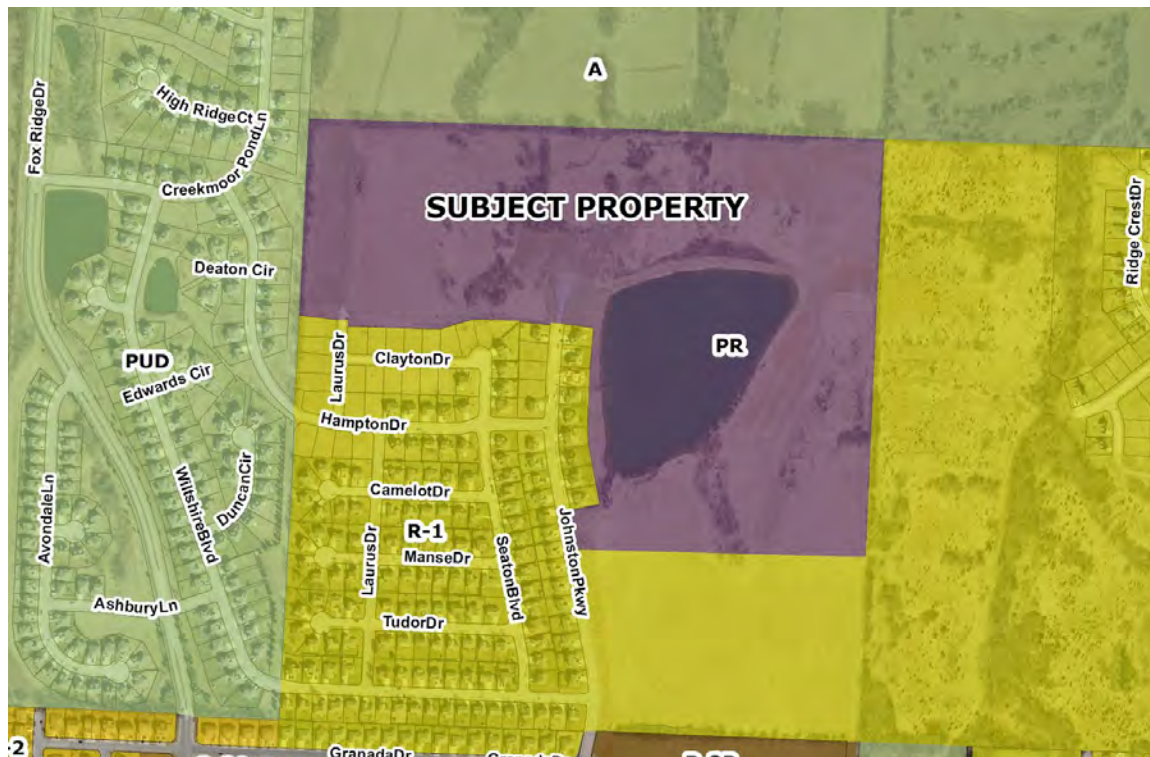


(View looking east from the proposed north parking lot)



(View looking north east from the entrance to the proposed south parking lot).

Existing Zoning: "PR" Parks, Recreation and Public Use District



Existing Surrounding Uses: **North:** Agricultural; Undeveloped
South: Single Family Residential
East: Single Family Residential
West: Single Family Residential

Total Tract Size: 79 Acres

Subdivision Plat: This area is located on an unplatted tract of land.

Growth Management Plan: The Future Land Use Plan Map contained in the Growth Management Plan identifies this property as appropriate for parks, and/or open space.

Major Street Plan: The Major Thoroughfare Plan Map contained in the Growth Management Plan has Johnston Parkway classified as a Minor Collector. Sunset Lane, which will be extended in the future is also classified as a Minor Collector

Advertisement: City Ordinance does not require advertisement for Site Plans.

Public Hearing: City Ordinance does not require a public hearing for Site Plans.

PROPOSAL

Outline of Requested Action: The applicant seeks to obtain site plan approval for Hawk Ridge Park.

SITE PLAN REQUIREMENTS AND STANDARDS

In order for the applicant to accomplish the aforementioned action, they must meet the provisions of the Unified Development Code. Chapter 470 of the Unified Development Code outlines the requirements and actions that need to be taken in order to site plan property, specifically Section 470.160.

Section 470.160 Site Plan Review

A. Purpose

The City of Raymore recognizes that the nature of land development creates the potential for traffic congestion, overcrowding, adverse visual and environmental impacts, and health problems. The City strives to promote growth in Raymore while stabilizing the established residential character of the area. Site plan review regulates the development of structures and sites in a manner that takes into consideration the following considerations:

1. the balancing of landowners' rights to use their land, with the corresponding rights of neighboring landowners, residents and the general public, to live without undue disturbances (e.g., noise, smoke, vibration, fumes, dust, odor, glare, stormwater runoff, etc.);
2. the convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent areas or roads;
3. the adequacy of waste disposal methods and protection from pollution of surface or ground water;
4. the protection of historic and environmental features on the site under review and in adjacent areas;
5. the stability of the built environment, particularly residential neighborhoods, by promoting urban development which is compatible with clearly identified natural resources; and
6. the adequacy of provisions for resulting additional system demands which may be imposed by the development upon roads and streets, water supply and storage, storm sewerage, and sanitary sewerage and wastewater treatment and the consistency of the development with the City's Growth Management Plan.

B. Applicability

1. All applications for building permits for developments in the multi-family, commercial and industrial zoning districts are subject to site plan review in accordance with this section. All nonresidential uses in residential districts require site plan review.
2. No building permit will be issued without being granted site plan approval when it is required by this subsection.

C. Application

Applications for site plan review may be obtained from the Community Development Director. The application must be completed in its entirety in accordance with Section 470.010C and filed with the Community Development Director. The applicant

must submit copies in accordance with the submission schedule regularly adopted by the Planning and Zoning Commission.

D. Procedure

1. Community Development Director Action

- a. All site plans will be reviewed by the Community Development Director.
- b. The Community Development Director has the authority to take final action (approve, conditionally approve or deny) on applications for:
 - (1) developments that have an approved site plan on file where the application proposes to expand the existing use by less than 10 percent or 5,000 square feet, whichever is less; or
 - (2) developments that have an approved site plan on file where the application proposes to modify signage, parking, landscaping or other minor feature and the proposed modifications will be in compliance with all requirements of this Code.
- c. The Community Development Director must complete the review within 20 days of receiving a complete application.

2. Planning and Zoning Commission Action

With the exception of those cases identified in paragraph 1 above, all other applications for site plan review will be reviewed by the Community Development Director, and forwarded to the Planning and Zoning Commission for review and action. The Commission has the authority to take final action, and may approve, approve with conditions or disapprove the application.

3. Conditions of Approval

In approving a site plan, the Planning and Zoning Commission or, when applicable the Community Development Director, may impose reasonable conditions, safeguards and restrictions upon the applicant and the premises.

E. Findings of Fact

1. In order to be approved, the Community Development Director or Planning and Zoning Commission must find that the following conditions are met:
 - a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;
 - b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;
 - c. the proposed use is allowed in the district in which it is located;
 - d. vehicular ingress and egress to and from the site, and circulation within the site provides provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;
 - e. the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;
 - f. the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and

minimizes potential adverse impacts on existing or planned municipal infrastructure and services;

- g. open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;
- h. the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;
- i. provides adequate parking for the use, including logical and safe parking and circulation;
- j. provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates; and
- k. includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.

F. Effect of Approval

If the Planning and Zoning Commission or, when applicable, the Community Development Director approves a site plan, it will be considered permission to prepare and submit a building permit application that complies with the approved site plan and conditions of approval.

G. Appeals

1. The applicant may appeal the decision of the Community Development Director to the Planning and Zoning Commission.
 - a. The applicant must notify the Community Development Director of their intent to appeal within 10 days of the date of decision from the Community Development Director.
 - b. The Community Development Director will schedule the appeal for the next regularly scheduled Planning and Zoning Commission meeting which is no sooner than 15 days from the date the intent to appeal was filed.
 - c. The applicant must provide an additional 15 review copies of the drawings and the additional required fee along with the intent to appeal.
2. The applicant may appeal the decision of the Planning and Zoning Commission to the City Council.
 - a. The applicant must notify the Community Development Director of their intent to appeal, in writing, within 10 days of the date of the Planning and Zoning Commission meeting when the application was considered.
 - b. The Community Development Director will schedule the appeal for the next regularly scheduled City Council meeting provided it is at least 15 days from the date the intent to appeal was filed.
 - c. The applicant will provide an additional 15 review copies of the drawings along with the intent to appeal.

PREVIOUS ACTIONS ON THE PROPERTY

1. The property surrounding Johnston Lake was originally proposed as part of the Preliminary Plat for the Remington subdivision, a single family development, and included the lake as a private amenity to the subdivision. Because that development was never fully realized, the property surrounding the lake was left undeveloped.
2. In 2008, the City purchased the 79 acre tract of land with the intention of developing it into a public park.
3. In 2009, as part of the City initiated zoning map amendment process, the property was rezoned from 'R-1' Single Family Residential District to 'PR' Parks, Recreation and Public Use District.

ENGINEERING DIVISION COMMENTS

The Engineering Division has reviewed the Site Plan application, and provided a memorandum recommending approval of this application.

STAFF COMMENTS

1. **Development Standards:** The development standards applicable to the property are as follows
Dimensional Requirements
 - a. Minimum lot size: none
 - b. Minimum lot width: 70 feet
 - c. All buildings and structures must be at least 30 feet from any property line.
 - d. Buildings shall not exceed 35 feet in height. The Planning and Zoning Commission may allow a maximum building height of 45 feet when necessary to accommodate special recreation needs and when the following criteria are met:
 - That substantial architectural relief is provided to relieve the feeling of mass; and
 - That the additional height allowance provides a recreational amenity that is unique and desired in the City of Raymore, and is supported in the Growth Management Plan.
2. **Special Use Conditions:** There are no use-specific standards or conditions for this use.
3. **Parking:** The required number of parking spaces for a public, parks and recreation use is determined as follows:

Use	Minimum Parking Spaces Required
PUBLIC AND CIVIC USES	
Parks and Recreation	To be determined by the Community Development director

The proposed site plan has included 71 parking spaces overall (40 spaces in the north parking lot, and 31 spaces in the south parking lot)

The proposed site plan is determined to be in compliance with the parking standards for the City of Raymore by providing the 71 parking spaces. The site plan also provides, and exceeds the required number of accessible parking spaces.

A total of 3 accessible spaces are required and 12 spaces are provided.

- 4. Landscaping** Twenty percent (20%) of the lot is required to be reserved for landscaped area. A landscaped area a minimum of six feet in width shall be provided along all street frontages and along all perimeter property lines. The propose site plan is in compliance the the landscaping requirements.

No screening is required along the property lines which abut residential zoning districts.

Landscape islands with at least one shade tree and three shrubs must be provided at a minimum of one for every 10 parking spaces in all off-street areas.

A total of 9 trees and 21 shrubs are required in the proposed parking lot areas. The required trees and shrubs in the parking lot landscape islands are provided.

- 5. Building Design:** The proposed buildings, including the ampitheater, pavilion and restroom facility are in compliance with the building design standards contained in Section 440.010 listed below.

Section 440.010 Building Design Standards

C. Building Materials

1. Masonry Construction

A minimum of 50 percent of front and side facades shall consist of materials described by this sub-section.

- a. Masonry construction shall include all masonry construction which is composed of solid, cavity, faced or veneered-wall construction, or similar materials approved by the Planning and Zoning Commission.

- b. Stone materials used for masonry construction may consist of granite, sandstone, slate, limestone, marble or other hard and durable all-weather stone. Ashlar, cut stone and dimensioned stone construction techniques are acceptable.
- c. Brick material used for masonry construction shall be composed of hard-fired (kiln-fired), all weather common brick or other all-weather common brick or all-weather-facing brick.
- d. Concrete finish or precast concrete panel (tilt wall) construction shall be exposed or aggregate, hammered, sandblasted or other finish as approved by the Planning and Zoning Commission.
- e. Stucco or approved gypsum concrete/plaster materials are also permitted.

2. Glass Walls

Glass walls shall include glass-curtain walls or glass-block construction. A glass-curtain wall shall be defined as an exterior wall which carries no floor or roof loads and which may consist of a combination of metal, glass and other surfacing materials supported in a metal frame.

3. Metal Walls

- a. The use of metal siding is permitted only in industrial districts and only for side and rear façades. The materials used on the front façade shall be incorporated into any façade visible from a public street to break up the monotony of those facades.
- b. The use of corrugated panels, with a depth of less than three-quarter inch or a thickness less than U.S. Standard 26 gauge is prohibited.
- c. The use of unpainted metal panels, excluding panels made from copper, weathering steel, or stainless steel, is prohibited. The color finish of metal panels and exposed fasteners shall have extended durability with high resistance to fade and chalk.
- d. Corrugated metal facades shall be complemented with masonry, whether brick, stone, stucco or split-face block. Architectural metal panels may be an acceptable substitute for masonry. Appropriate landscaping shall be used to complement and enhance a building's design, color and material.

- 6. Pedestrian Access:** Pedestrian Access to the site has been provided. Sidewalk will be required to be constructed along Johnston Parkway, connecting to the proposed parking lot to the south. Sidewalk will be constructed along both sides of Johnston Parkway to the north, connecting to the proposed northern parking lot. In addition, pedestrian access has also been provided to the pavilion, amphitheater, and restroom facility via a sidewalk or trail.

- 7. Signage:** A master signage plan was not submitted with the application. Signage is not approved as part of the site plan but is shown for illustration purposes only. A sign permit is required prior to installation of any sign.

The proposed location and design of the monument sign is in compliance with the provisions of the UDC.

- 8. Fire District Review:** The site plan was reviewed by the South Metropolitan Fire Protection District. The District had concerns on how access would be provided for emergency vehicles from the parking lot(s) to the individual buildings in the case of an emergency. Adequate width is provided along the trails to allow access for emergency vehicles, if necessary.

The South Metropolitan Fire Protection District requires the issuance of a building permit from the district. This permit is in addition to the building permit issued by the City of Raymore.

- 9. Stormwater Management:** Stormwater runoff will be collected on site and discharged into three bio-retention swales located near the proposed parking lot(s).

- 10. Site Lighting:** The proposed site lighting plan is in compliance with the outdoor lighting performance standards of the City.

- 11. Trash Enclosure:** A trash enclosure is not included as part of this site plan. Smaller individual trash receptacles will be placed within the pavilion and restroom facilities, and along the trails. These receptacles are not required to be screened.

- 12. Screening of Mechanical Equipment:** All electrical and mechanical equipment located adjacent to the building shall be screened from view from adjacent properties and any adjacent street. Accessory utility facilities that are in excess of 3 ½ feet shall be screened. The proposed buildings will require minimal utilities, all of which will be located within the buildings themselves.

- 13. Site Access** Access to the site will be provided off of Johnston Parkway, which will connect to two parking lots. Sunset Lane, to the east of the park will, at some point in the future, extend north and provide access to the east side of the park.

STAFF PROPOSED FINDINGS OF FACT

Section 470.160 of the Unified Development Code states that the Planning and Zoning Commission and the City Council must make findings of fact taking into consideration the following:

a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;

The site plan does comply with all applicable standards of the Unified Development Code and all other applicable City ordinances and policies.

b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;

The site plan does not conflict with any of the adopted master plans of the City or the purpose and intent of the Unified Development Code.

c. the proposed use is allowed in the district in which it is located;

A public park is an allowable use in the 'PR' Parks, Recreation and Public Use District

d. vehicular ingress and egress to and from the site, and circulation within the site provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;

Vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of vehicles. Access to the site is off of Johnston Parkway, a collector roadway that connects to 58 Highway.

e. the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;

The site plan does provide for safe, efficient and convenient movement of pedestrians. Sidewalks are provided to allow pedestrians to access the amenities of the park from Johnston Parkway

f. the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services;

The placement of the buildings in the throughout the park does allow for efficient use of the land and minimizes potential adverse impacts on existing and planned municipal infrastructure and services.

- g. open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;**

The amenities of the proposed park are arranged in such a way that Johnston Lake will be preserved and enhanced as the natural focal point of the park.

