

RAYMORE PLANNING AND ZONING COMMISSION AGENDA

Tuesday, October 3, 2017 - 7:00 p.m.

City Hall Council Chambers
100 Municipal Circle
Raymore, Missouri 64083

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Personal Appearances
5. Consent Agenda
 - a. Acceptance of Minutes of September 19, 2017 meeting
6. Old Business - None
7. New Business - None
 - a. Case #17028 - Cunningham at Creekmoor Pool Site Plan
 - b. Discussion Item - UDC amendments - Solar Energy; Accessory Dwelling Units; Animals on Residential Lots
8. City Council Report
9. Staff Report
10. Public Comment
11. Commission Member Comment
12. Adjournment

Any person requiring special accommodation (i.e. qualified interpreter, large print, hearing assistance) in order to attend this meeting, please notify the City Clerk at (816) 331-0488 no later than forty-eight (48) hours prior to the scheduled commencement of the meeting.

Meeting Procedures

The following rules of conduct apply:

1. Public can only speak during the meeting under the following circumstances:
 - a. The citizen has made a formal request to the Community Development Department to make a personal appearance before the Planning Commission;
or,
 - b. A public hearing has been called by the Chairman and the Chairman has asked if anyone from the public has comments on the application being considered;
or
 - c. A citizen may speak under Public Comment at the end of the meeting.
2. If you wish to speak to the Planning Commission, please proceed to the podium and state your name and address. Spelling of your last name would be appreciated.
3. Please turn off (or place on silent) any pagers or cellular phones.
4. Please no talking on phones or with another person in the audience during the meeting.
5. Please no public displays, such as clapping, cheering, or comments when another person is speaking.
6. While you may not agree with what an individual is saying to the Planning Commission, please treat everyone with courtesy and respect during the meeting.

Every application before the Planning Commission will be reviewed as follows:

1. Chairman will read the case number from the agenda that is to be considered.
2. Applicant will present their request to the Planning Commission.
3. Staff will provide a staff report.
4. If the application requires a public hearing, Chairman will open the hearing and invite anyone to speak on the request.
5. Chairman will close the public hearing.
6. Planning Commission members can discuss the request amongst themselves, ask questions of the applicant or staff, and may respond to a question asked from the public.
7. Planning Commission members will vote on the request.

THE **PLANNING AND ZONING COMMISSION** OF THE CITY OF RAYMORE, MISSOURI, MET IN REGULAR SESSION **TUESDAY, SEPTEMBER 19, 2017** IN THE COUNCIL CHAMBERS OF CITY HALL, 100 MUNICIPAL CIRCLE, RAYMORE, MISSOURI WITH THE FOLLOWING COMMISSION MEMBERS PRESENT: CHAIRMAN WILLIAM FAULKNER, KELLY FIZER, LEO ANDERSON (ARRIVED 7:04 P.M.), JOSEPH SARSFIELD, MELODIE ARMSTRONG, CHARLES CRAIN, DON MEUSCHKE, AND MAYOR KRIS TURNBOW. ABSENT WAS ERIC BOWIE. ALSO PRESENT WERE COMMUNITY DEVELOPMENT DIRECTOR JIM CADORET, ASSOCIATE PLANNER DAVID GRESS, PUBLIC WORKS DIRECTOR MIKE KRASS, AND CITY ATTORNEY JONATHAN ZERR.

1. **Call to Order** – Chairman Faulkner called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance**
3. **Roll Call** – Roll was taken and Chairman Faulkner declared a quorum present to conduct business.
4. **Personal Appearances** – None
5. **Consent Agenda**

Chairman Faulkner indicated that Agenda Item B. Case #17025 - Replat of Prairie View of The Good Ranch, is being moved to the first item of new business.

a. Acceptance of minutes of August 15, 2017 meeting.

Motion by Mayor Turnbow, Seconded by Commissioner Meuschke to approve the consent agenda as amended.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Anderson	Absent
Commissioner Armstrong	Aye
Commissioner Bowie	Absent
Commissioner Crain	Aye
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Sarsfield	Aye
Mayor Turnbow	Aye

Motion passed 7-0-0.

6. **Old Business - None**
7. **New Business -**

A. Case #17025 - Replat of Prairie View of The Good Ranch

Associate Planner David Gress presented the staff report. Mr. Gress indicated that staff requested this case be moved to new business to allow inclusion of two additional conditions. Staff requested the applicant to meet with representatives of Water District #10 to resolve two issues. The water district is requiring a 30-foot exclusive easement for the water mains that will service the individual lots. Staff is requesting that this requirement be added as item "e" under staff comment number 13. The easements will need to be reflected on the plat. Staff is also requesting a grant of license or other agreement from the water district to allow the right-of-way of Brook Parkway to be platted over the existing easement for the existing water main. This condition would be added as condition #3 and

would read “The applicant/developer must obtain a license or other agreement from the water district allowing the right-of-way of Brook Parkway to be platted over the existing easement.”

Commissioner Anderson arrived at 7:04 P.M.

Motion by Mayor Turnbow, Seconded by Commissioner Fizer, to accept the staff proposed findings of fact and forward Case #17025, Replat of Prairie View of The Good Ranch, subject to the three conditions as revised by staff, to the City Council with a recommendation of approval.

City Attorney Jonathan Zerr requested confirmation from the applicant that the conditions as recommended were acceptable to the applicant.

Matt Schlicht, project engineer representing Good-Otis LLC, confirmed that the conditions are acceptable to the applicant.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Anderson	Abstain
Commissioner Armstrong	Aye
Commissioner Bowie	Absent
Commissioner Crain	Aye
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Sarsfield	Aye
Mayor Turnbow	Aye

Motion passed 7-0-1.

Commissioner Anderson indicated he abstained because he was not present for the entire discussion of the case.

b. Case #17027 - 2018-2022 Capital Improvement Program (public hearing)

Chairman Faulkner opened the public hearing at 7:08 p.m.

City Manager Jim Feuerborn provided an overview of the 2018-2022 Capital Improvement Program. He provided an explanation for each of the programs identified on page 11 of the CIP (attached as part of the minutes).

Public Works Director Mike Krass provided an explanation of the permeable paver project along Foxwood Drive. The work that was recently completed on Huntsman Boulevard will be duplicated on intersections on the south side of Foxwood Drive at Darrowby, Mott, Park, Skyline, Woodson and High streets. The project will provide for better drainage at the intersection and identification of the crosswalk area.

Commissioner Armstrong asked if the pavers were permeable. Mr. Krass clarified that the pavers are not permeable but with a greater spacing between the pavers, and the gravel between the pavers is permeable, allows for water to drain away from the intersection.

No public appeared to speak on the case.

Chairman Faulkner closed the public hearing at 7:56 p.m.

Commissioner Anderson commented on the Distinguished Budget award and thanked staff for its efforts to achieve this award.

Commissioner Fizer thanked staff for consideration of the street light at the intersection of Fox Ridge Drive and Johnston Drive.

Commissioner Sarsfield thanked staff on the work to be done at the Memorial playground.

Motion by Commissioner Anderson, Seconded by Commissioner Sarsfield, to approve Case #17027, 2018-2022 Capital Improvement Program, and forward the case to the City Council with a recommendation of approval.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Armstrong	Aye
Commissioner Bowie	Absent
Commissioner Crain	Aye
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Sarsfield	Aye
Mayor Turnbow	Aye

Motion passed 8-0-0.

8. City Council Report

Mr. Zerr gave the City Council report.

9. Staff Report

Mr. Cadoret provided an overview of the upcoming cases to be considered by the Commission.

Public Works Director Mike Krass provided an update on the curb and sidewalk program and the street preservation program. Mr. Krass also explained the phasing of construction activity that is to occur along 155th Street.

10. Public Comment

None

11. Commission Member Comment

Commissioner Anderson commented on the new City logo.

Commissioner Fizer reminded Commission members on the schedule for the Raymore Festival.

Mayor Turnbow indicated the opening ceremony for the festival is Thursday, Sept. 21 and thanked staff for its work on the CIP.

Chairman Faulkner thanked staff for its assistance.

12. Adjournment

Motion by Mayor Turnbow, Seconded by Commissioner Meuschke to adjourn the September 19, 2017 Planning and Zoning Commission meeting.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Armstrong	Aye
Commissioner Bowie	Absent
Commissioner Crain	Aye
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Sarsfield	Aye
Mayor Turnbow	Aye

Motion passed 8-0-0.

The September 19, 2017 meeting adjourned at 8:14 p.m.