- h. the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;**

There are minor alterations to the existing topography that will be made for this project. Johnston Lake will be preserved throughout the project. There are existing trees throughout the park that will need to be removed as part of the site work.

- i. provides adequate parking for the use, including logical and safe parking and circulation;**

Parking for the use meets the minimum requirement and is provided in a logical manner. Circulation through the site is well planned.

- j. provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates; and**

Adequate landscaping is provided for the site. There is no screening required as part of this project.

- k. includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.**

The site illumination has been designed and located to minimize adverse impacts on adjacent properties.

REVIEW OF INFORMATION AND SCHEDULE

<u>Action</u>	<u>Planning Commission</u>
Site Plan Review	December 19, 2017

STAFF RECOMMENDATION

The staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and approve Case #17034 Hawk Ridge Park Site Plan subject to the following conditions:

Prior to commencement of any land disturbance activities:

1. State of Missouri and City of Raymore land disturbance permits shall be obtained prior to the commencement of any site grading or land disturbance activities.
2. All erosion control measures identified on the site disturbance plan and required by the land disturbance permit must be installed prior to grading and these measures must be maintained throughout the duration of the construction process.

Prior to issuance of a Building Permit

3. Building construction plans shall be approved by the Building Official.

Prior to issuance of a Certificate of Occupancy:

4. All accessible parking spaces must be identified by signs complying with the Manual of Uniform Traffic Control Devices and the Department of Justice, Code of Federal Regulation 28 CFR Part 36, ADA Standards for Accessible Design. The sign must be vertically mounted on a post or wall no more than five feet from the space and centered on the width of the space.
5. A minimum of two of the accessible parking spaces shall be served by an access aisle a minimum of ninety-six inches wide and shall be designated "lift van accessible only" with signs that meet the requirements of the federal Americans with Disabilities Act.
6. If the electrical transformer box and any other accessory utility facility is taller than three and one-half feet or covers more than twenty-five square feet in area than it must be screened in accordance with Section 420.040D of the Unified Development Code.
7. All work shall be completed in accordance with the site plan approved by the Planning and Zoning Commission.

Perpetual Conditions:

8. Prior to removing erosion control measures at the conclusion of the project, the contractor must obtain concurrence from the City.
9. A signed copy of the weekly and post rain event erosion control inspection reports shall be submitted to the City upon completion of each report.
10. Contractor must immediately notify City staff of any illicit discharge that enters or has the potential to enter the storm sewer system.

HAWK RIDGE PARK

701 JOHNSTON PARKWAY
 CITY OF RAYMORE
 RAYMORE / MISSOURI
 CONFLUENCE PROJECT NO: 16081KC

DRAWING INDEX

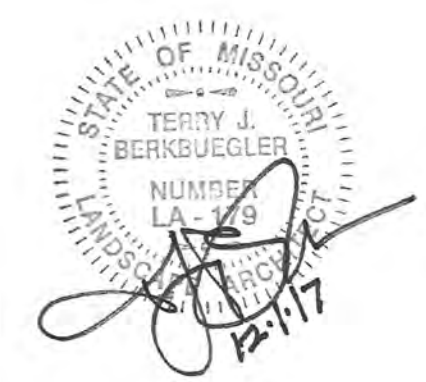
SHEET NUMBER	SHEET TITLE
C100 - C102	UTILITY PLANS
C200	EROSION CONTROL PLAN
C301	WATER & SANITARY DETAILS
C302 - C303	EROSION CONTROL DETAILS
SP100	DEMOLITION PLAN
SP200 - SP204	LAYOUT PLANS
SP300 - SP304	GRADING PLAN
SP400 - SP404	SITE DETAILS
Z-611 - Z-616	MDC FISHING DOCK DETAILS
L100 - L104	PLANTING PLAN
L200	PLANTING DETAILS
A001	ILLUSTRATIONS
A111	FLOOR PLAN AMPHITHEATER
A112	FLOOR PLAN AND SCHEDULES SHELTER
A131	CEILING AND ROOF PLAN - AMPHITHEATER
A132	CEILING AND ROOF PLAN - SHELTER
A210	ELEVATIONS - AMPHITHEATER
A220	ELEVATIONS - SHELTER
A311 - A312	WALL SECTIONS AND DETAILS - AMPHITHEATER
A321 - A323	WALL SECTIONS AND DETAILS - SHELTER
S001	STRUCTURAL NOTES
S101	FOUNDATION PLANS AND DETAILS
S201	MASONRY DETAILS
P000	PLUMBING LEGENDS
P001	PLUMBING SITE PLAN
P111	PLUMBING SHELTER
P211	PLUMBING SCHEDULES AND DETAILS
E000	ELECTRICAL LEGEND
E001 - E003	ELECTRICAL SITE PLANS
E011	PHOTOMETRIC CALCULATIONS
E111	LIGHTING AMPHITHEATER
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E211	POWER AMPHITHEATER
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E311	LIGHTING FIXTURE SCHEDULE
E312	ELECTRICAL PANEL SCHEDULE
E411 - E412	ELECTRICAL DETAILS
E511	ELECTRICAL ONE-LINE
E512	ELECTRICAL FAULT CALCULATIONS

SYMBOLS AND ABBREVIATIONS

- PROPERTY LINE
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- CENTERLINE
- FIBER OPTIC LINE
- GAS LINE
- EASEMENT LINE
- SILT FENCE
- PROPOSED INDEX CONTOUR
- PROPOSED CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- C-# HORIZONTAL CURVE
- CLR. CLEARANCE
- DIA. DIAMETER
- EJ EXPANSION JOINT
- FES FLARED END SECTION
- FFE FINISHED FLOOR ELEVATION
- FL FLOW LINE
- HP HIGH POINT
- LP LOW POINT
- MFR. MANUFACTURER
- N.I.C. NOT IN CONTRACT
- PVC P.V.C. PIPE
- R RADIUS
- RCP REINFORCED CONCRETE PIPE
- RIM RIM ELEVATION
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ TEE CONNECTION
- ⊕ LIGHT POLE, SINGLE FIXTURE
- ⊕ LIGHT POLE, DOUBLE FIXTURE
- ⊕ SPOT ELEVATION
- ⊕ HORIZONTAL CONTROL POINTS
- ⊕ KEY NOTE
- ⊕ SURFACE DRAINAGE
- ⊕ STORM MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ CLEANOUT
- ⊕ STORM SEWER CURB INTAKE
- ⊕ STORM SEWER AREA INTAKE
- ⊕ HANDICAP PARKING STALL



VICINITY SKETCH



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<p>MATT ENSTROM DATE: 11.30.2017</p> <p>SHEETS COVERED BY THIS SEAL: S001, S101, S201</p>	<p>JAMES DIETZ DATE: 11-30-2017</p> <p>SHEETS COVERED BY THIS SEAL: P201, U01, P111</p>	<p>ANDREA C. MULVANY DATE: 11-30-2017</p> <p>SHEETS COVERED BY THIS SEAL: E000, E001, E002, E003, E011, E111, E112, E211, E212, E311, E312, E411, E412, E511, E512</p>	<p>JUSTIN C. KLAUDT DATE: 11-30-2017</p> <p>SHEETS COVERED BY THIS SEAL: C100, C101, C102, C200, C301, C302, C303</p>	<p>KERRY KARL NEWMAN DATE: 12/1/2017</p> <p>SHEETS COVERED BY THIS SEAL: A001, A111, A112, A131, A132, A210, A220, A311, A312, A321, A322, A323</p>	<p>TERRY J. BERGUEGLER DATE: 12.1.17</p> <p>SHEETS COVERED BY THIS SEAL: SP100, SP200, SP201, SP202, SP203, SP204, SP300, SP301, SP302, SP303, SP304, S400, SP401, SP402, SP403, SP404, L100, L101, L102, L103, L104, L200</p>
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File Location: S:\PROJECTS\2016\16081KC - Hawk Ridge Park Improvements Design\16081KC - AutoCAD\100 - Cover Sheet\Drawn by: XY / Checked by: XX

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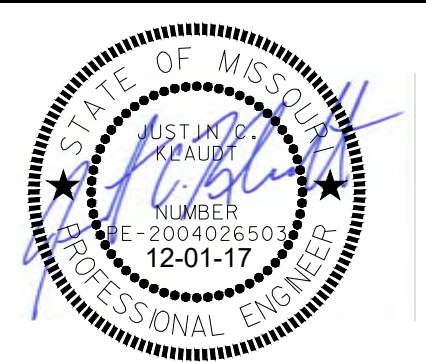
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HAWK RIDGE PARK
 CITY OF RAYMORE PARK AND RECREATION
 RAYMORE/ MISSOURI

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
1	12/01/17	CONSTRUCTION DRAWINGS

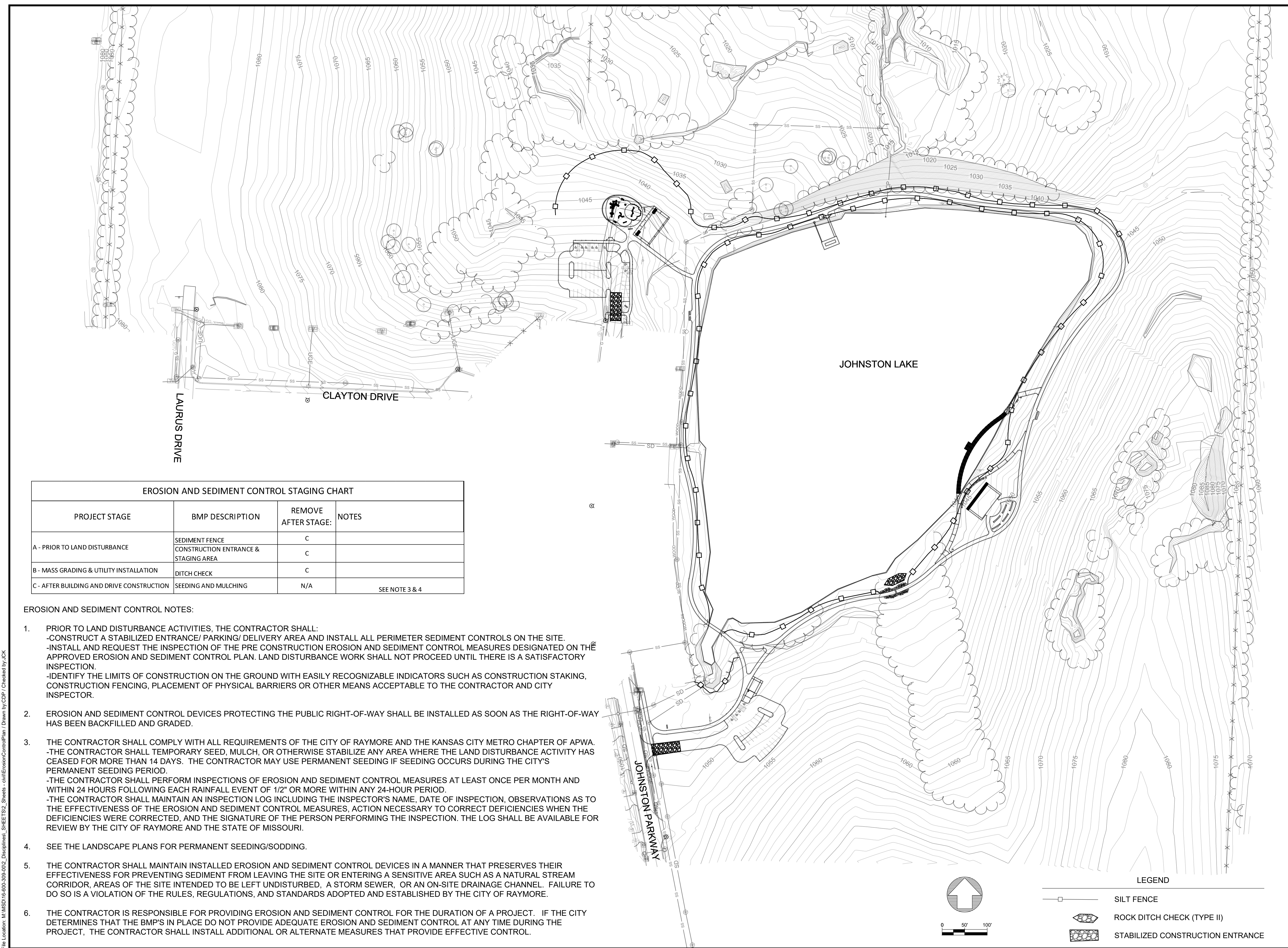


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EROSION CONTROL PLAN

CONFLUENCE PROJECT NO: 16081KC

C-200



EROSION AND SEDIMENT CONTROL STAGING CHART

PROJECT STAGE	BMP DESCRIPTION	REMOVE AFTER STAGE:	NOTES
A - PRIOR TO LAND DISTURBANCE	SEDIMENT FENCE CONSTRUCTION ENTRANCE & STAGING AREA	C	
B - MASS GRADING & UTILITY INSTALLATION	DITCH CHECK	C	
C - AFTER BUILDING AND DRIVE CONSTRUCTION	SEEDING AND MULCHING	N/A	SEE NOTE 3 & 4

EROSION AND SEDIMENT CONTROL NOTES:

- PRIOR TO LAND DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL:**

 - CONSTRUCT A STABILIZED ENTRANCE/ PARKING/ DELIVERY AREA AND INSTALL ALL PERIMETER SEDIMENT CONTROLS ON THE SITE.
 - INSTALL AND REQUEST THE INSPECTION OF THE PRE CONSTRUCTION EROSION AND SEDIMENT CONTROL MEASURES DESIGNATED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. LAND DISTURBANCE WORK SHALL NOT PROCEED UNTIL THERE IS A SATISFACTORY INSPECTION.
 - IDENTIFY THE LIMITS OF CONSTRUCTION ON THE GROUND WITH EASILY RECOGNIZABLE INDICATORS SUCH AS CONSTRUCTION STAKING, CONSTRUCTION FENCING, PLACEMENT OF PHYSICAL BARRIERS OR OTHER MEANS ACCEPTABLE TO THE CONTRACTOR AND CITY INSPECTOR.
- EROSION AND SEDIMENT CONTROL DEVICES PROTECTING THE PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED AS SOON AS THE RIGHT-OF-WAY HAS BEEN BACKFILLED AND GRADED.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE CITY OF RAYMORE AND THE KANSAS CITY METRO CHAPTER OF APWA.

 - THE CONTRACTOR SHALL TEMPORARY SEED, MULCH, OR OTHERWISE STABILIZE ANY AREA WHERE THE LAND DISTURBANCE ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS. THE CONTRACTOR MAY USE PERMANENT SEEDING IF SEEDING OCCURS DURING THE CITY'S PERMANENT SEEDING PERIOD.
 - THE CONTRACTOR SHALL PERFORM INSPECTIONS OF EROSION AND SEDIMENT CONTROL MEASURES AT LEAST ONCE PER MONTH AND WITHIN 24 HOURS FOLLOWING EACH RAINFALL EVENT OF 1/2" OR MORE WITHIN ANY 24-HOUR PERIOD.
 - THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG INCLUDING THE INSPECTOR'S NAME, DATE OF INSPECTION, OBSERVATIONS AS TO THE EFFECTIVENESS OF THE EROSION AND SEDIMENT CONTROL MEASURES, ACTION NECESSARY TO CORRECT DEFICIENCIES WHEN THE DEFICIENCIES WERE CORRECTED, AND THE SIGNATURE OF THE PERSON PERFORMING THE INSPECTION. THE LOG SHALL BE AVAILABLE FOR REVIEW BY THE CITY OF RAYMORE AND THE STATE OF MISSOURI.
- SEE THE LANDSCAPE PLANS FOR PERMANENT SEEDING/SODDING.
- THE CONTRACTOR SHALL MAINTAIN INSTALLED EROSION AND SEDIMENT CONTROL DEVICES IN A MANNER THAT PRESERVES THEIR EFFECTIVENESS FOR PREVENTING SEDIMENT FROM LEAVING THE SITE OR ENTERING A SENSITIVE AREA SUCH AS A NATURAL STREAM CORRIDOR, AREAS OF THE SITE INTENDED TO BE LEFT UNDISTURBED, A STORM SEWER, OR AN ON-SITE DRAINAGE CHANNEL. FAILURE TO DO SO IS A VIOLATION OF THE RULES, REGULATIONS, AND STANDARDS ADOPTED AND ESTABLISHED BY THE CITY OF RAYMORE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING EROSION AND SEDIMENT CONTROL FOR THE DURATION OF A PROJECT. IF THE CITY DETERMINES THAT THE BMP'S IN PLACE DO NOT PROVIDE ADEQUATE EROSION AND SEDIMENT CONTROL AT ANY TIME DURING THE PROJECT, THE CONTRACTOR SHALL INSTALL ADDITIONAL OR ALTERNATE MEASURES THAT PROVIDE EFFECTIVE CONTROL.

LEGEND

- SILT FENCE
- ROCK DITCH CHECK (TYPE II)
- STABILIZED CONSTRUCTION ENTRANCE

File Location: M:\MSD\16-000-300-300\2_Sheets - civil\EROSION CONTROL PLAN / Drawn by: CDP / Checked by: CKK

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HAWK RIDGE PARK
 CITY OF RAYMORE PARK AND RECREATION
 RAYMORE/ MISSOURI

REVISION SCHEDULE		
ISSUE	DATE	DESCRIPTION
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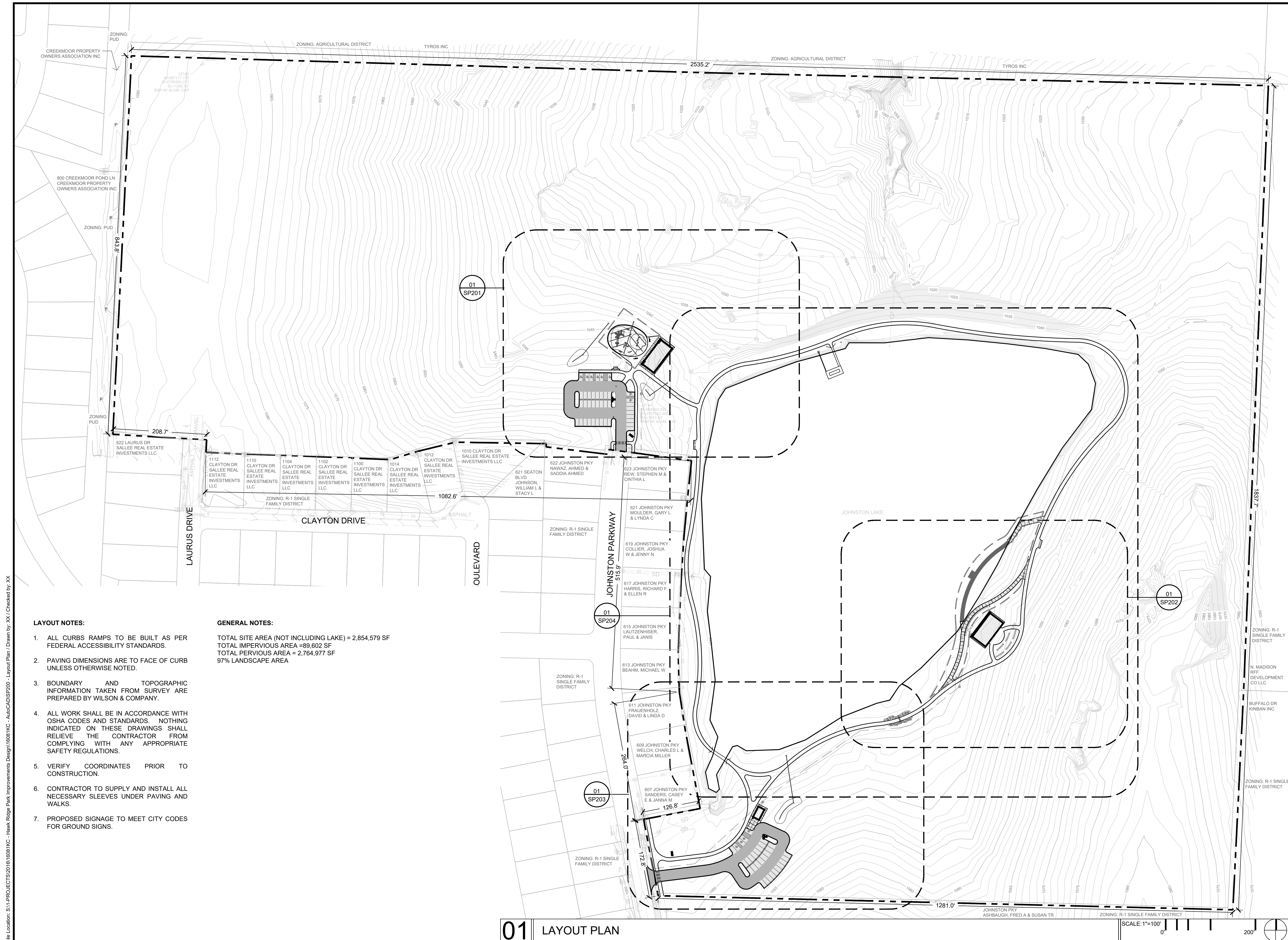


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LAYOUT PLAN

CONFLUENCE PROJECT NO. 16081KC

SP200



LAYOUT NOTES:

- ALL CURBS RAMPS TO BE BUILT AS PER FEDERAL ACCESSIBILITY STANDARDS.
- PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY ARE PREPARED BY WILSON & COMPANY.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- VERIFY COORDINATES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY SLEEVES UNDER PAVING AND WALKS.
- PROPOSED SIGNAGE TO MEET CITY CODES FOR GROUND SIGNS.

GENERAL NOTES:

TOTAL SITE AREA (NOT INCLUDING LAKE) = 2,854,579 SF
 TOTAL IMPERVIOUS AREA = 89,602 SF
 TOTAL PERVIOUS AREA = 2,764,977 SF
 97% LANDSCAPE AREA

File Location: S:\V-PROJECTS\2016\16081KC - Hawk Ridge Park Improvements Design\16081KC - AutoCAD\SP200 - Layout Plan\Drawn by: XX, Checked by: XX

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HAWK RIDGE PARK
 CITY OF RAYMORE PARK AND RECREATION
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REVISION SCHEDULE

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PLANTING PLAN

CONFLUENCE PROJECT NO: 16081KC

L100

PLANT SCHEDULE						
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
OVERSTORY TREES						
QR	4	Quercus rubra	RED OAK	2" CAL.	B&B	SPECIMEN QUALITY
AR	3	Acer rubrum 'Autumn Flame'	RED MAPLE	2" CAL.	B&B	SPECIMEN QUALITY
DECIDUOUS SHRUBS						
RA	21	Rhus aromatica 'Gro - Low'	GRO-LOW SUMAC	#3	CONT.	AS SHOWN ON PLAN
BIOSWALE PLANTINGS						
RH	140	Rudbeckia hirta	BLACK EYED SUSAN	#1		TRIANGULAR SPACING 24" O.C.
MC	140	Monarda citriodora	PURPLE HORSEMINT	#1		TRIANGULAR SPACING 24" O.C.
EP	140	Echinacea purpurea	PURPLE CONEFLOWER	#1		TRIANGULAR SPACING 24" O.C.
CV	140	Carex vulpinoidea	FOX SEDGE	#1		TRIANGULAR SPACING 24" O.C.
CA	140	Calamagrostis acutiflora 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1		TRIANGULAR SPACING 24" O.C.
SH	140	Sporobolus heterolepis	PRAIRIE DROPSEED	#1		TRIANGULAR SPACING 24" O.C.

PLANTING NOTES:

- SOD ALL AREAS WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS, UNLESS OTHERWISE NOTED.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
- NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.
- KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, ANSI 260-1992, OR MOST RECENT EDITION.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
- SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
- STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.
- BIOSWALE PLANTINGS TO BE EVENLY MIXED AND DISTRIBUTED.

NOTE:

ALL TREES AND SHRUBS ARE TO BE PLANTED BY OWNER AT A LATER DATE. ALL BIOSWALE PLANTINGS AND FESCUE SEEDING IS TO BE COMPLETED BY CONTRACTOR.

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AMPHITHEATRE ILLUSTRATION - NOT TO SCALE (FOR REFERENCE ONLY)



SHELTER ILLUSTRATION - NOT TO SCALE (FOR REFERENCE ONLY)

HAWK RIDGE PARK
 CITY OF RAYMORE PARKS AND RECREATION
 RAYMORE, MISSOURI

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
	12/01/2017	Construction Drawings



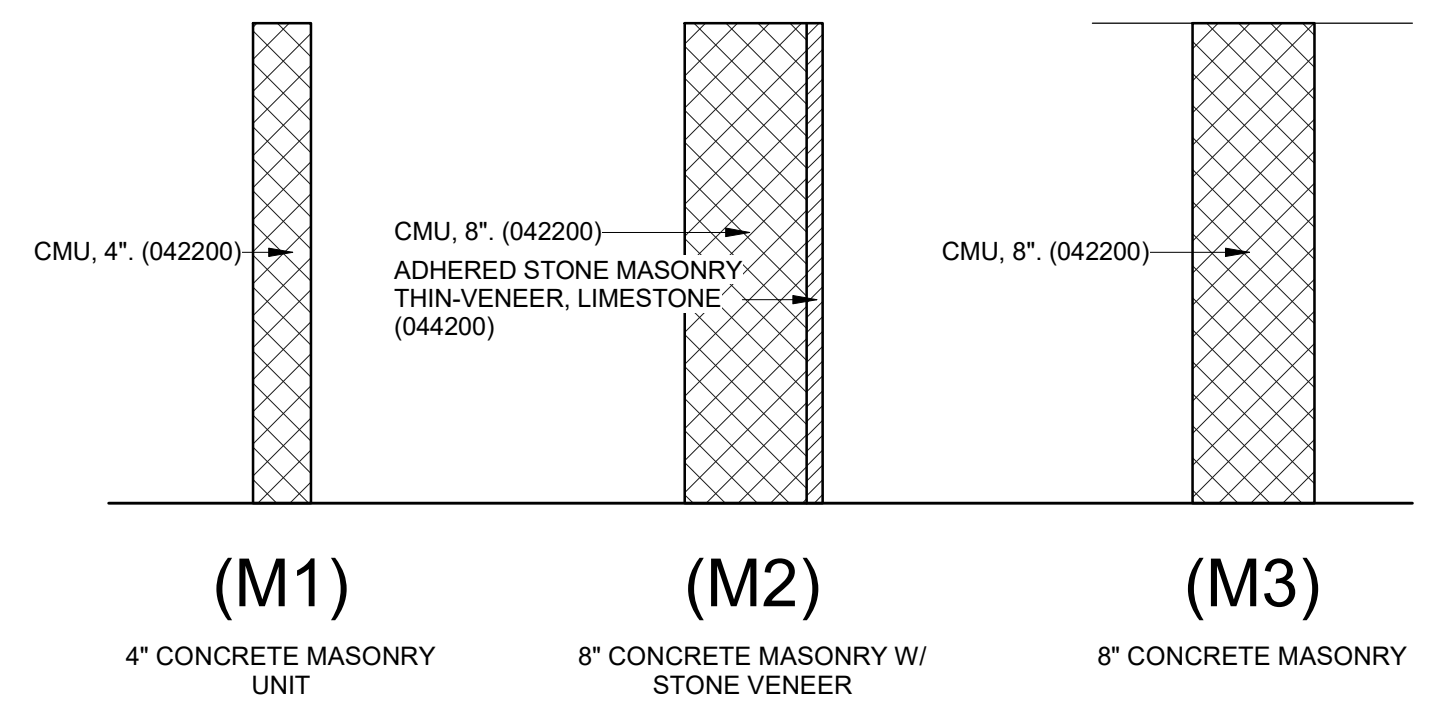
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ILLUSTRATIONS

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HAWK RIDGE PARK
 CITY OF RAYMORE PARKS AND RECREATION
 RAYMORE, MISSOURI

- GENERAL NOTES - PARTITIONS**
- REFER TO PARTITION TYPE SYMBOLS ON FLOOR PLANS.
 - REFER TO CODE PLAN FOR MINIMUM REQUIRED FIRE RATING IN HOURS.
 - PARTITION TYPES DO NOT INDICATE WHICH SIDE FINISH MATERIALS ARE APPLIED. REFER TO FINISH PLAN.
 - REFER TO THE PROJECT MANUAL FOR MINIMUM GAGE STUDS, RUNNERS, FURRING CHANNELS, MISC. ANGLES & CLIPS.
 - PARTITIONS ARE DIMENSIONED TO THE FACE OF THE GYPSUM/VENEER/BACKER BOARD - NOT APPLIED FINISH MATERIAL (i.e. VENEER, CERAMIC TILE, ETC.)
 - REFER TO STRUCTURAL DRAWINGS FOR DESIGN OF LOAD BEARING PARTITIONS.
 - WHERE MASONRY CONSTRUCTION IS INDICATED, CONTRACTOR TO PROVIDE ANCHORS INTO MASONRY AND GROUT CELLS FULL AS REQUIRED TO MOUNT FIXTURES AND ACCESSORIES PER MANUFACTURER'S RECOMMENDATIONS.
 - WHERE INTERIOR MASONRY IS TO BE EXPOSED, BULLNOSE CORNER UNITS TO BE USED. STARTER COURSE TO BE SQUARE UNIT WITH BULLNOSE ABOVE.
 - WHERE MASONRY CONSTRUCTION IS INDICATED, CONTRACTOR SHALL COORDINATE LOCATION, SIZE, TYPE, AND SPACING OF ALL MASONRY ANCHORS AND REINFORCEMENT WITH STRUCTURAL DRAWINGS.



FLOOR PLAN SYMBOLS

- NEW CONSTRUCTION
- ROOM NAME AND NUMBER
- CENTER LINE
- 101 DOOR INDICATION TAG
- PARTITION TYPE
- PLAN KEYNOTES
- SPOT ELEVATION
- DRAWING REVISION
- NEW GRID IDENTIFIER

GENERAL NOTES - FLOOR PLAN

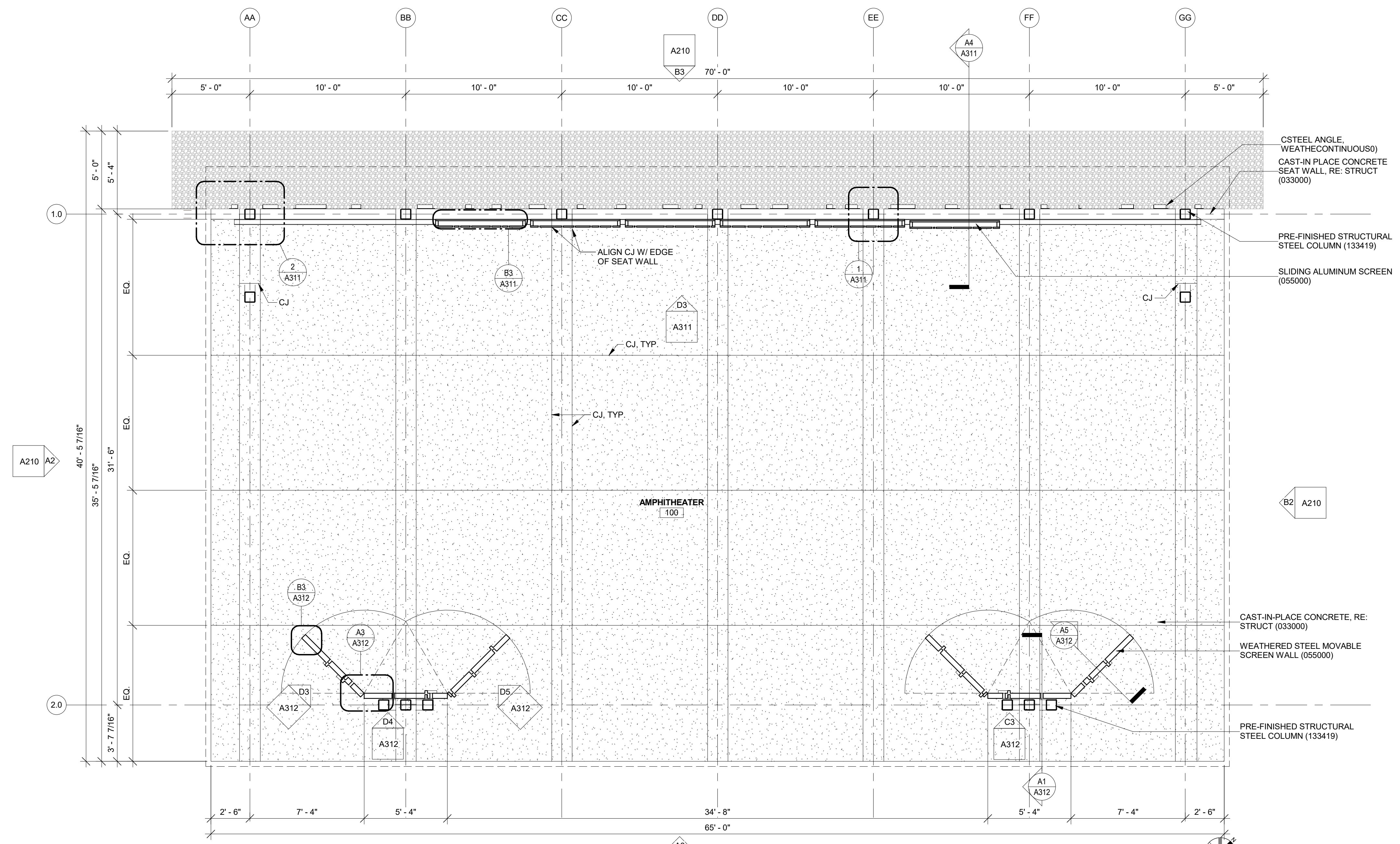
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. VERIFY ALL DIMENSION PRIOR TO START OF WORK. IN THE EVENT OF DISCREPANCY, NOTIFY ARCHITECT AND OBTAIN RESOLUTION BEFORE PROCEEDING.
- NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.
- VERIFY EXISTING DIMENSIONS, CONDITIONS AND CLEARANCES PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, AND DETAIL SHOWN ON THE DRAWINGS. ANY DISCREPANCIES WHICH WILL PREVENT THE ACCOMPLISHMENT OF INTENT SHOWN ON DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. INDICATED CONDITIONS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. IT IS EXPRESSLY UNDERSTOOD THAT THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN BY THE CONTRACTOR.
- (###) INDICATES REFERENCED SPECIFICATIONS FOR PRODUCTS AND MATERIALS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PROJECT MANUAL.