Respectfully submitted,

Jim Cadoret

Capital Improvement Program by Funding Source and Project - 5 Year Summary

By Fund

	2017-18	2018-19	2019-20	2020-2021	2021-2022
Building & Equipment Replacement Program (05)					
Public Works Facility Roof Repair	\$ 167,500				
City Hall Front Entry Repair	\$ 182,000				
Police Squad Room	\$ 55,000				
City Hall LED Lighting Upgrades	\$ 13,250				
Public Works LED Lighting Upgrades	\$ 10,500				
Executive Conference Room Chairs	\$ 6,000				
City Hall Lobby Modifications	\$ 40,000				
Park Fee-in-Lieu Fund (27)					
(no projects scheduled)	\$ -				
Transportation Fund (36)					
Annual Curb Replacement Program	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000
Annual Street Preservation Program	\$ 800,000	\$ 800,000	\$ 800,000	\$ 800,000	\$ 800,000
Annual Sidewalk Program	\$ 117,000				
Hubach Hill Road Street Light	\$ 8,000				
Johnston Drive Street Light	\$ 8,000				
Lucy Webb Roundabout Additional Lighting	\$ 12,000				
Excise Tax Fund (37)					
Maintenance of Thoroughfare Routes	\$ 125,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000
Capital Improvement Fund (45)					
Concession Stand Internet Connectivity w/WIFI	\$ 15,500				
Street Light Installation	\$ 15,000	\$ 15,000	\$ 15,000	\$ 15,000	\$ 15,000
Stormwater Sales Tax Fund (46)					
Annual Curb Replacement Program	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000
Permeable Pavers Crosswalks	\$ 114,465				
North Washington Street Culvert Replacement	\$ 33,000				
Stormwater Culvert Replacement	\$ 28,000				
Park Sales Tax Fund (47)					
Dog Park			\$ 175,000		
Memorial Park Playground Improvements		\$ 48,000			
Recreation Park Ballfield Lights		\$ 80,000			
Concession Stand Internet Connectivity w/ WIFI	\$ 18,000				
Park Maintenance Facility Building Apron			\$ 75,000		
Recreation Park Picnic Pavilion	\$ 210,000				
Park Restroom Enhancements	\$ 6,000				
Recreation Park Pedestrian Bridge Replacements	\$ 55,000				
Recreation Park Playground Equipment				\$ 300,000	
Recreation Park Pedestrian Safety Enhancements	\$ 100,000				
Archery Range					\$ 51,500
Recreation Park Pavilion Playground				\$ 100,000	
Hawk Ridge Park - Nature Play Playground					\$ 150,000
Recreation Park Pond	\$ 10,000	\$ 150,000			
Park Sales Tax Fund - GO Bond (47-38)					
Recreation Park Activity Center	\$ 109,573				
T.B. Hanna Station Park Improvements	\$ 520,000				
Water Connection Fee Fund (52)					
(no projects scheduled)					
Sewer Connection Fund (53)					
Lift Station Emergency Generators	\$ 94,500				
Enterprise Cap. Maint Fund (54)					
Sanitary Sewer Inflow and Infiltration Reduction	\$ 123,000	\$ 126,075	\$ 129,227	\$ 132,458	\$ 135,769
Sensus Meter Reading System	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000
Owen Good Force Main Condition Analysis	\$ 94,250				
Owen Good Overflow Valve Replacement	\$ 30,000				
Total Projects by Fiscal Year	\$ 3,770,538	\$ 2,069,075	\$ 2,044,227	\$ 2,197,458	\$ 2,002,269

To: Planning and Zoning Commission
From: City Staff
Date: October 3, 2017
Re: Case #17028 - Site Plan: Cunningham at Creekmoor Community Pool

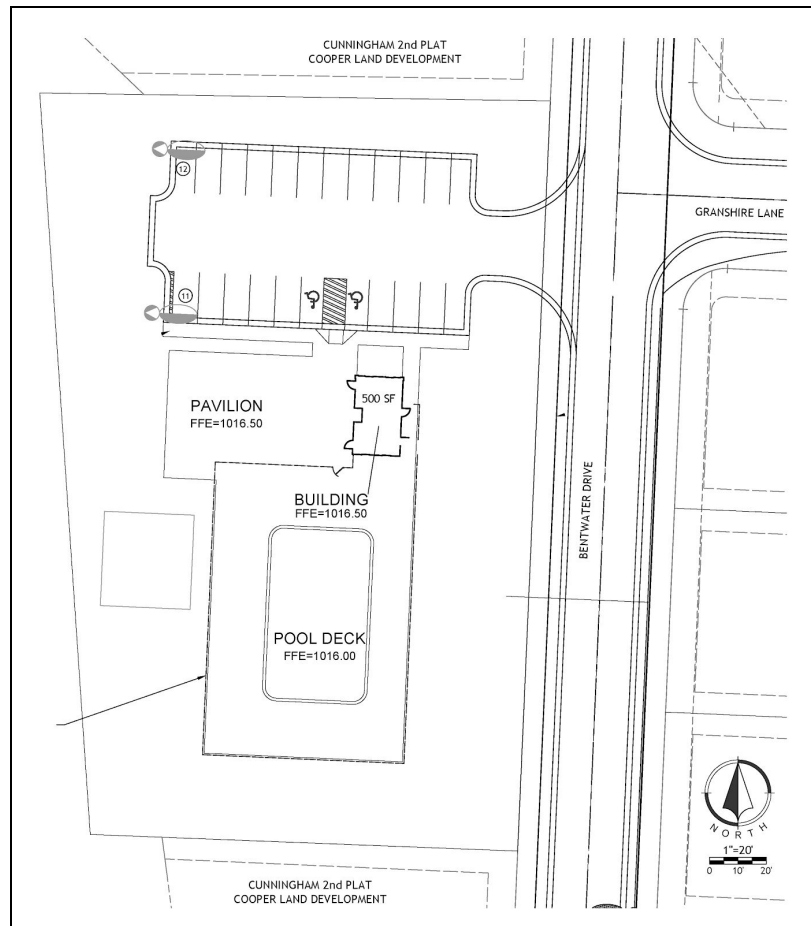
GENERAL INFORMATION

Applicant Steve Warger; RIC, LLC
 5015 NW Canal Street
 Riverside, MO 64150

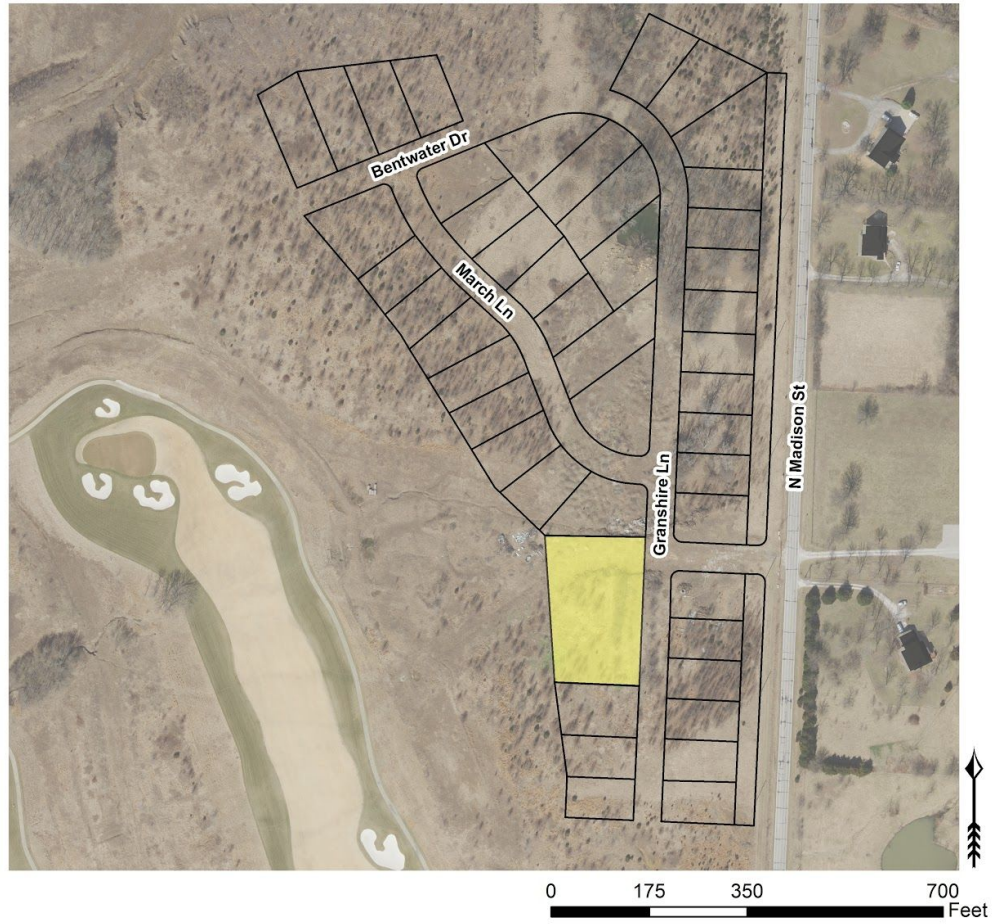
Property Owner: Cooper Land Development
 903 N 47th Street
 Rogers, AR 72756

Requested Action: Site plan approval for the community pool located in the Cunningham at Creekmoor 2nd Phase

Property Location: **Cunningham at Creekmoor 2nd Plat. Generally located at the intersection of N. Madison Street and Granshire Lane.**



Aerial Photograph:



Property Photographs:



(View from Granshire Lane and Bentwater Drive looking southwest)



(View from Granshire Lane and Bentwater Drive looking northeast)



(View from the parking lot looking south)

Existing Zoning: "PUD" Planned Unit Development District

Existing Surrounding Uses: **North:** Single Family Residential
South: Single Family Residential
East: Agricultural; Single Family Residential
West: Golf Course

Total Tract Size: 0.55 acres/23,855.14 square feet

Subdivision Plat: Cunningham at Creekmoor, 2nd Plat

Growth Management Plan: The Future Land Use Plan Map contained in the Growth Management Plan identifies this property as appropriate for Low Density Residential development.

Major Street Plan: The Major Thoroughfare Plan Map contained in the Growth Management Plan has **N. Madison Street** classified as a Major Collector and **Granshire Lane** classified as a Local Street.

Advertisement: City Ordinance does not require advertisement for Site Plans.

Public Hearing: City Ordinance does not require a public hearing for Site Plans.

PROPOSAL

Outline of Requested Action: The applicant seeks to obtain site plan approval for the community pool and pavilion for the Cunningham at Creekmoor 2nd phase.

SITE PLAN REQUIREMENTS AND STANDARDS

In order for the applicant to accomplish the aforementioned action, they must meet the provisions of the Unified Development Code. Chapter 470 of the Unified Development Code outlines the requirements and actions that need to be taken in order to site plan property, specifically Section 470.160.

PREVIOUS ACTIONS ON THE PROPERTY

1. The Preliminary Plan and Memorandum of Understanding (MOU) for Creekmoor were approved by City Council on January 26, 2004.
2. Cunningham at Creekmoor 1st Plat, located directly to the west, was recorded on February 24, 2009.
3. An application to vacate the Cunningham at Creekmoor 1st Plat was filed by the developer and approved by City Council on July 10, 2017.
4. The Cunningham at Creekmoor 2nd Plat was approved by City Council on July 10, 2017. The Plat has not yet been recorded.

ENGINEERING DIVISION COMMENTS

The Engineering Division has reviewed the site plan application and provided a recommendation of approval. Please see the attached memorandum for specific comments.

STAFF COMMENTS

1. **Development Standards:** The development standards applicable to the property are as follows:

PUD	
Minimum Lot Area	
per lot	8,400 sq ft
per dwelling unit	8,400 sq ft
Minimum Lot Width (ft.)	70 feet; 30 cul-de-sac lot
Minimum Lot Depth (ft.)	100
Yards, Minimum (ft.)	
Front	25
rear	25
side; exterior	20
side; interior	7.5
Maximum Building Height (feet)	35

2. **Special Use Conditions:** There are no use-specific standards or conditions.
3. **Parking:** There is no designated parking requirement for a community swimming pool, and the required number of spaces is decided at the discretion of the Community Development Director. 23 parking spaces have been provided, and have been determined to be sufficient.
4. **Landscaping:** Twenty percent (20%) of the lot is required to be reserved for landscaped area. A landscaped area a minimum of six feet in width shall be provided along all street frontages and along all perimeter property lines. The Landscape Plan the was submitted satisfies these requirements.
5. **Building Design:**

The proposed building is in compliance with the building design standards contained in Section 440.010 listed below.

Section 440.010 Building Design Standards

C. Building Materials

1. Masonry Construction

A minimum of 50 percent of front and side facades shall consist of materials described by this sub-section.

- a. Masonry construction shall include all masonry construction which is composed of solid, cavity, faced or veneered-wall construction, or similar materials approved by the Planning and Zoning Commission.
- b. Stone materials used for masonry construction may consist of granite, sandstone, slate, limestone, marble or other hard and durable all-weather

stone. Ashlar, cut stone and dimensioned stone construction techniques are acceptable.

- c. Brick material used for masonry construction shall be composed of hard-fired (kiln-fired), all weather common brick or other all-weather common brick or all-weather-facing brick.
- d. Concrete finish or precast concrete panel (tilt wall) construction shall be exposed or aggregate, hammered, sandblasted or other finish as approved by the Planning and Zoning Commission.
- e. Stucco or approved gypsum concrete/plaster materials are also permitted.

2. Glass Walls

Glass walls shall include glass-curtain walls or glass-block construction. A glass-curtain wall shall be defined as an exterior wall which carries no floor or roof loads and which may consist of a combination of metal, glass and other surfacing materials supported in a metal frame.

3. Metal Walls

- a. The use of metal siding is permitted only in industrial districts and only for side and rear façades. The materials used on the front façade shall be incorporated into any façade visible from a public street to break up the monotony of those facades.
- b. The use of corrugated panels, with a depth of less than three-quarter inch or a thickness less than U.S. Standard 26 gauge is prohibited.
- c. The use of unpainted metal panels, excluding panels made from copper, weathering steel, or stainless steel, is prohibited. The color finish of metal panels and exposed fasteners shall have extended durability with high resistance to fade and chalk.
- d. Corrugated metal facades shall be complemented with masonry, whether brick, stone, stucco or split-face block. Architectural metal panels may be an acceptable substitute for masonry. Appropriate landscaping shall be used to complement and enhance a building's design, color and material.

6. Pedestrian Access: Pedestrian Access to the building will be provided. Sidewalk will be required to be installed along the common tract of land in which the pool is located, along Bentwater Drive. Additionally, a sidewalk connection will be required to be made from the main entrance to the pool/pavilion to the sidewalk along Bentwater Drive.

7. Signage: A master signage plan was not submitted with the application. The applicant must apply for a sign permit prior to the placement of any sign

8. Fire District Review: Due to the minor scale of the proposed site plan, the plan was not shared with South Metro Fire District. The Cunningham at Creekmoor 2nd Final Plat was shared with the District prior to its approval in July 2017.

The South Metropolitan Fire Protection District requires the issuance of a building permit from the district. This permit is in addition to the building permit issued by the City of Raymore.

9. Stormwater Management: Stormwater will drain east across the parking lot where it will be discharged onto Bentwater Drive and will drain north and south along Bentwater Drive.

- 10. Site Lighting:** The proposed site lighting plan is in compliance with the outdoor lighting performance standards of the City.
- 11. Trash Enclosure:** A trash enclosure was not included as part of the site plan. All waste receptacles will be stored inside the building.
- 12. Screening of Mechanical Equipment:** All electrical and mechanical equipment located adjacent to the building shall be screened from view from adjacent properties and any adjacent street. Accessory utility facilities that are in excess of 3 ½ feet shall be screened.

The site plan shows that the mechanical equipment for the pool and pavilion will be located inside of a utility closet within the pavilion building, and will be screened from view from adjacent properties and any adjacent street.

- 13. Site Access:** Access to the site will be provided off of Granshire Lane and Bentwater Drive. Granshire Lane is the main access point into the Cunningham Subdivision from N. Madison Street.
- 14.** The following revisions are required to the site plan prior to the issuance of a building permit.
 - A. The five foot (5') tall fence around the perimeter of the pool shall be six foot (6') in height.
 - B. Identify the location of the concrete washout on the Erosion Control Plan.
 - C. Show the sidewalk along Bentwater Drive on the site plan.
 - D. Extend the sidewalk on the north side of the pavilion to connect to Bentwater Drive.
 - E. The gate into to pool deck shall open outward, away from the pool.
 - F. The ADA ramp leading into the parking lot shall be centered with the ADA access aisle.
 - G. Identify the location of the "Type A" screening on the Landscape Plan between the designated parking area, and abutting residential districts.

STAFF PROPOSED FINDINGS OF FACT

Section 470.160 of the Unified Development Code states that the Planning and Zoning Commission and the City Council must make findings of fact taking into consideration the following:

- a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;**

The site plan does comply with all applicable standards of the Unified Development Code and all other applicable City ordinances and policies, with the exception of the adopted APWA guidelines for intersection spacing. Based on those guidelines the minimum offset for two access roads intersecting a local road is 75'. The offset between Granshire Lane and the parking lot entrance is 20'.

The site plan complies with all other applicable standards of the Unified Development Code and all other applicable City ordinances and policies.

- b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;**

The site plan does not conflict with any of the adopted master plans of the City or the purpose and intent of the Unified Development Code.

- c. the proposed use is allowed in the district in which it is located;**

The proposed use of the community pool is allowable as a subdivision amenity within the PUD zoning district.

- d. vehicular ingress and egress to and from the site, and circulation within the site provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;**

Vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of vehicles. Access to the site will be provided off of Granshire Lane and Bentwater Drive.

- e. the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;**

The site plan does provide for safe, efficient and convenient movement of pedestrians. Sidewalks are provided to allow pedestrians to access the site from the sidewalk along Bentwater Drive.

- f. the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services;**

The placement of the building does allow for efficient use of the land and minimizes potential adverse impacts on existing and planned municipal infrastructure and services.

- g. open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;**

There are no unique natural resource features on the site that need to be preserved.

- h. the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;**

There are no alterations to the existing topography of the lot that will be made for this project. There are no natural watercourses on the site.

- i. provides adequate parking for the use, including logical and safe parking and circulation;**

Parking for the use meets the minimum requirement and is provided in a logical manner.

- j. provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates; and**

Adequate landscaping is provided for the site. The screening requirement between the parking areas and the abutting residential lots has been satisfied.

- k. includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.**

The site illumination has been designed and located to minimize adverse impacts on adjacent properties.

REVIEW OF INFORMATION AND SCHEDULE

Action
Site Plan Review

Planning Commission
October 3, 2017

STAFF RECOMMENDATION

The staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and approve Case #17028 Cunningham at Creekmoor Community Pool Site Plan subject to the following conditions:

Prior to commencement of any land disturbance activities:

1. State of Missouri and City of Raymore land disturbance permits shall be obtained prior to the commencement of any site grading or land disturbance activities.
2. All erosion control measures identified on the site disturbance plan and required by the land disturbance permit must be installed prior to grading and these measures must be maintained throughout the duration of the building construction.