GENERAL NOTES - PARTITIONS
 12" = 1'-0"

TYPES - WALLS
 1" = 1'-0"

SYMBOLS - FLOOR PLAN
 1/8" = 1'-0"

GENERAL NOTES - FLOOR PLAN
 12" = 1'-0"



A2 FLOOR PLAN - AMPHITHEATER
 1/4" = 1'-0"

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
	12/01/2017	Construction Drawings



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FLOOR PLAN - AMPHITHEATER & GENERAL NOTES

CONFLUENCE PROJECT NO: 16081KC

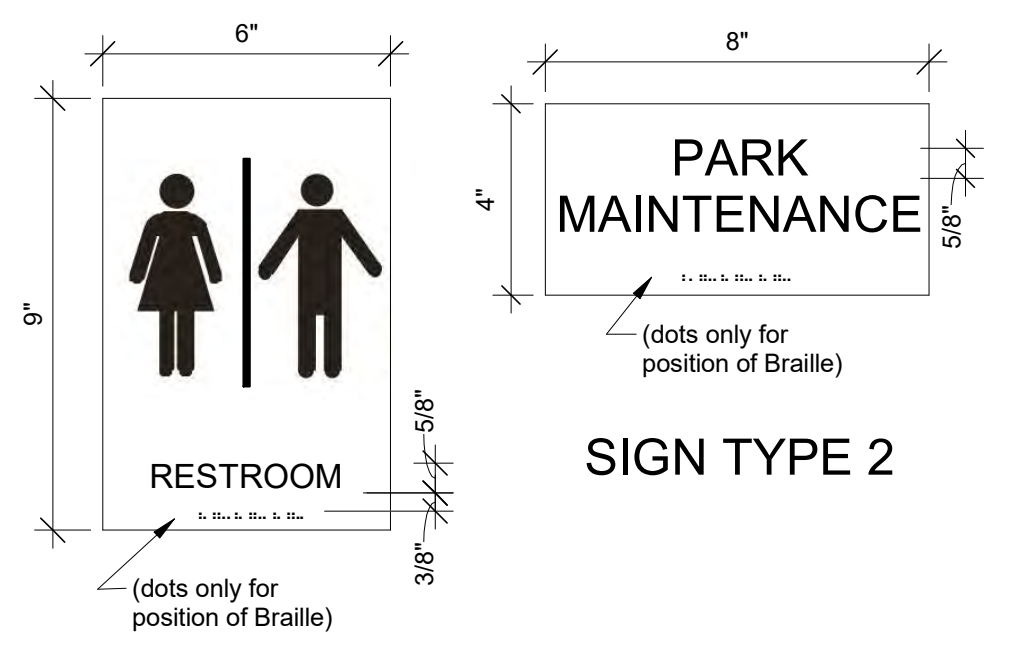
A111

ROOM FINISH AND MATERIALS LEGEND		
SC	SEALED CONCRETE	033300
BC	BROOMED CONCRETE	033300
	LIGHT BROOM TEXTURE ONE-DIRECTIONAL PATTERN PARALLEL TO SHORT SIDE OF SPACE	
WD-1	WOOD TYPE - 1	062000
	RE: SPEC.	
P-1	PAINT COLOR TYPE - 1	099113 & 099123
	RESTROOMS COLOR SELECTED FROM MANUF. FULL RANGE	
P-2	PAINT COLOR TYPE - 2	099113 & 099123
	EXTERIOR PAINT, DOORWAYS, EXPOSED ELECTRICAL, ETC. COLOR SELECTED FROM MANUF. FULL RANGE	
ST-1	STONE VENEER	042000
	RE: SPEC.	
CC-1	CONCRETE COUNTER	123600
	RE: SPEC.	
T-1	WALL TILE	093013
	FIREPLACE SURROUND, RE: SPEC. COLOR SELECTED FROM MANUF. FULL RANGE	

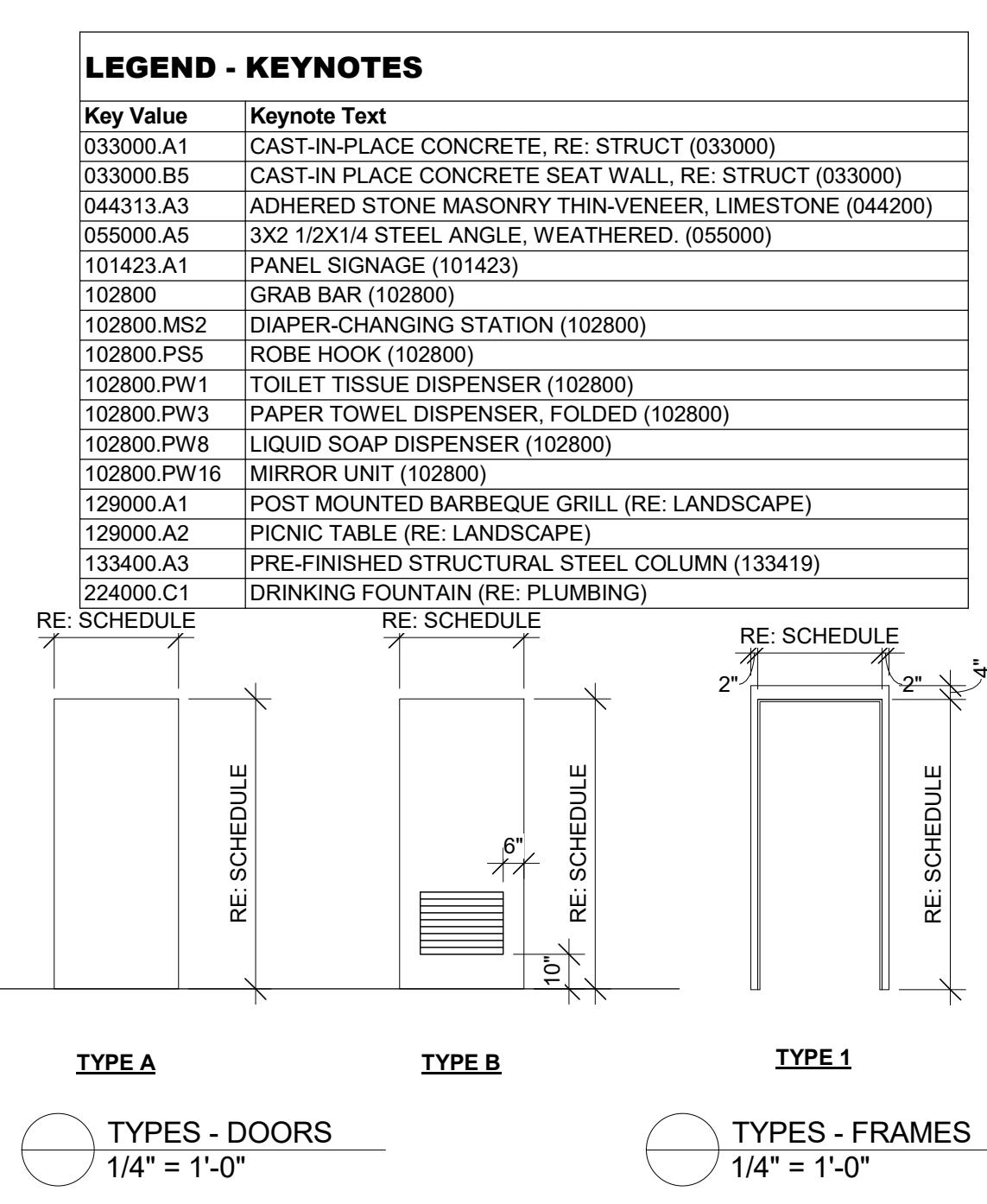
WORKSHEET - ROOM FINISHES								
Number	Name	Floor Finish	WALLS				Ceiling Finish	Comments
			Wall Finish E	Wall Finish N	Wall Finish S	Wall Finish W		
100	AMPHITHEATER	BC	-	-	-	-	OTS	
101	RENTABLE SPACE	BC	ST-1	-	-	-	OTS	
102	CORRIDOR	BC	-	-	ST-1	-	OTS	
103	RENTABLE SPACE	BC	-	-	-	ST-1	OTS	
104	RESTROOM	SC	P-1	P-1	P-1	P-1	OTS	
105	STORAGE	SC	P-1	P-1	P-1	P-1	OTS	
106	RESTROOM	SC	P-1	P-1	P-1	P-1	OTS	
107	RESTROOM	SC	P-1	P-1	P-1	P-1	OTS	
108	RESTROOM	SC	P-1	P-1	P-1	P-1	OTS	

SIGNAGE SCHEDULE							
SIGN NO.	SIGN TYPE	TYPE DESCRIPTION	ROOM NO.	ROOM NAME	SIGN MESSAGE	MOUNTING LOCATION	COMMENTS
104	1	RESTROOM	104	RESTROOM	RESTROOM	ADJ. TO DOOR	
105	2	ROOM SIGNAGE	105	STORAGE	PARK MAINTENANCE	ADJ. TO DOOR	
106	1	RESTROOM	106	RESTROOM	RESTROOM	ADJ. TO DOOR	
107	1	RESTROOM	107	RESTROOM	RESTROOM	ADJ. TO DOOR	
108	1	RESTROOM	108	RESTROOM	RESTROOM	ADJ. TO DOOR	

DOOR & FRAME SCHEDULE							
DOOR NUMBER	TYPE	DOOR				FRAME	
		MATERIAL	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE
104	A	H.M.	3'-0"	7'-0"	1 3/4"	H.M.	1
105	B	H.M.	3'-0"	7'-0"	1 3/4"	H.M.	1
106	A	H.M.	3'-0"	7'-0"	1 3/4"	H.M.	1
107	A	H.M.	3'-0"	7'-0"	1 3/4"	H.M.	1
108	A	H.M.	3'-0"	7'-0"	1 3/4"	H.M.	1

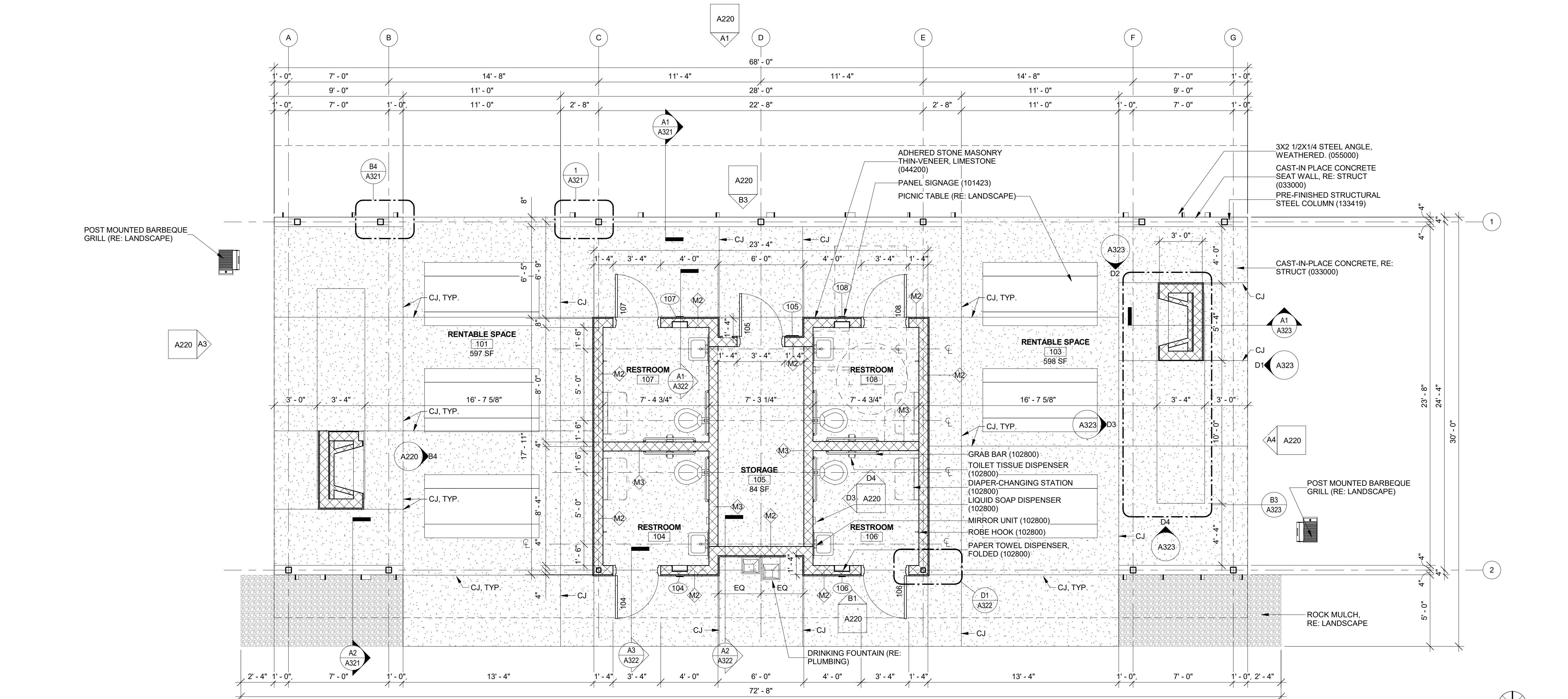


- SIGN BACKGROUND ALUMINUM FACE PANEL W/ SANDED NON-DIRECTIONAL FINISH, FASTEN TO STONE SUBSTRATE W/ TAMPERPROOF CONCEALED HARDWARE.
- 1/4" THICK PLASTIC SIGN PANEL, DARK COLOR PER MANUF. FULL RANGE, ATTACHED TO SIGN BACKGROUND PANEL.
- SIGN MESSAGE 5/8" UIC LETTERS; COLOR WHITE, FONT FUTURA MED TYP. RAISED PICTOGRAM SYMBOLS 1/32"; GRADE 2 BRAILLE RASTER BEADS.
- SIGNS MANUFACTURED IN COMPLIANCE WITH ALL LOCAL AND ADA CODE REQUIREMENTS FOR: BACKGROUND AND LETTER CONTRAST, CHARACTER, WIDTH, MOUNTING HEIGHTS.
- PROVIDE SHOP DRAWING LAYOUTS FOR APPROVAL PRIOR TO FABRICATION.
- FIELD VERIFY SIGN LOCATIONS.