Prior to issuance of a Building Permit

3. Applicant must submit a revised site plan showing revisions A thru G from staff comments.

Prior to issuance of a Certificate of Occupancy:

4. All accessible parking spaces must be identified by signs complying with the Manual of Uniform Traffic Control Devices and the Department of Justice, Code of Federal Regulation 28 CFR Part 36, ADA Standards for Accessible Design. The sign must be vertically mounted on a post or wall no more than five feet from the space and centered on the width of the space.
5. One of the two accessible parking spaces shall be served by an access aisle a minimum of ninety-six inches wide and shall be designated "lift van accessible only" with signs that meet the requirements of the federal Americans with Disabilities Act.
6. All work shall be completed in accordance with the site plan approved by the Planning and Zoning Commission.

Perpetual Conditions:

7. Prior to removing erosion control measures at the conclusion of the project, the contractor must obtain concurrence from the City.
8. A signed copy of the weekly and post rain event erosion control inspection reports shall be submitted to the City upon completion of each report.
9. Owner must immediately notify City staff of any illicit discharge that enters or has the potential to enter the storm sewer system.

Memo

To: Planning and Zoning Commission
From: Michael Krass; Director of Public Works
CC: File
Date: September 26, 2017
Re: Cunningham at Creekmoor Pool Site Plan

The Engineering Department has reviewed the application for Cunningham at Creekmoor Pool Site Plan and offers the following comments.

The subject property is located in the south west quadrant of the intersection of Bentwater Drive and Granshire Lane.

Transportation System

Access to the site will be via Bentwater Drive.

Sanitary Sewer:

The site will be served by an existing 8 inch sanitary sewer that is located within Bentwater Drive.

Water System:

The site will be served by the existing 8 inch waterline within Bentwater Drive

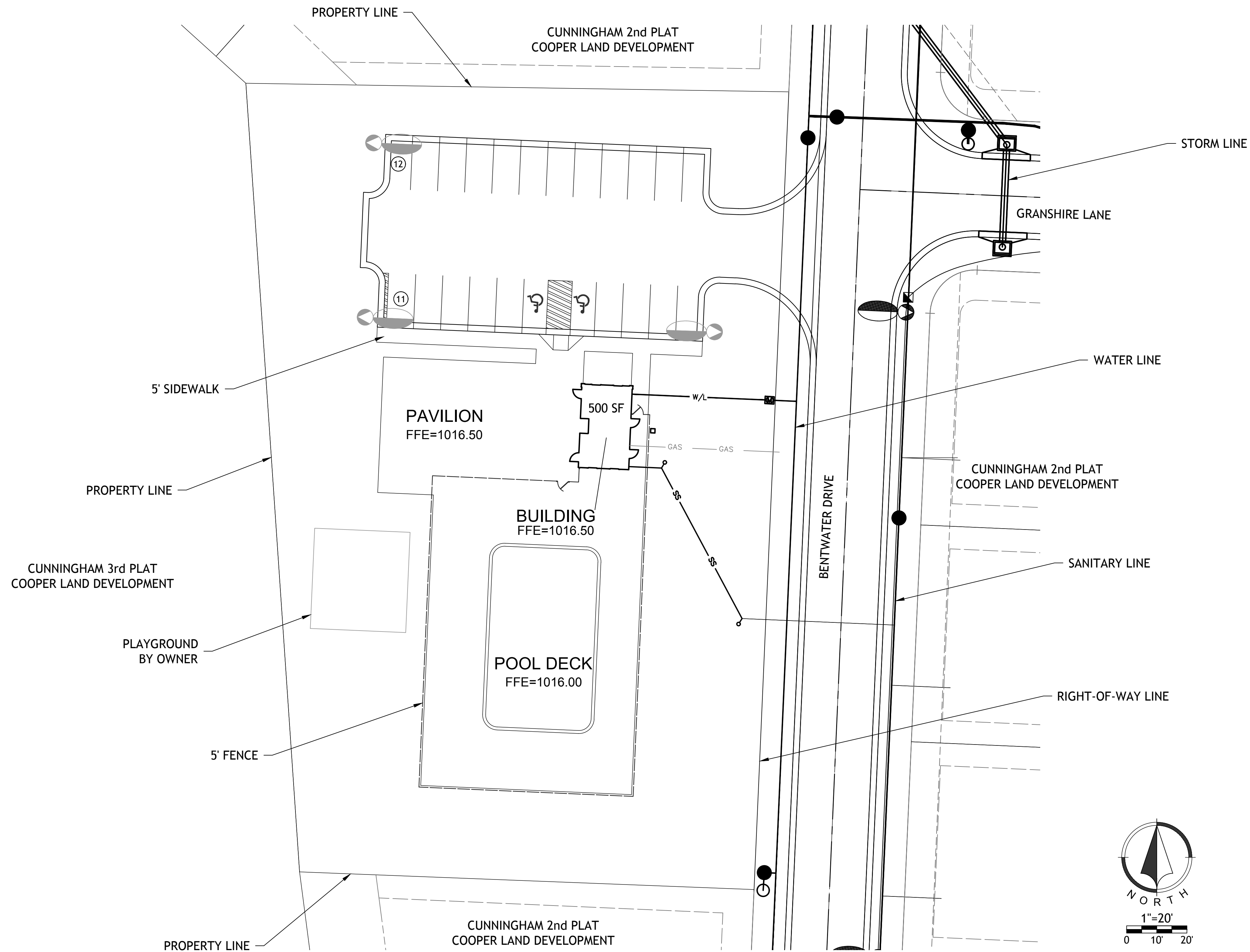
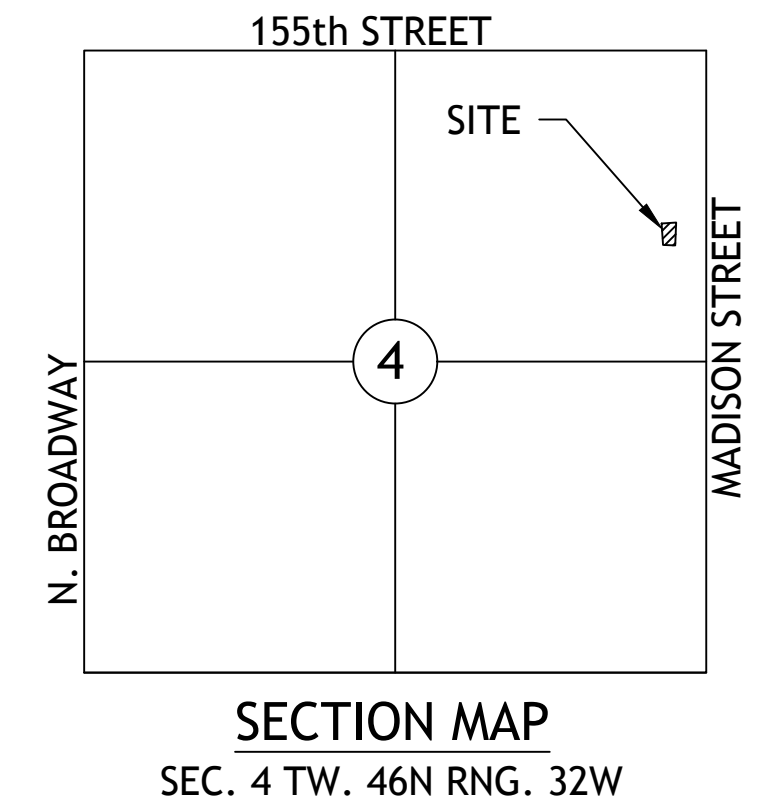
Summary

The Engineering Division recommends approval of this application.

FINAL DEVELOPMENT PLAN

CUNNINGHAM 2nd PLAT COMMUNITY POOL

BENTWATER DRIVE, RAYMORE, MO 64083
 RAYMORE, CASS COUNTY, MISSOURI
 SECTION 4, TOWNSHIP 46N, RANGE 32W



LEGAL
 TRACT A, CUNNINGHAM 2nd PLAT

DEVELOPER
 COOPER LAND DEVELOPMENT, INC. 903
 NORTH 47TH STREET
 RODGERS, ARKANSAS 72756

SURVEYOR
 ANDERSON SURVEY COMPANY
 203 NW EXECUTIVE WAY
 P.O. BOX 637
 LEE'S SUMMIT, MISSOURI 64063

FINAL DEVELOPMENT PLAN
 105-56
 CUNNINGHAM 2nd PLAT
 COMMUNITY POOL

COVER SHEET

NO.	BY	DATE	DESCRIPTION
BDC	RTD	9-21-17	ORIGINAL SUBMITTAL
			REVISION

Renaissance Infrastructure Consulting
 5015 NW CANAL STREET, SUITE 100
 RIVERSIDE, MISSOURI 64150
 816.800.0950
 WWW.RIC-CONSULT.COM

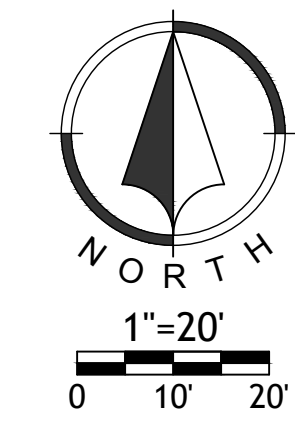
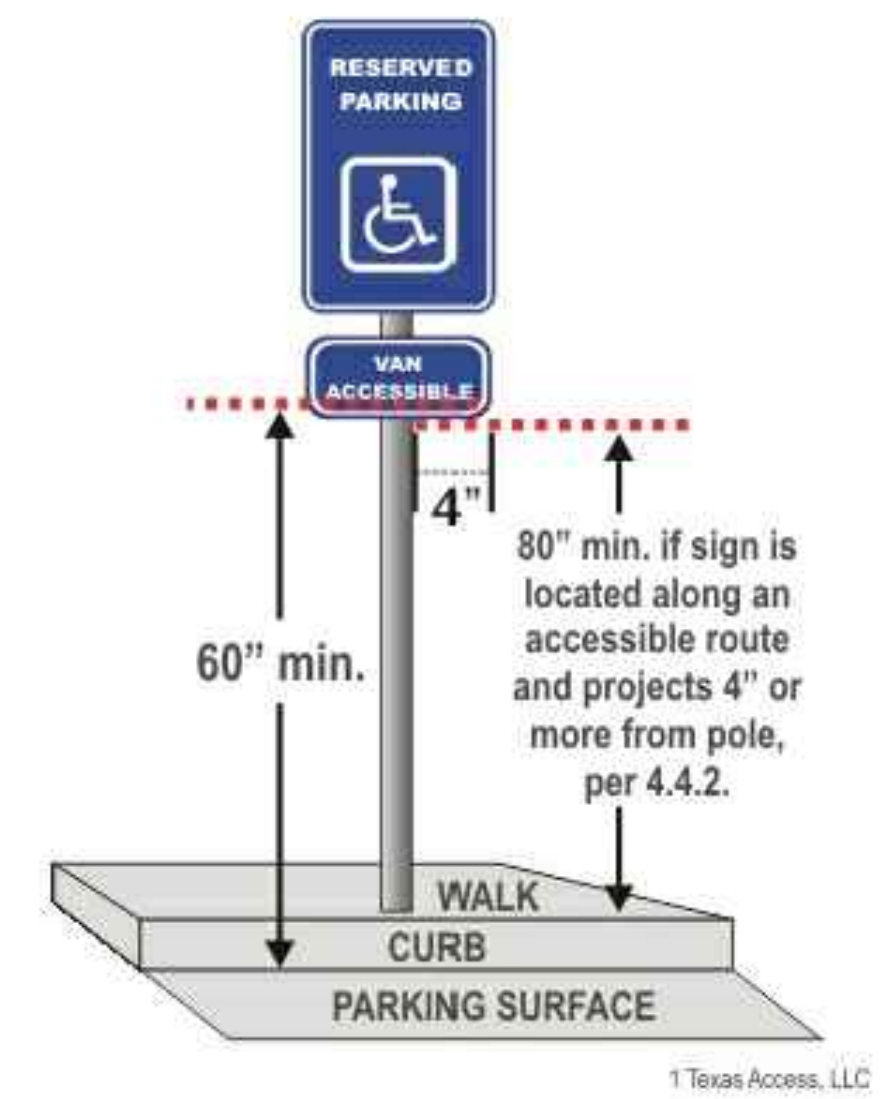
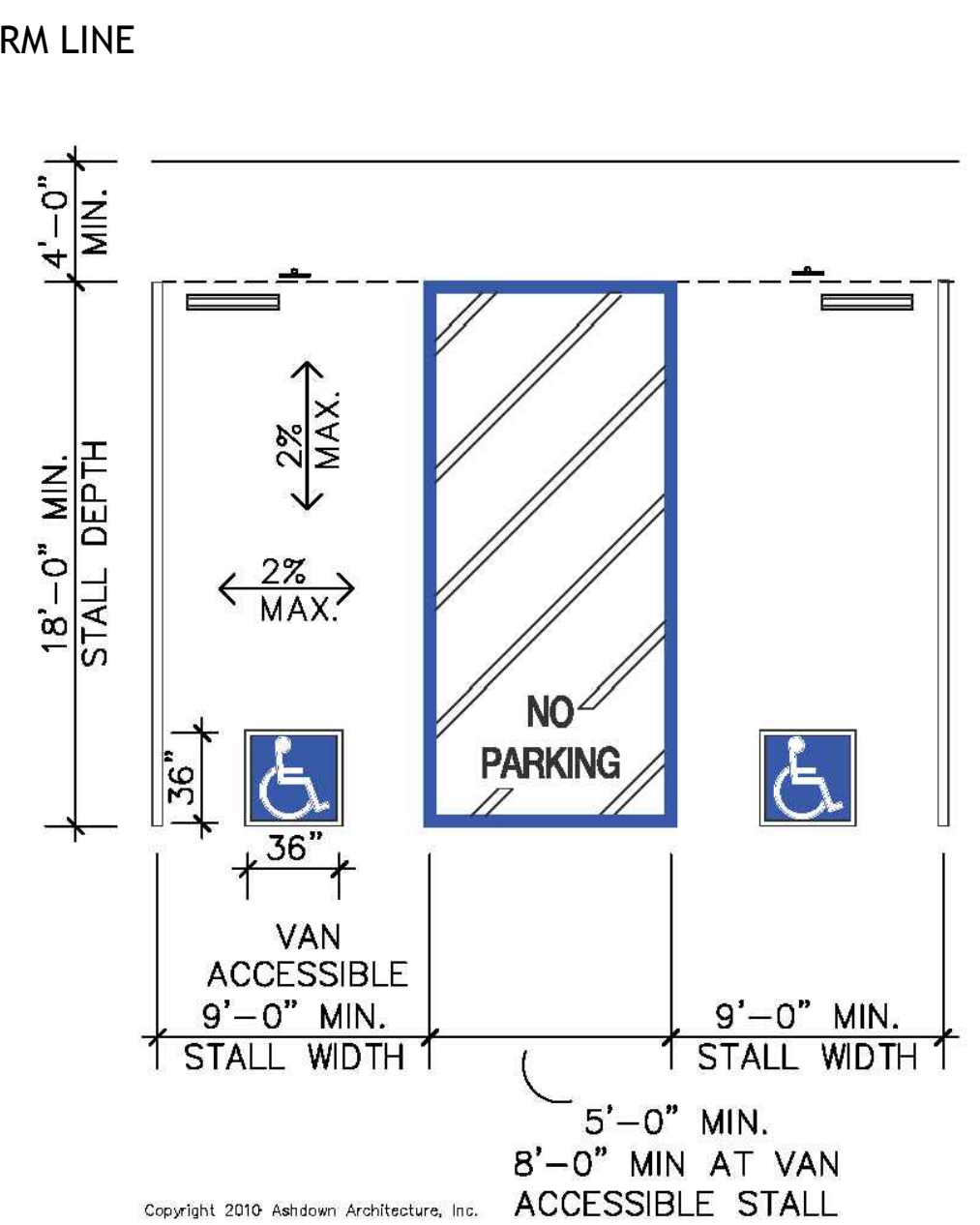
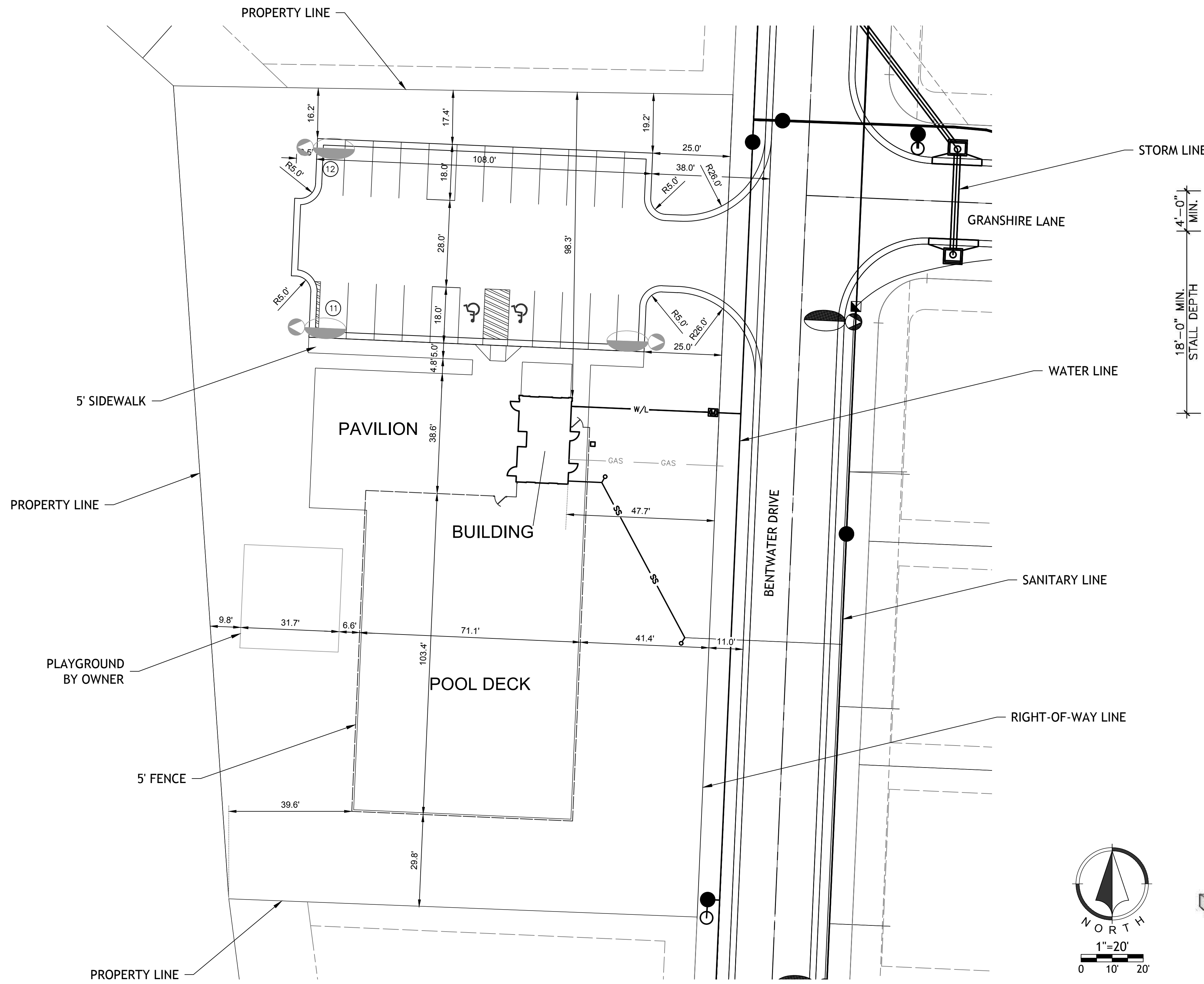
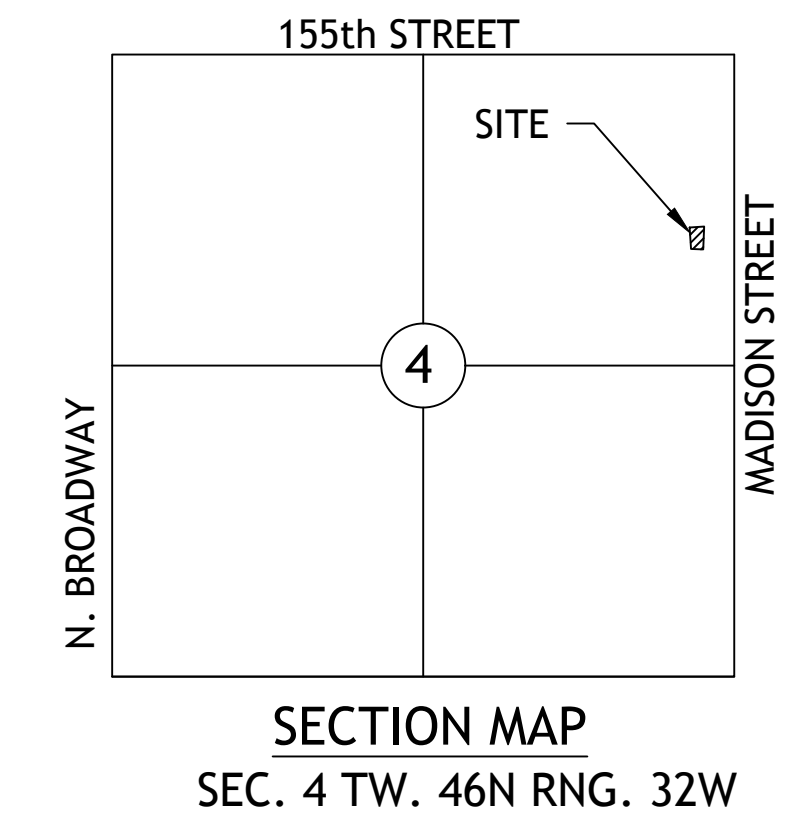
MISSOURI CERTIFICATE OF AUTHORITY No. 2010033650