LEGEND - ROOM FINISH AND MATERIALS
 1" = 1'-0"

D4 SIGN TYPES
 A112/ 3" = 1'-0"



A1 FLOOR PLAN - SHELTER
 A112 1/4" = 1'-0"

REVISION SCHEDULE		
ISSUE	DATE	DESCRIPTION
	12/01/2017	Construction Drawings



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FLOOR PLAN & SCHEDULES - SHELTER
 CONFLUENCE PROJECT NO: 16081KC

A112

HAWK RIDGE PARK
 CITY OF RAYMORE PARKS AND RECREATION
 RAYMORE, MISSOURI

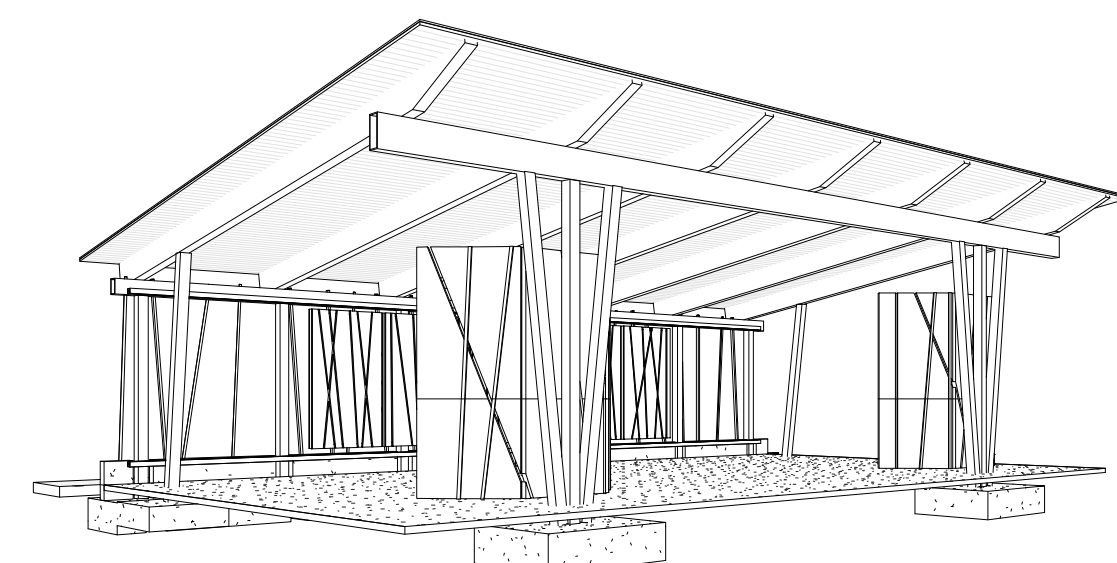
LANDSCAPE ARCHITECT
CONFLUENCE
 415 DELAWARE, SUITE 400
 KANSAS CITY, MISSOURI 64105
 PH: 816.531.7227 FAX: 816.531.7229

ARCHITECT
SFS ARCHITECTURE
 2100 CENTRAL STREET, SUITE 31
 KANSAS CITY, MISSOURI 64108
 PH: 816.474.1397

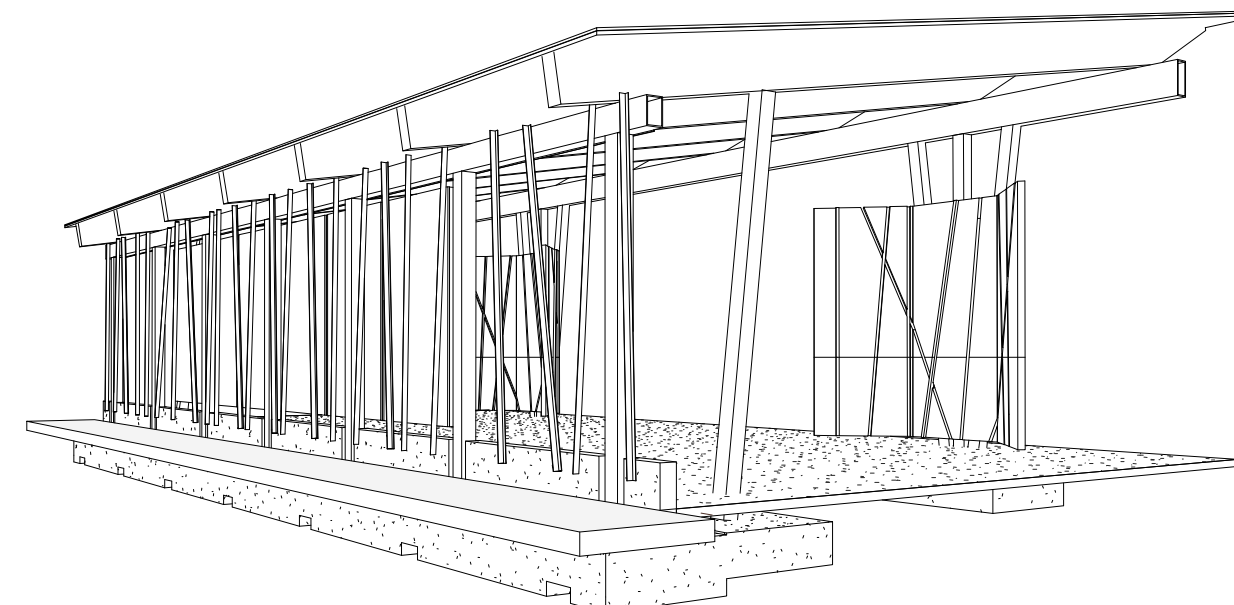
CIVIL ENGINEER
WILSON ENGINEERING
 800 E 101ST TER, SUITE 200
 KANSAS CITY, MO 64131
 PH: 816.701.3100

MEP ENGINEER
HENDERSON ENGINEERS
 1801 MAIN STREET, SUITE 300
 KANSAS CITY, MO 64108
 PH: 816.663.8718

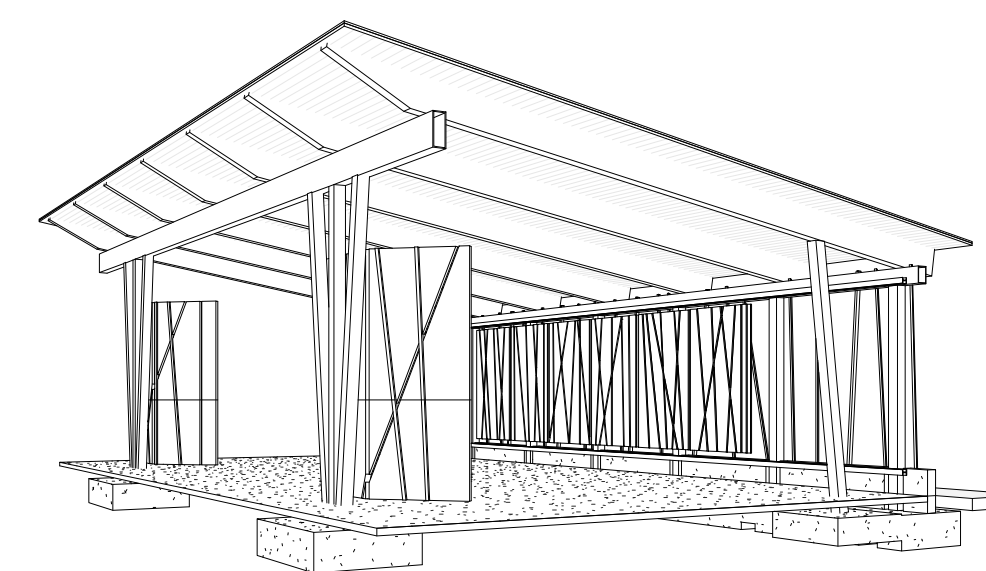
STRUCTURAL ENGINEER
RAKER RHODES
 208 W 19TH STREET, SUITE 104
 KANSAS CITY, MO 64108
 PH: 816.559.7731



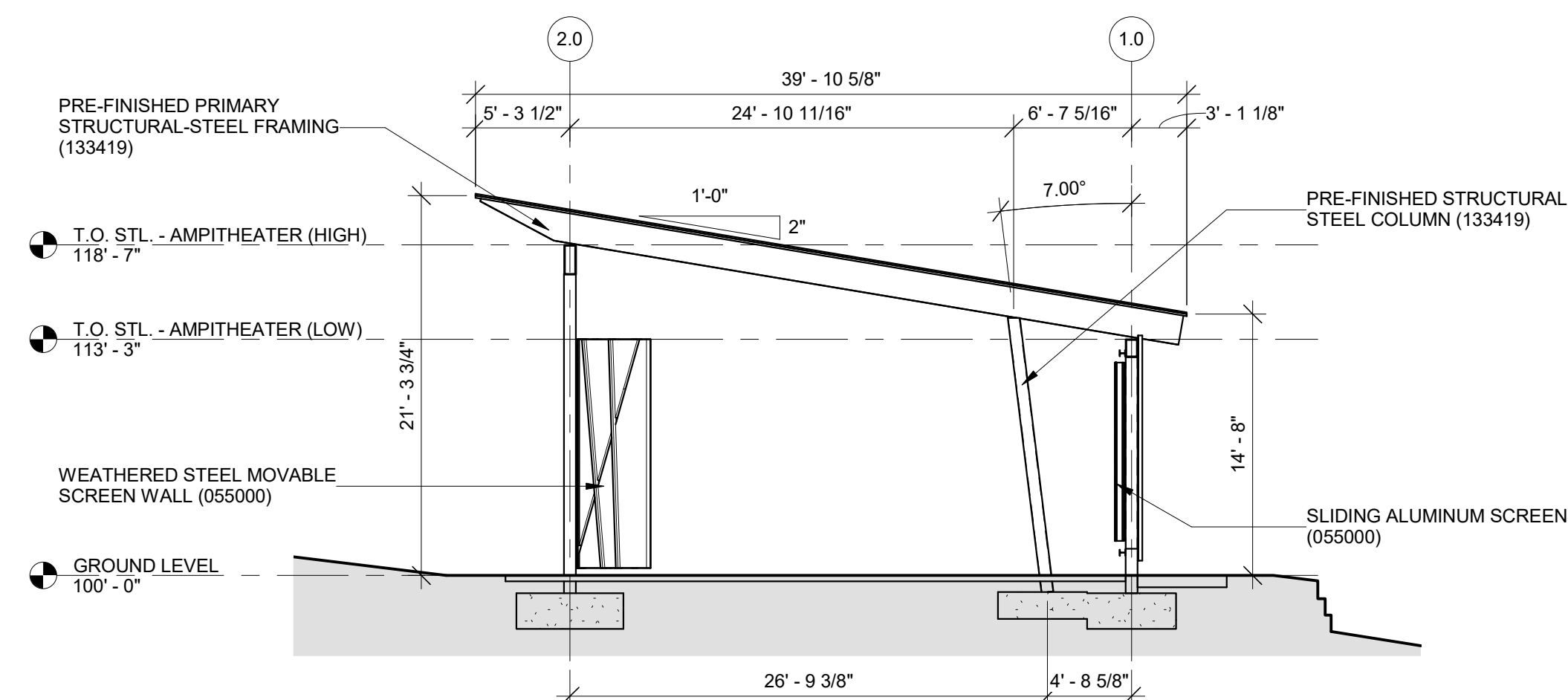
C2 3-DIMENSIONAL VIEW - LOOKING NORTH
 A210



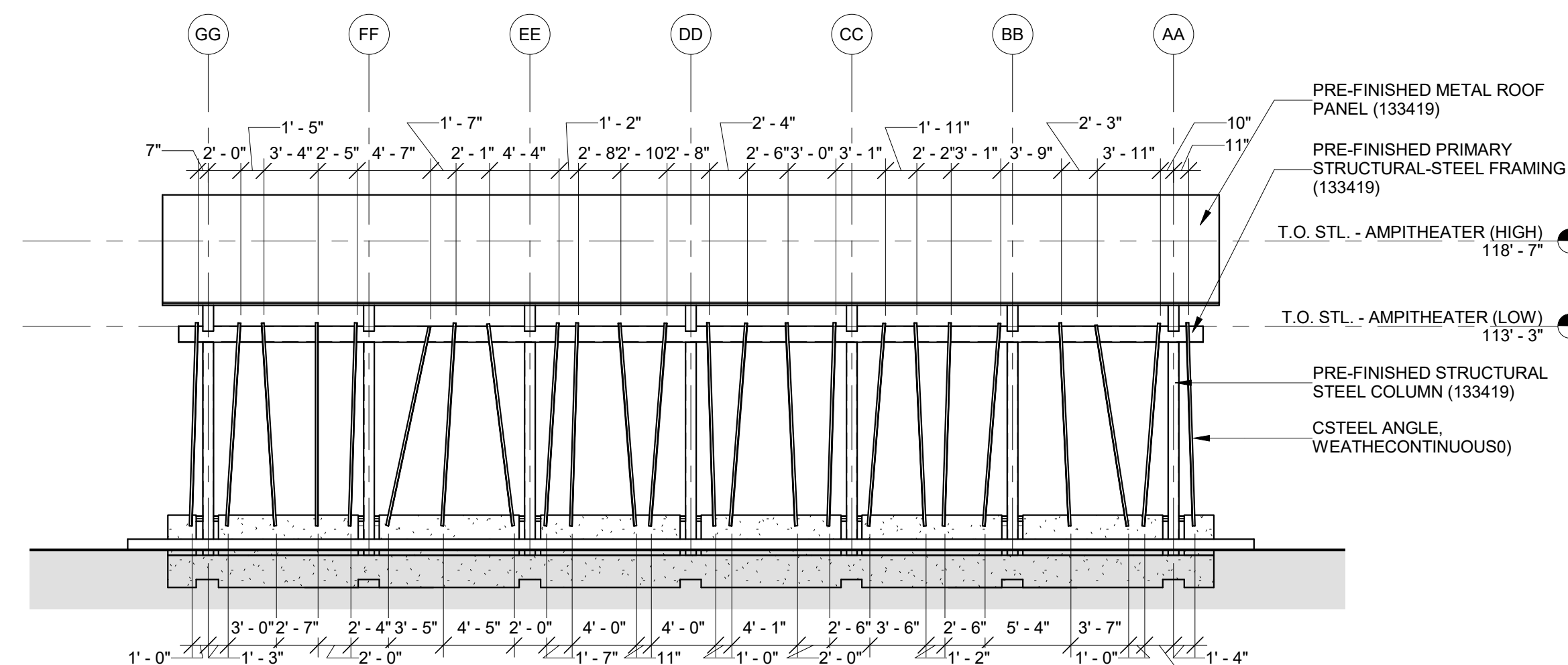
C3 3-DIMENSIONAL VIEW - LOOKING EAST
 A210