FINAL DEVELOPMENT PLAN

CUNNINGHAM 2nd PLAT COMMUNITY POOL

BENTWATER DRIVE, RAYMORE, MO 64083
RAYMORE, CASS COUNTY, MISSOURI
SECTION 4, TOWNSHIP 46N, RANGE 32W



FINAL DEVELOPMENT PLAN
105-56
CUNNINGHAM 2nd PLAT
COMMUNITY POOL

GENERAL LAYOUT

NO.	BY	DATE	REVISION

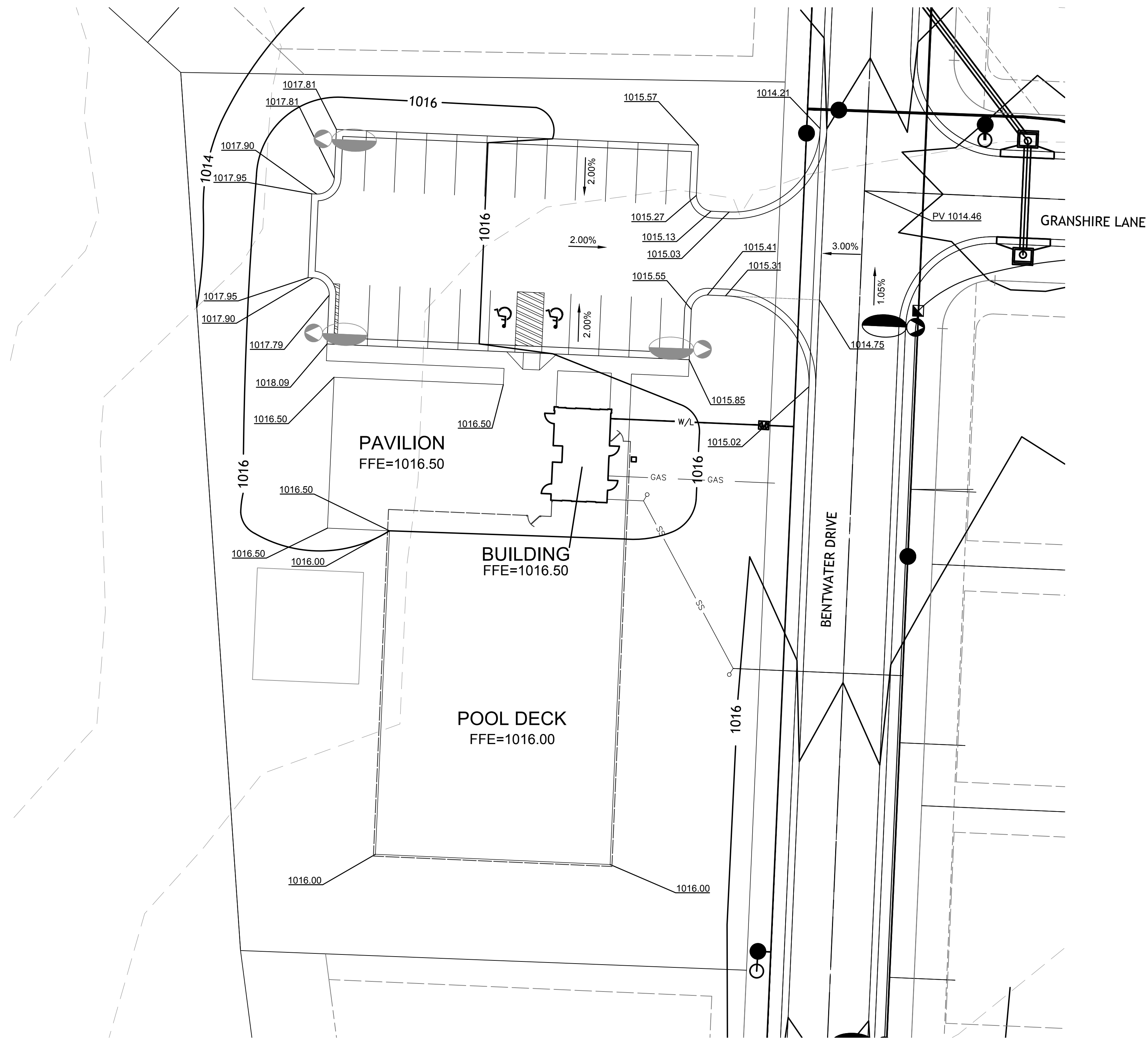
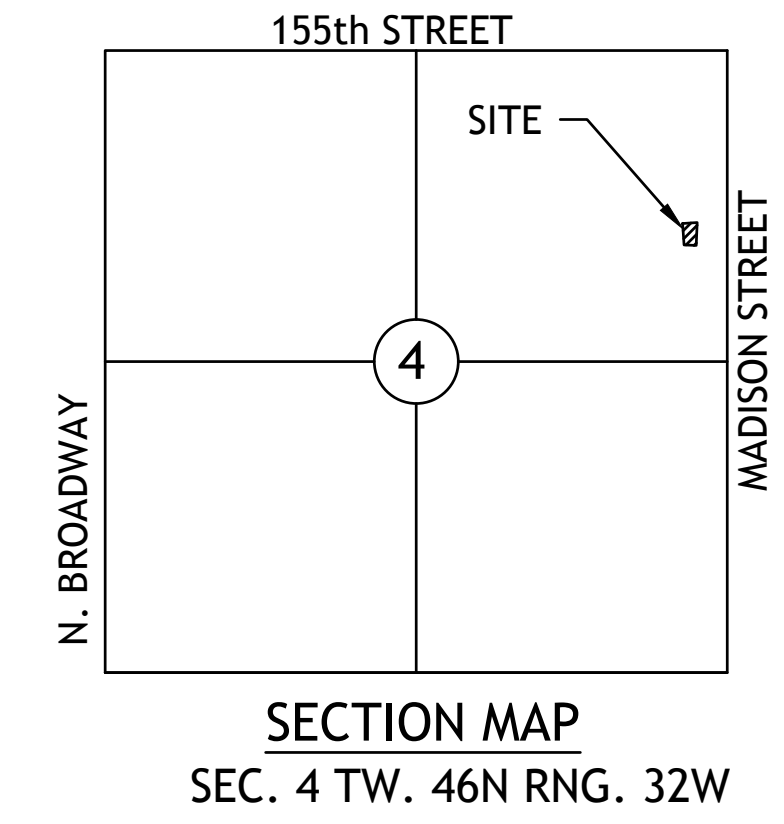
Renaissance Infrastructure Consulting
 5015 NW CANAL STREET, SUITE 100
 RIVERSIDE, MISSOURI 64150
 816.800.0950
 WWW.RIC-CONSULT.COM
 MISSOURI CERTIFICATE OF AUTHORITY NO. 2010033630

Sep 22, 2017, 11:10am
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FINAL DEVELOPMENT PLAN

CUNNINGHAM 2nd PLAT COMMUNITY POOL

BENTWATER DRIVE, RAYMORE, MO 64083
 RAYMORE, CASS COUNTY, MISSOURI
 SECTION 4, TOWNSHIP 46N, RANGE 32W



FINAL DEVELOPMENT PLAN
 105-56
 CUNNINGHAM 2nd PLAT
 COMMUNITY POOL

GRADING PLAN

NO.	BY	CD.	DATE	DESCRIPTION
1	BDC	RTD	9-21-17	ORIGINAL SUBMITTAL

Renaissance Infrastructure Consulting
 5015 NW CANAL STREET, SUITE 100
 RIVERSIDE, MISSOURI 64150
 816.800.0950
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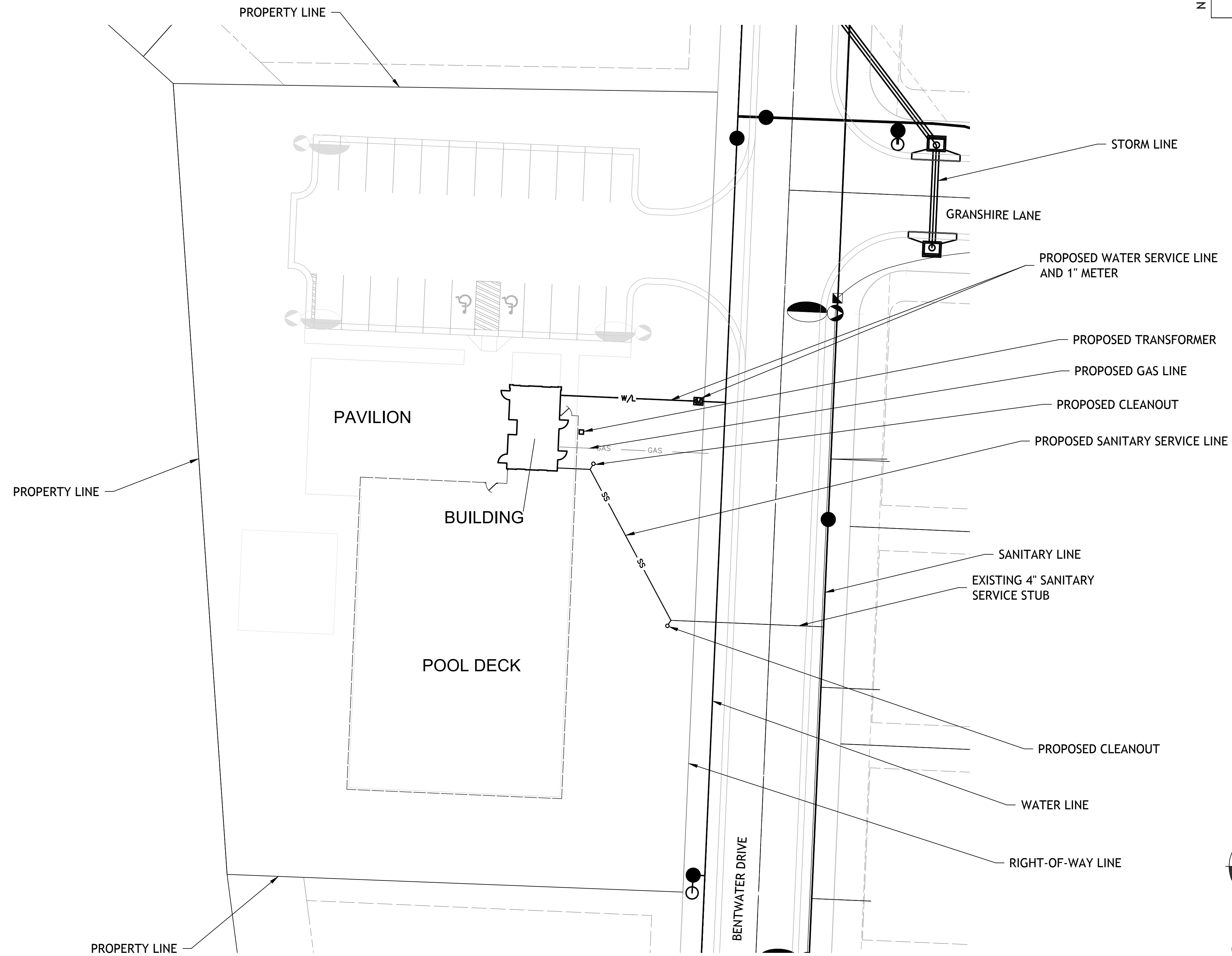
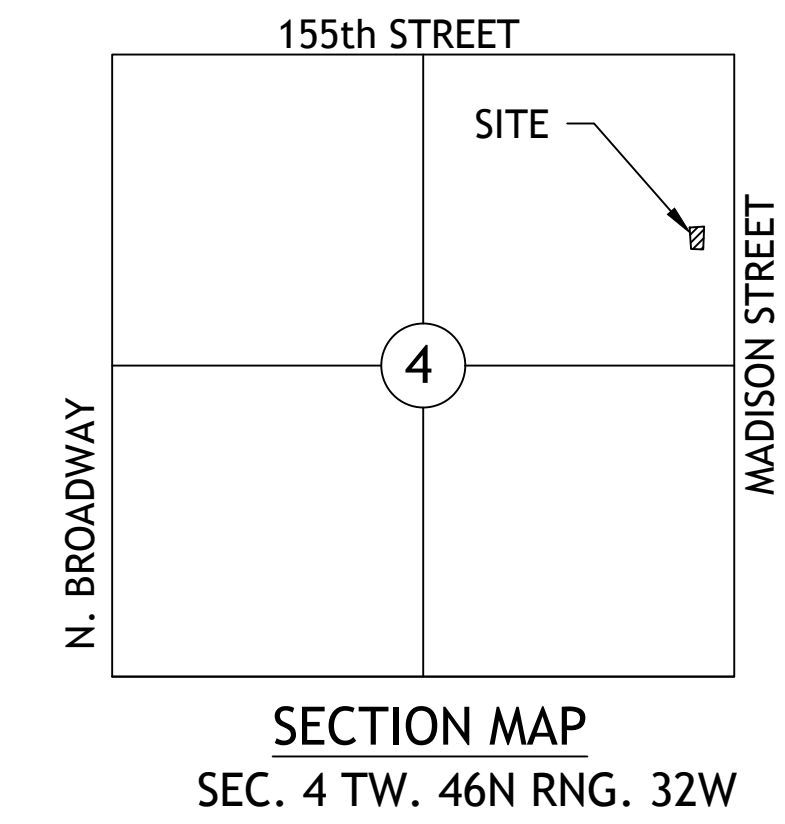
MISSOURI CERTIFICATE OF AUTHORITY No. 2010033650