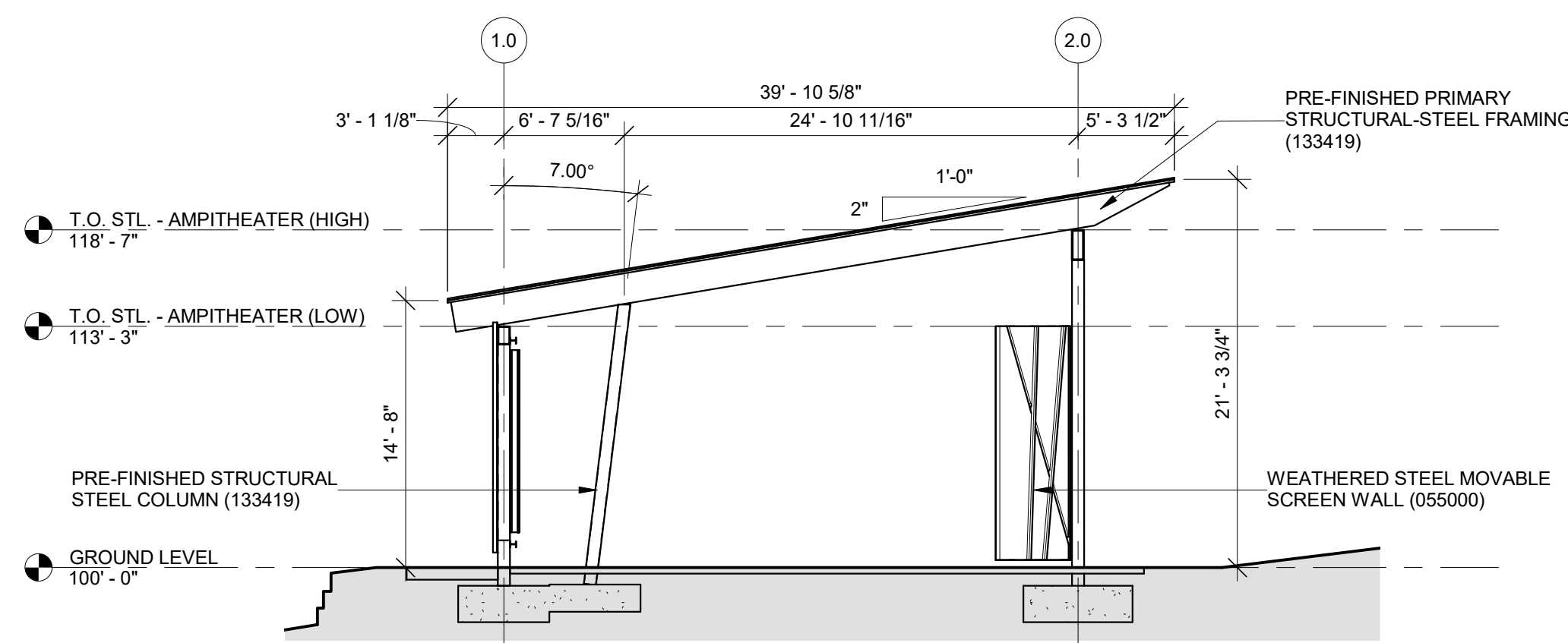
C4 3-DIMENSIONAL VIEW - LOOKING SOUTH
 A210



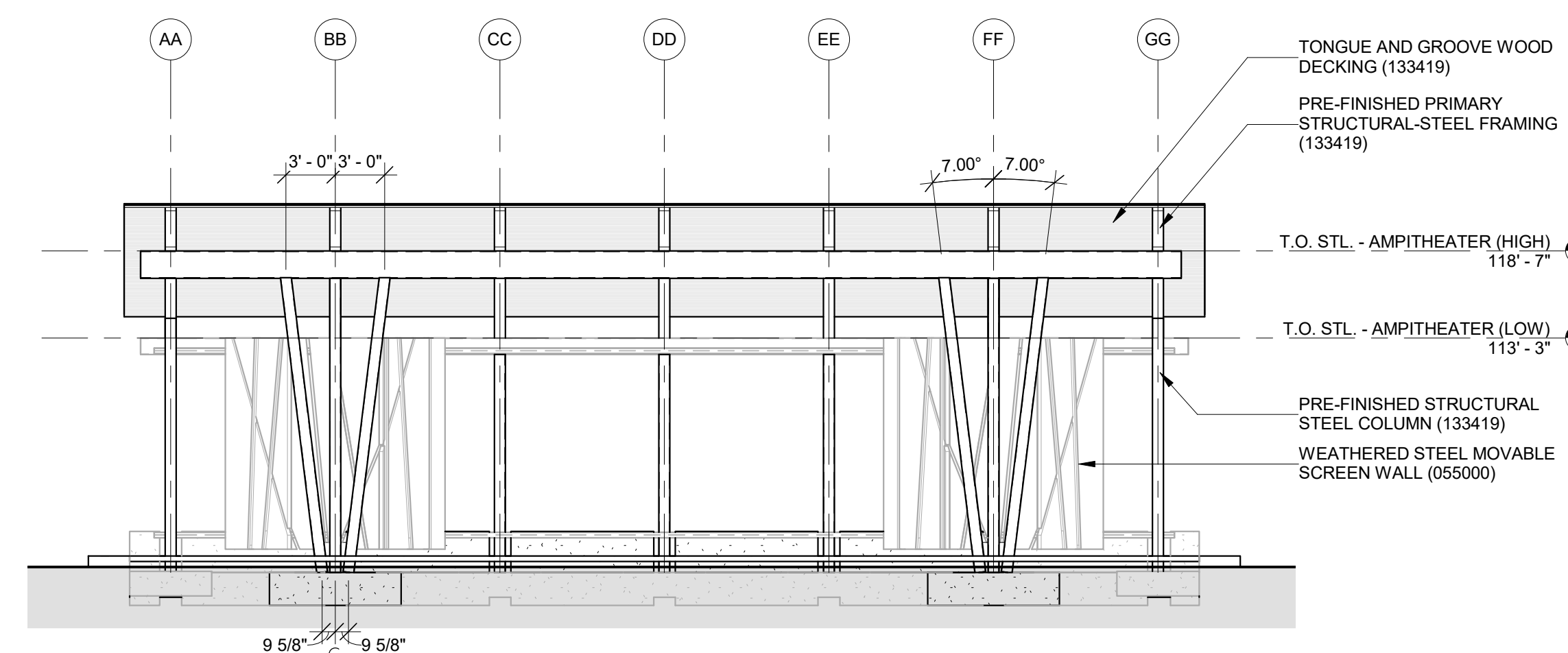
B2 EXTERIOR ELEVATION - NORTH
 1/8" = 1'-0"



B3 EXTERIOR ELEVATION - WEST
 1/8" = 1'-0"



A2 EXTERIOR ELEVATION - SOUTH
 1/8" = 1'-0"



A3 EXTERIOR ELEVATION - EAST
 1/8" = 1'-0"

HAWK RIDGE PARK
 CITY OF RAYMORE PARKS AND RECREATION
 RAYMORE, MISSOURI

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
	12/01/2017	Construction Drawings



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ELEVATIONS - AMPHITHEATER

CONFLUENCE PROJECT NO: 16081KC

A210

HAWK RIDGE PARK
 CITY OF RAYMORE PARKS AND RECREATION
 RAYMORE, MISSOURI

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
	12/01/2017	Construction Drawings

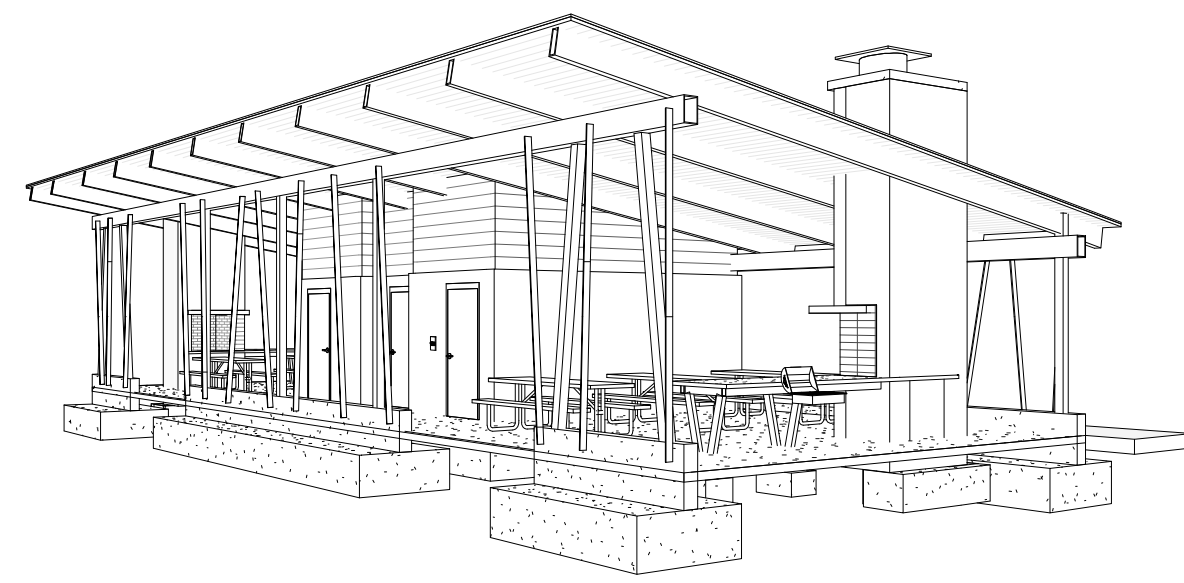


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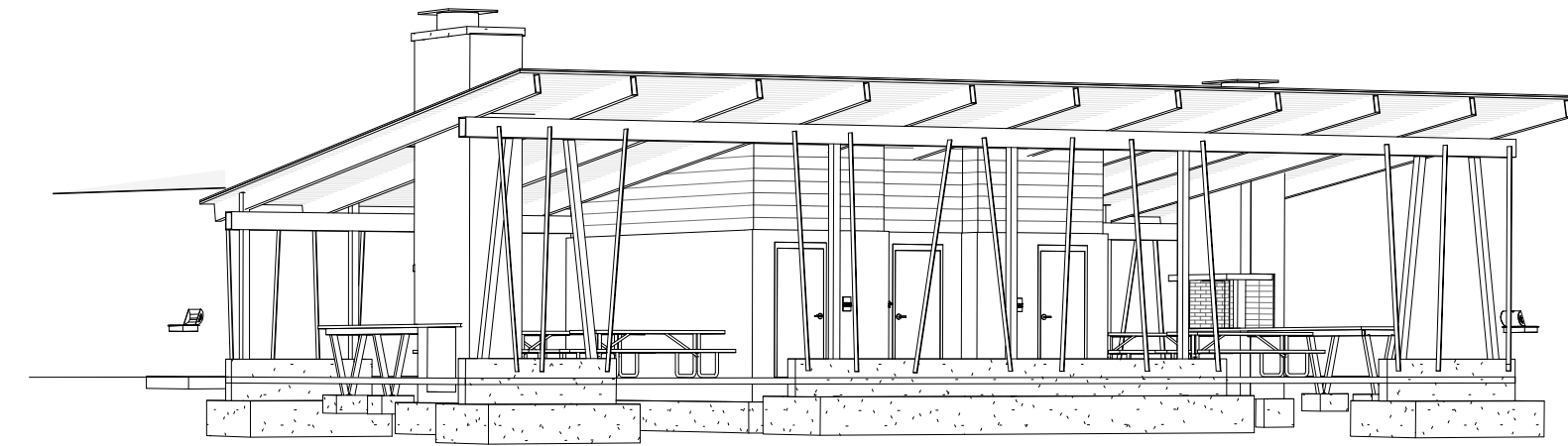
ELEVATIONS - SHELTER

CONFLUENCE PROJECT NO: 16081KC

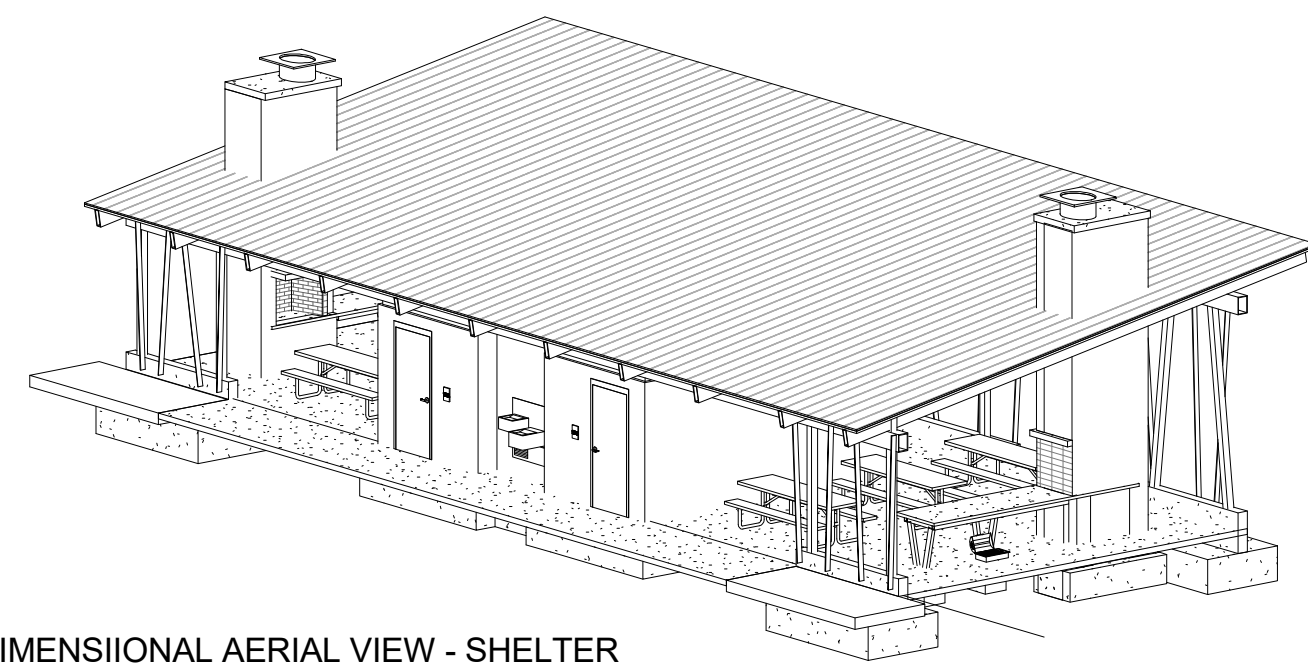
A220



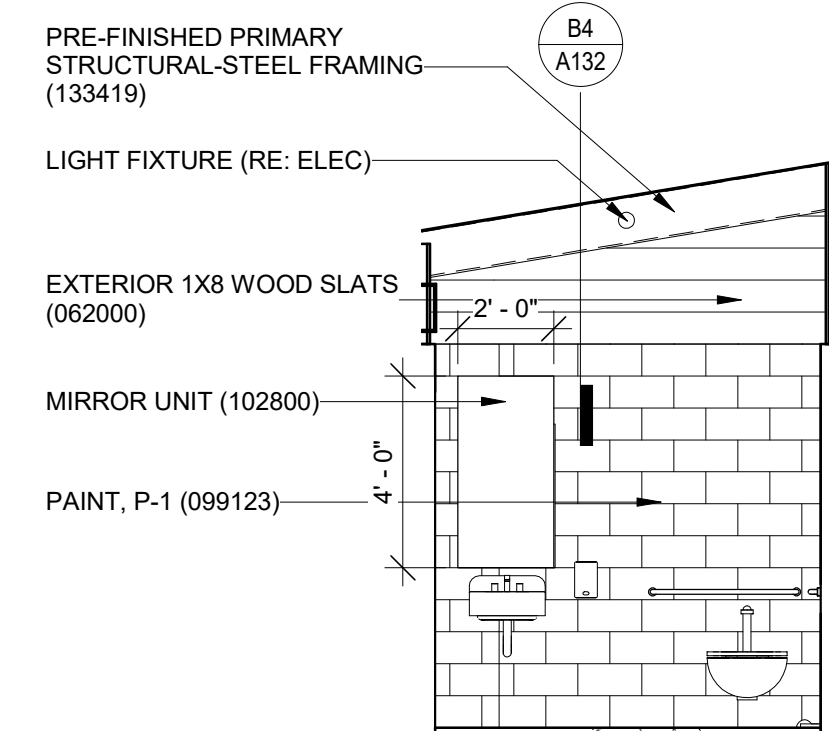
1 3-DIMENSIONAL VIEW - SHELTER
 A220



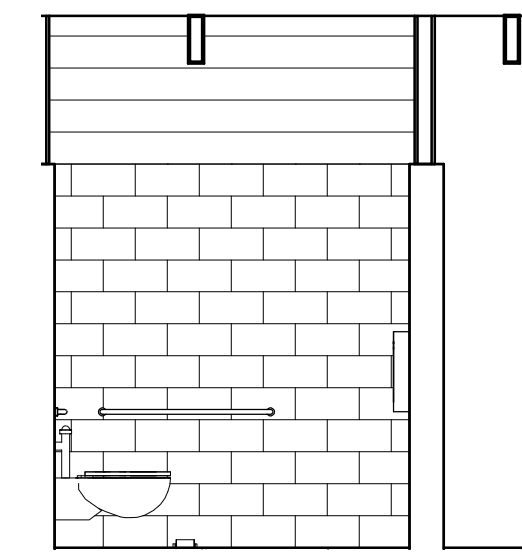
2 3-DIMENSIONAL VIEW - SHELTER FROM LAKE
 A220



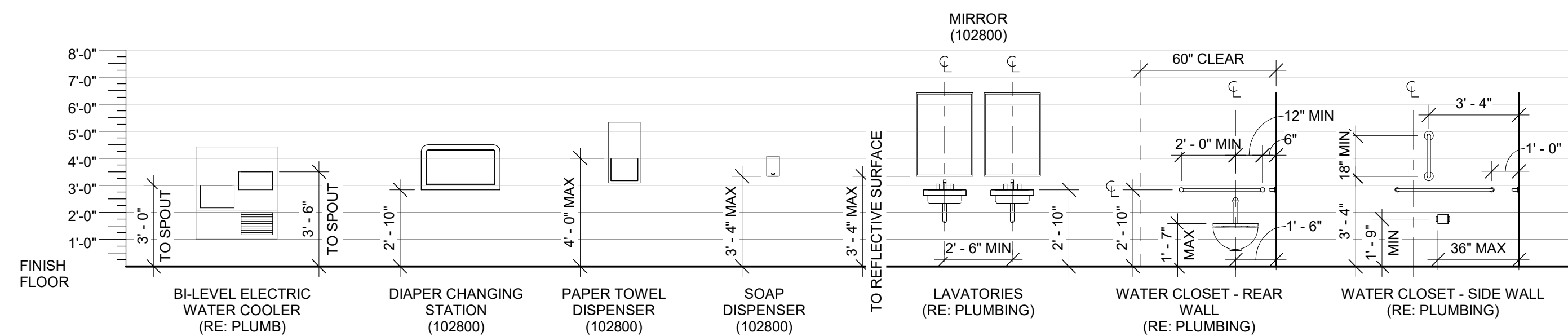
3 3-DIMENSIONAL AERIAL VIEW - SHELTER
 A220



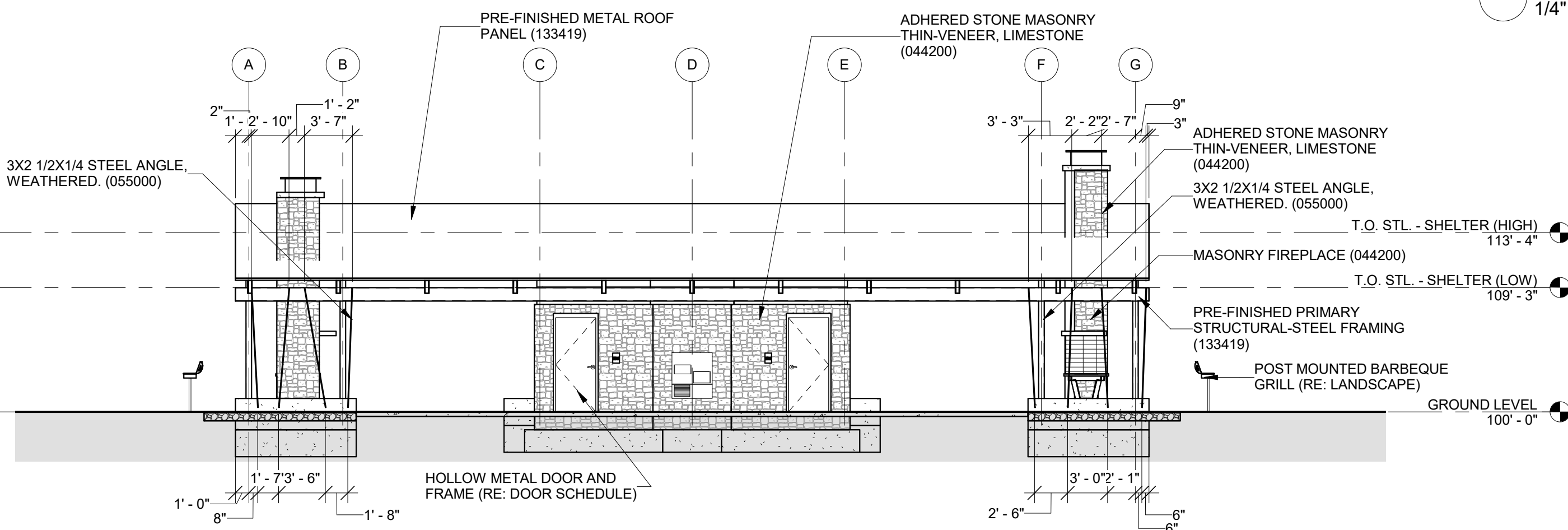
D3 INT. ELEV. - RESTROOM WET WALL
 A220 1/4" = 1'-0"



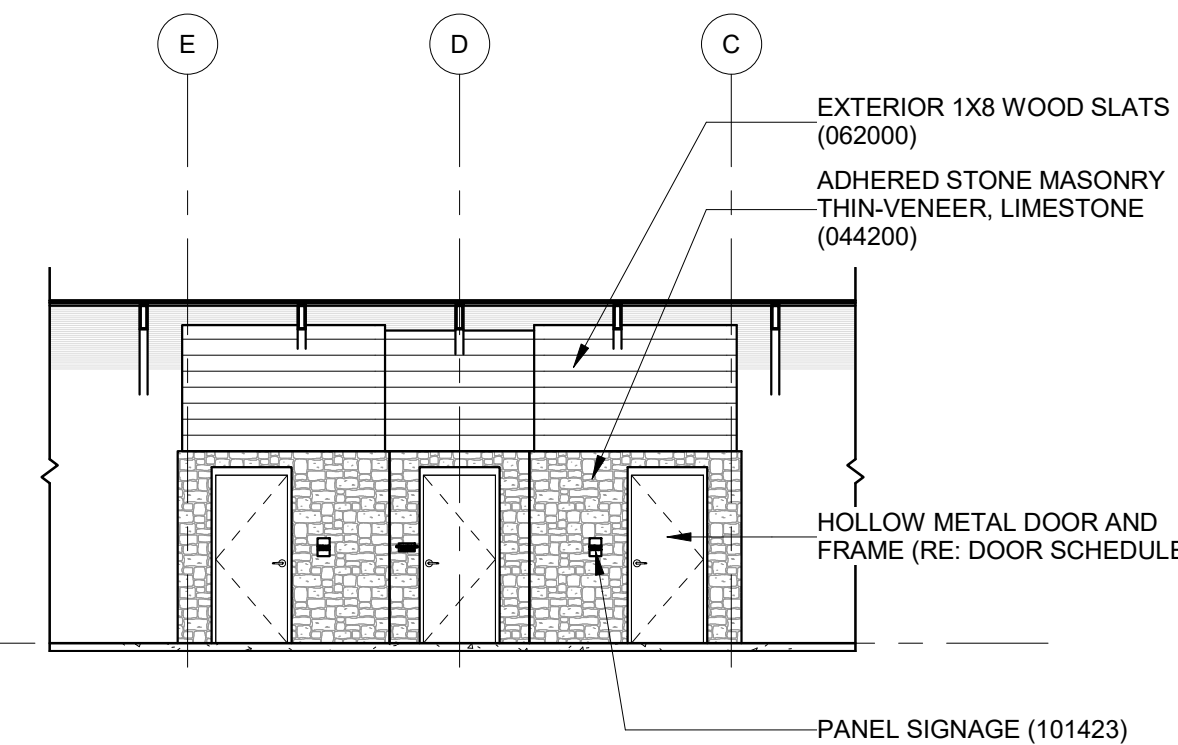
D4 INT. ELEV. - RESTROOM STALL
 A220 1/4" = 1'-0"



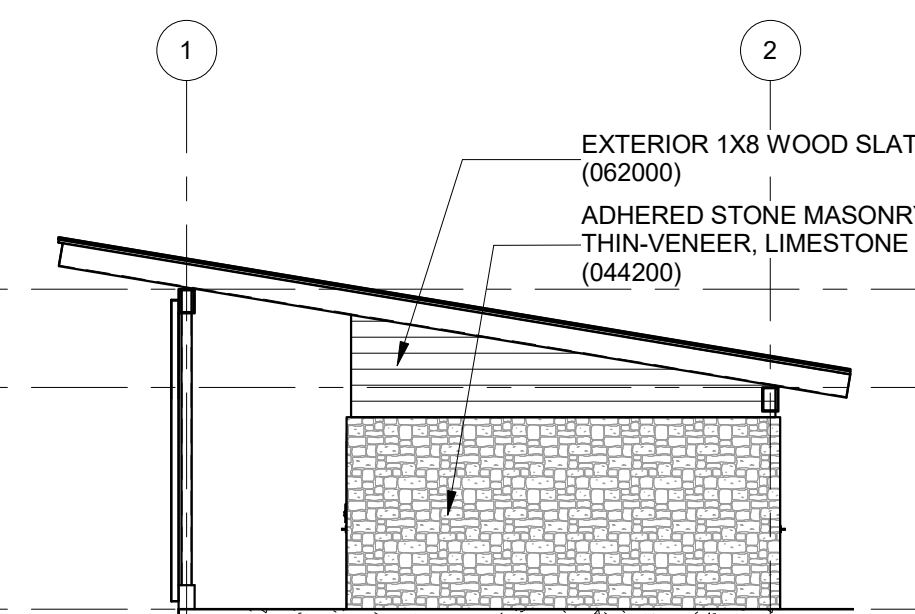
TYPES - TYPICAL FIXTURE HEIGHTS
 1/4" = 1'-0"



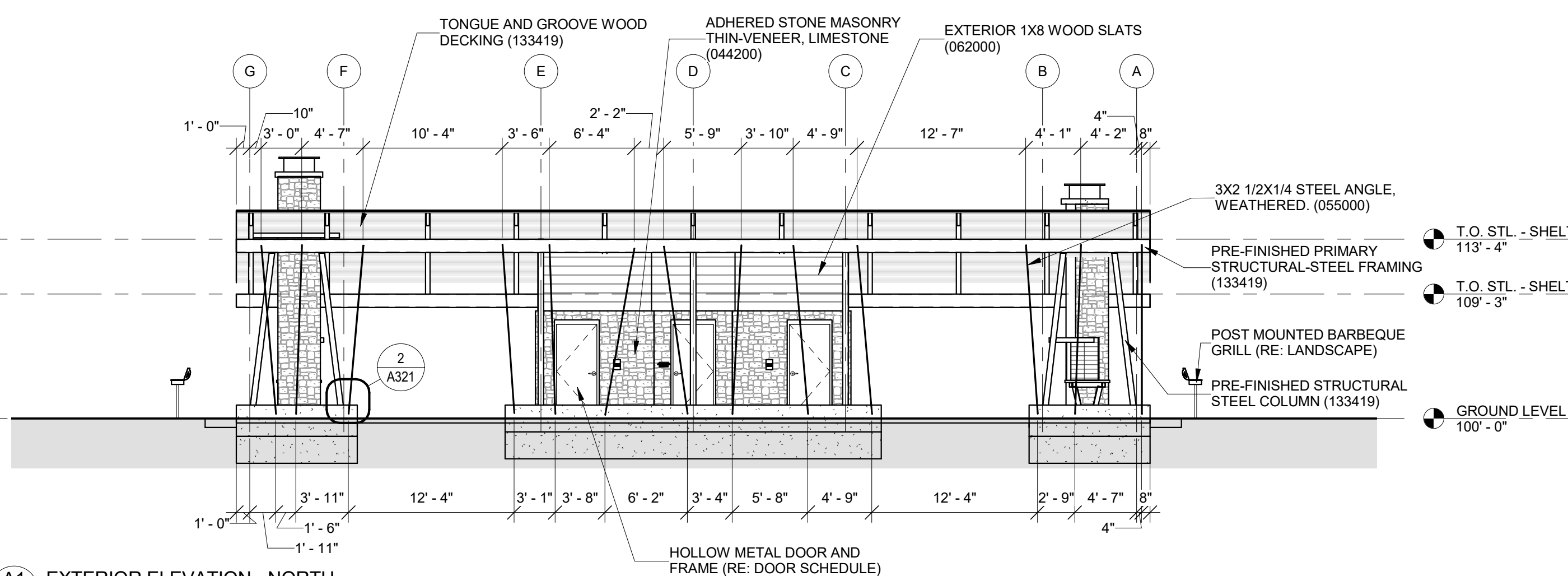
B1 EXTERIOR ELEVATION - SOUTH
 A220 1/8" = 1'-0"



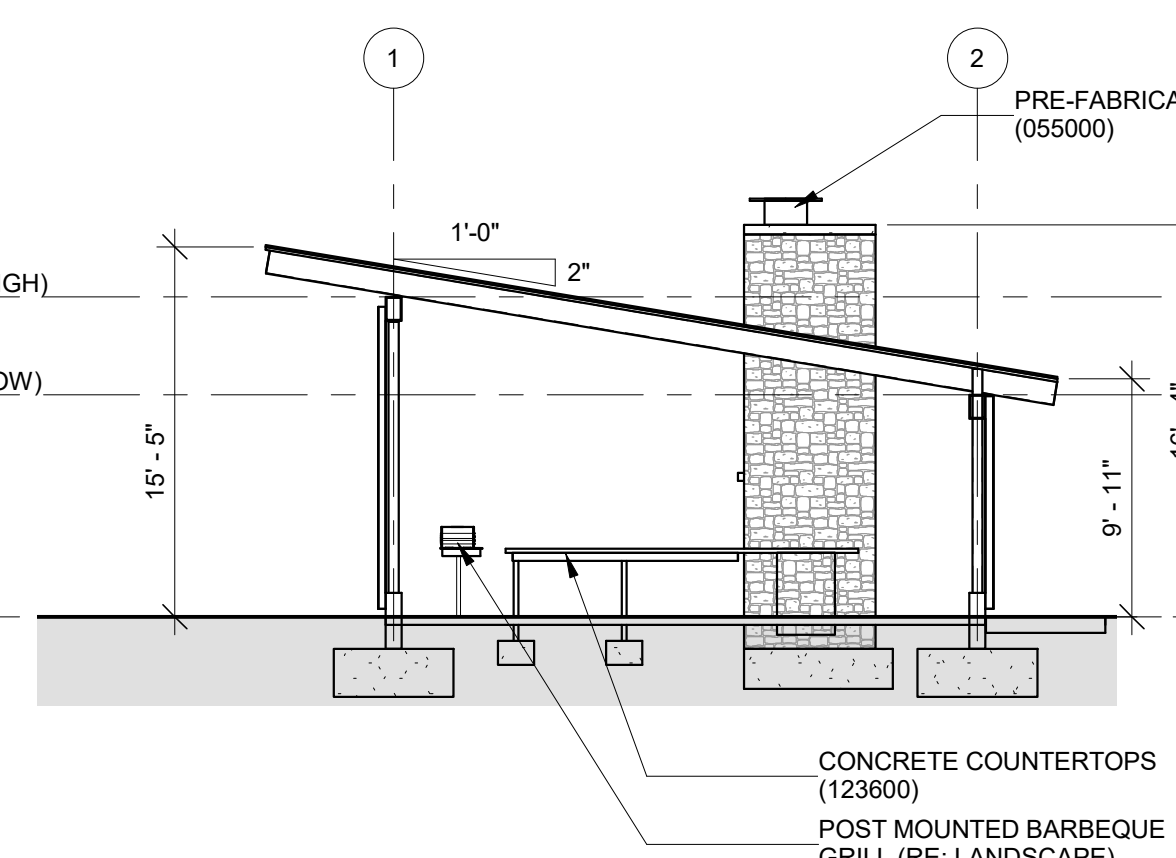
B3 INTERIOR ELEVATION - RESTROOMS NORTH
 A220 1/8" = 1'-0"



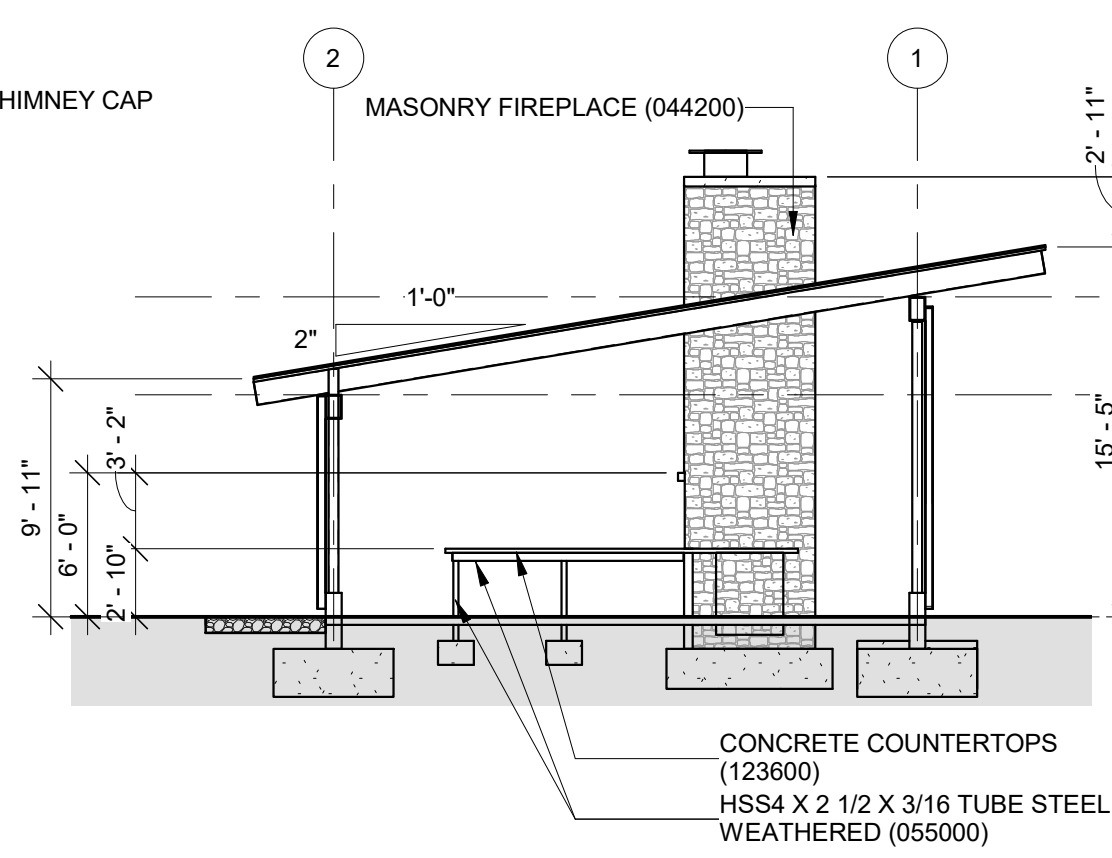
B4 INTERIOR ELEVATION - RESTROOMS TYPICAL SIDE
 A220 1/8" = 1'-0"



A1 EXTERIOR ELEVATION - NORTH
 A220 1/8" = 1'-0"



A3 EXTERIOR ELEVATION - WEST
 A220 1/8" = 1'-0"



A4 EXTERIOR ELEVATION - EAST
 A220 1/8" = 1'-0"

© 2017 11/30/2017 12:07:33 PM C:\Users\jroth\Documents\16893_Hawk_Ridge_Park_Shelter_and_Amphitheater_R17_Central_10101.rvt

Memorandum

TO: Planning and Zoning Commission
FROM: Greg Rokos, Assistant Director of Public Works - Engineering
DATE: 11/28/2017
RE: Hawk Ridge Park

The Public Works Department has reviewed the site plan for the Hawk Ridge Park and has determined that the facilities serving the park are adequate. The only recommended change to the site plan is to have the sidewalk extend across the entire frontage of the property on Johnston Dr.

MONTHLY REPORT NOVEMBER 2017

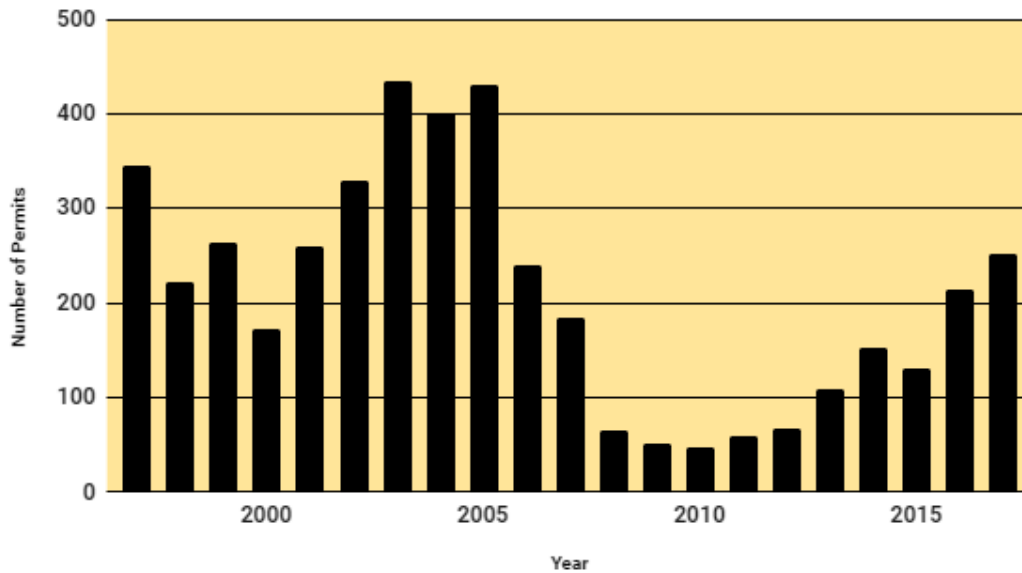
Building Permit Activity

Type of Permit	Nov 2017	2017 YTD	2016 YTD	2016 Total
Detached Single-Family Residential	37	193	187	201
Attached Single-Family Residential	20	60	14	14
Multi-Family Residential	0	20	0	0
Miscellaneous Residential (deck; roof)	39	447	445	458
Commercial - New, Additions, Alterations	0	31	23	26
Sign Permits	1	49	49	63
Inspections	Nov 2017	2017 YTD	2016 YTD	2016 Total
Total # of Inspections	628	6,479	5,845	6,354
Valuation	Nov 2017	2017 YTD	2016 YTD	2016 Total
Total Residential Permit Valuation	\$10,529,000	\$50,693,700	\$47,087,500	\$50,026,600
Total Commercial Permit Valuation	\$0.00	\$5,383,300	\$4,220,800	\$6,899,389

Additional Building Activity:

- Construction continues on five multi-family buildings in the Remington Village subdivision on the west side of Foxridge Drive, south of Granada Drive. The development will mirror the buildings on the east side of Foxridge Drive.
- Site work commenced for the proposed Discover Vision Center building to be located at 1018 W. Foxwood Drive. Building construction is planned to start in Spring 2018.
- Foundation, slab and underground utility work is ongoing at the Recreation Activity Center in Recreation Park.
- A total of 40 townhome units are under construction in the Timber Trails development, located south of Wal-Mart on the west side of Dean Avenue.

Single Family Building Permits



Code Enforcement Activity

Code Activity	Nov 2017	2017 YTD	2016 YTD	2016 Total
Code Enforcement Cases Opened	19	453	385	424
<i>Notices Mailed</i>				
-Tall Grass/Weeds	2	152	226	227
- Inoperable Vehicles	4	76	36	42
- Junk/Trash/Debris in Yard	7	69	45	65
- Object placed in right-of-way	2	20	6	7
- Parking of vehicles in front yard	2	81	37	48
- Exterior home maintenance	2	42	16	16
- Other (trash at curb early; signs; etc)	0	13	19	19
Properties mowed by City Contractor	1	60	66	68
Abatement of violations (silt fence repaired; trees removed; stagnant pools emptied; debris removed)	0	7	1	1
Signs in right-of-way removed	38	351	283	299
Violations abated by Code Officer	7	89	7	12

Development Activity

Current Projects

- City initiated rezoning for northwest corner of Dean Avenue and North Cass Parkway and for 118, 208, 210 and 214-216 W. Walnut Street to correct inconsistencies in the zoning map
- Site plan application for improvements planned at Hawk Ridge Park.

	As of Nov 30, 2017	As of Nov 30, 2016	As of Nov 30, 2015
Homes currently under construction	317	239	217
Total number of Undeveloped Lots Available (site ready for issuance of a permit for a new home)	425	629	761
Total number of dwelling units in City	8,153	7,940	7,747

Actions of Boards, Commission, and City Council

City Council

November 13, 2017

- Accepted the public improvements for Cunningham at Creekmoor Second Plat

November 27, 2017

- Approved on 2nd reading the final plat for Prairie View of The Good Ranch
- Approved on 1st reading the Westbrook at Creekmoor Thirteenth Plat

Planning and Zoning Commission

November 21, 2017

- Elected officers for the 2017/2018 year
- Recommended approval of the Westbrook at Creekmoor Thirteenth Plat
- Recommended approval of the rezoning for Cumberland Plaza Lots 1-4
- Recommended approval of the rezoning of the northwest corner of Dean Avenue and North Cass Parkway
- Recommended approval of the 26th amendment to the Unified Development Code

Board of Adjustment

November 21, 2017

- Approved a variance for Brian Wade to construct a fence in a setback area at 1706 Quail Court.

Upcoming Meetings – December & January

December 5, 2017 Planning and Zoning Commission

- Meeting Cancelled

December 11, 2017 City Council

- 2nd reading - Westbrook at Creekmoor 13th Plat
- 1st reading - reclassification of zoning of northwest corner of Dean Avenue and North Cass Parkway
- 1st reading - reclassification of zoning of 118, 208, 210 and 214-216 W. Walnut Street
- 1st reading - amendments to the Property Maintenance Code regarding hoarding and vehicle parking

December 19, 2017 Planning and Zoning Commission

- Hawk Ridge Park Site Plan

December 25, 2017 City Council

- Christmas! - No meeting

January 2, 2018 Planning and Zoning Commission

- No items currently scheduled

January 8, 2018 City Council

- 2nd reading - reclassification of zoning of northwest corner of Dean Avenue and North Cass Parkway
- 2nd reading - reclassification of zoning of 118, 208, 210 and 214-216 W. Walnut Street
- 2nd reading - amendments to the Property Maintenance Code regarding hoarding and vehicle parking
- 1st reading - 26th amendment to the Unified Development Code

January 16, 2018 Planning and Zoning Commission

- Meeting to be cancelled

January 22, 2018 City Council

- 2nd reading - 26th amendment to the Unified Development Code

Department Activities

- Permit Technician Holly Driscoll announced her retirement after 14+ years of service to the City of Raymore.

- A summit was held with Community Development and Public Works staff to discuss drainage matters.
- Director Jim Cadoret participated in a trees and stormwater webinar sponsored by the American Planning Association.
- Associate Planner David Gress and Code Enforcement Officer Christian Neal, with assistance from Public Works and Parks & Recreation Department staff, worked on an adaptive landscape database that will provide property owners with valuable information on establishing adaptive landscape features on their property.
- Community Development Director Jim Cadoret attended the Universal Design Summit held in St. Louis.
- Director Jim Cadoret participated in a webinar sponsored by the American Planning Association on regulation of temporary signage.
- Staff reviewed the application for site plan approval filed for the proposed construction of the amphitheater, pavilion/restroom facilities, and parking lot expansion in Hawk Ridge Park. The Planning & Zoning Commission will consider the application on Dec. 19.
- Associate Planner David Gress continued work on completion of the Walk Friendly Community application to be submitted for consideration in December.
- GIS Coordinator Heather Eisenbarth continued work on creating an online application that will illustrate ongoing construction and development projects in the City. This application will be made available to the public in December.

GIS Activities

1. Update of geospatial data with new or improved information
2. Update of ArcGIS Server cached base mapping & location services
3. Geospatial data delivery to engineering/design firms, service providers & organizations
4. Maps as requested for annexation invitation and public lands
5. Requests for information & vicinity maps from public & utilities
6. Attribution of mapped CIP data to include links to documentation
7. Software maintenance & acquisition information
8. ArcGIS Online platform development for data, maps & apps
9. Improved access to document scans as requested

Raymore Planning and Zoning Commission 2018 Meetings and Deadlines

Planning Commission Meeting Date	Residential Preliminary Plat Submission Deadline	Annexation, Rezoning, Site Plan, Final Plat, Conditional Use Permit Submission Deadline	Park Board (prelim. plat only) Suggested Meeting Date	Final Revisions Submission Deadline	Planning and Zoning Commission Public Hearing Notice		City Council Public Notice	City Council 1st Reading	City Council 2nd Reading
					Sent to publish	Neighbor Notice			
1st and 3rd Tuesdays	60 days prior	Commercial Preliminary and Final submission deadline	Meeting before revision deadline	10 working days before meeting	3 weeks before meeting (Friday)	2 weeks before meeting (Friday)	3 weeks before meeting (Friday)	Usually 1st CC after PZ	Usually next meeting following 1st reading
2-Jan	3-Nov	1-Dec	28-Nov	19-Dec	8-Dec	15-Dec	15-Dec	8-Jan	22-Jan
16-Jan	17-Nov	15-Dec	26-Dec	2-Jan	22-Dec	29-Dec	29-Dec	22-Jan	12-Feb
6-Feb	1-Dec	5-Jan	23-Jan	23-Jan	12-Jan	19-Jan	19-Jan	12-Feb	26-Feb
20-Feb	15-Dec	19-Jan	23-Jan	6-Feb	26-Jan	2-Feb	2-Feb	26-Feb	12-Mar
6-Mar	5-Jan	2-Feb	27-Feb	20-Feb	9-Feb	16-Feb	16-Feb	12-Mar	26-Mar
20-Mar	19-Jan	16-Feb	27-Feb	6-Mar	23-Feb	2-Mar	2-Mar	26-Mar	9-Apr
3-Apr			No meeting Election Day				16-Mar	9-Apr	23-Apr
17-Apr	16-Feb	16-Mar	27-Mar	3-Apr	23-Mar	30-Mar	30-Mar	23-Apr	14-May
1-May	2-Mar	30-Mar	27-Mar	17-Apr	6-Apr	13-Apr	13-Apr	14-May	28-May
15-May	16-Mar	13-Apr	24-Apr	1-May	20-Apr	27-Apr	27-Apr	28-May	11-Jun
5-Jun	6-Apr	4-May	24-Apr	22-May	11-May	18-May	18-May	11-Jun	25-Jun
19-Jun	20-Apr	18-May	22-May	5-Jun	25-May	1-Jun	1-Jun	25-Jun	9-Jul
3-Jul	4-May	1-Jun	22-May	19-Jun	8-Jun	15-Jun	15-Jun	9-Jul	23-Jul
17-Jul	18-May	15-Jun	26-Jun	3-Jul	22-Jun	29-Jun	29-Jun	23-Jul	13-Aug
7-Aug	1-Jun	29-Jun	26-Jun	24-Jul	6-Jul	13-Jul	13-Jul	13-Aug	27-Aug
21-Aug	15-Jun	20-Jul	24-Jul	7-Aug	20-Jul	27-Jul	27-Jul	27-Aug	10-Sep
4-Sep	6-Jul	3-Aug	24-Jul	21-Aug	10-Aug	17-Aug	17-Aug	10-Sep	24-Sep
18-Sep	20-Jul	17-Aug	28-Aug	4-Sep	24-Aug	31-Aug	31-Aug	24-Sep	8-Oct
2-Oct	3-Aug	31-Aug	28-Aug	18-Sep	7-Sep	14-Sep	14-Sep	8-Oct	22-Oct
16-Oct	17-Aug	14-Sep	25-Sep	2-Oct	21-Sep	28-Sep	28-Sep	22-Oct	12-Nov
6-Nov	7-Sep	5-Oct	25-Sep	23-Oct	12-Oct	19-Oct	19-Oct	12-Nov	26-Nov
20-Nov	21-Sep	19-Oct	23-Oct	6-Nov	26-Oct	2-Nov	2-Nov	26-Nov	10-Dec
4-Dec	5-Oct	2-Nov	23-Oct	20-Nov	9-Nov	16-Nov	16-Nov	10-Dec	24-Dec
18-Dec	19-Oct	16-Nov	27-Nov	4-Dec	23-Nov	30-Nov	30-Nov	24-Dec	14-Jan

A Public Hearing is Required for Preliminary Plat, Rezoning, and Conditional Use Permits.

~ All applicants are required to meet with the City's Development Review Committee (DRC) prior to making any application.

~ The DRC meets by appointment with applicants. An appointment can be scheduled by calling the Community Development Department at 816.892.3030

~ All applications must be complete upon submittal. A complete application and submission includes all required engineering plans

* Meeting may be cancelled if elections are held and Council Room is used as a voting place.