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FINAL DEVELOPMENT PLAN

CUNNINGHAM 2nd PLAT COMMUNITY POOL

BENTWATER DRIVE, RAYMORE, MO 64083
 RAYMORE, CASS COUNTY, MISSOURI
 SECTION 4, TOWNSHIP 46N, RANGE 32W



FINAL DEVELOPMENT PLAN
 105-56
 CUNNINGHAM 2nd PLAT
 COMMUNITY POOL

UTILITY PLAN

NO.	BY	CD.	DATE	ORIGINAL SUBMITTAL	REVISION
BDC	RTD	9-21-17			

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 RIVERSIDE, MISSOURI 64150
 816.800.0950
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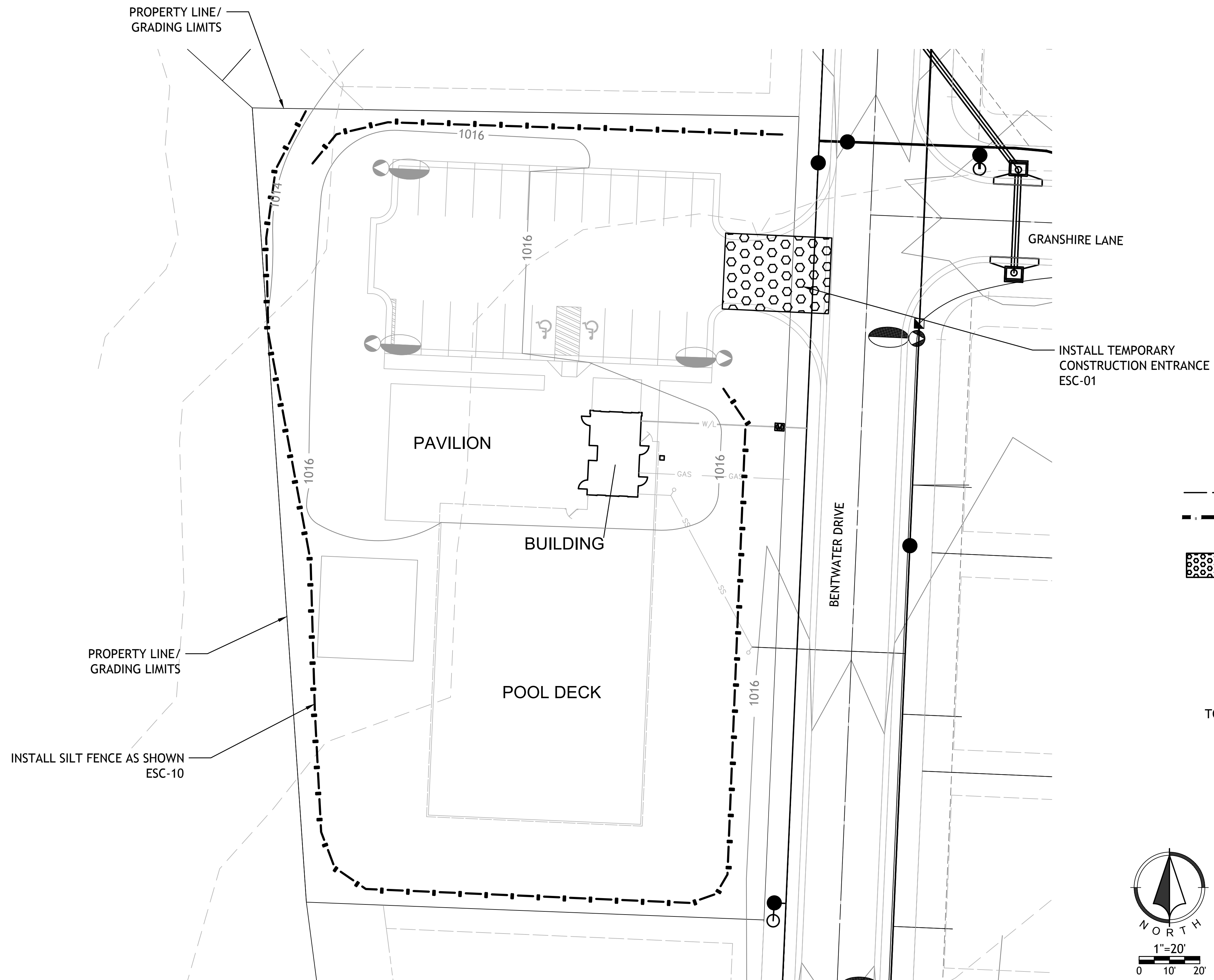
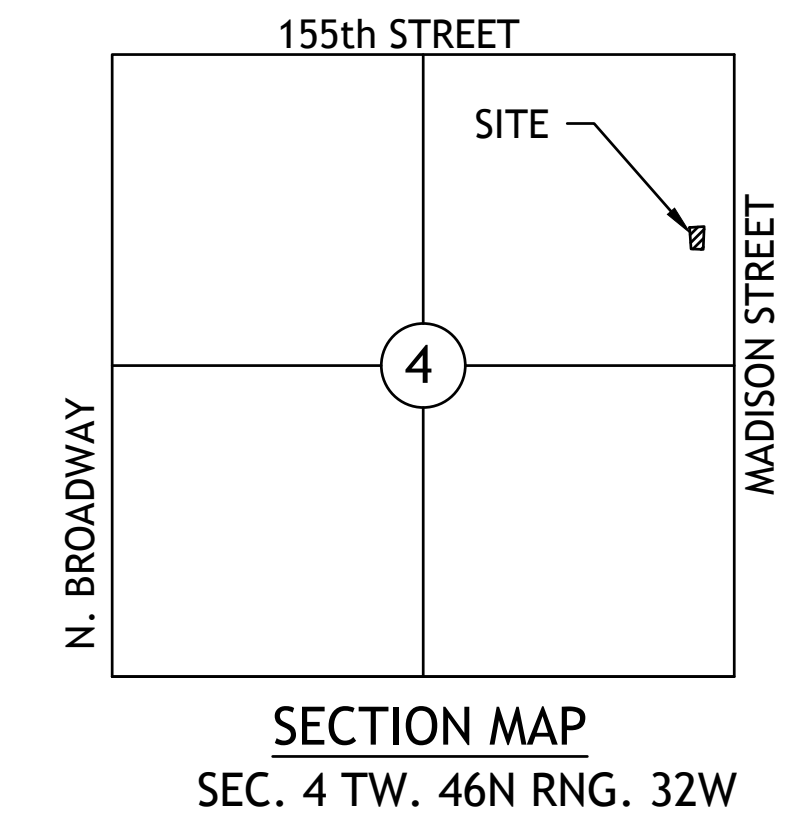
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FINAL DEVELOPMENT PLAN

CUNNINGHAM 2nd PLAT COMMUNITY POOL

BENTWATER DRIVE, RAYMORE, MO 64083
RAYMORE, CASS COUNTY, MISSOURI
SECTION 4, TOWNSHIP 46N, RANGE 32W



LEGEND

- PROPERTY LINE / LIMITS OF GRADING
- SILT FENCE - POST MAX SPACING 8' USE ESC 10 DETAIL
- TEMPORARY CONSTRUCTION ENTRANCE ESC DETAIL-1

TOTAL LENGTH OF SILT FENCE 712'



FINAL DEVELOPMENT PLAN
105-56
CUNNINGHAM 2nd PLAT
COMMUNITY POOL

EROSION CONTROL
PLAN

NO.	BY	DATE	DESCRIPTION
1	BDC	9-21-17	ORIGINAL SUBMITTAL

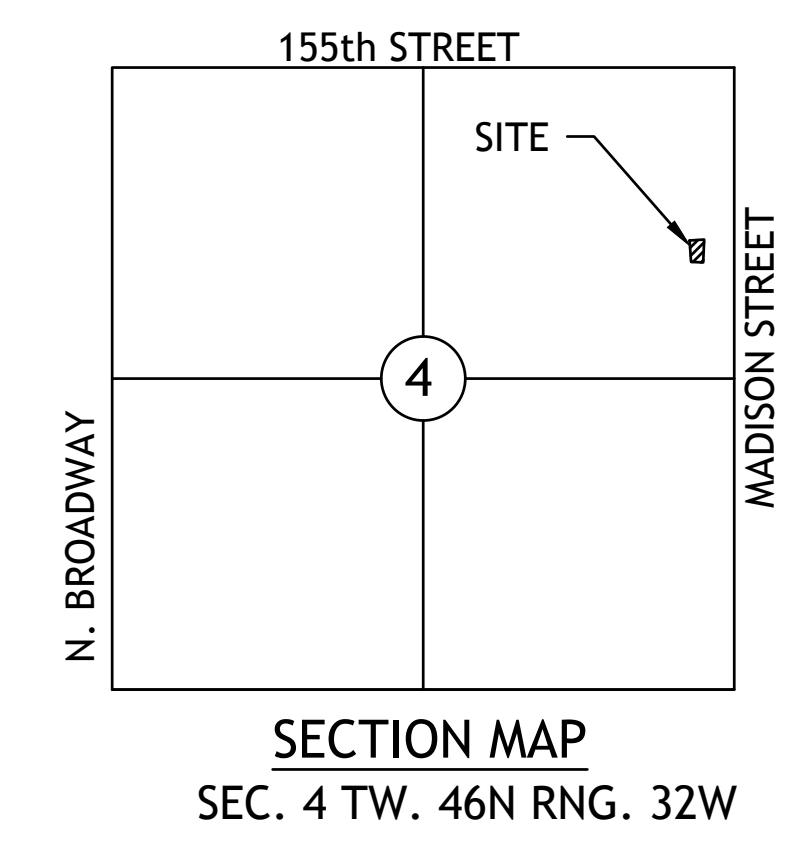
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FINAL DEVELOPMENT PLAN

CUNNINGHAM 2nd PLAT COMMUNITY POOL

BENTWATER DRIVE, RAYMORE, MO 64083
 RAYMORE, CASS COUNTY, MISSOURI
 SECTION 4, TOWNSHIP 46N, RANGE 32W



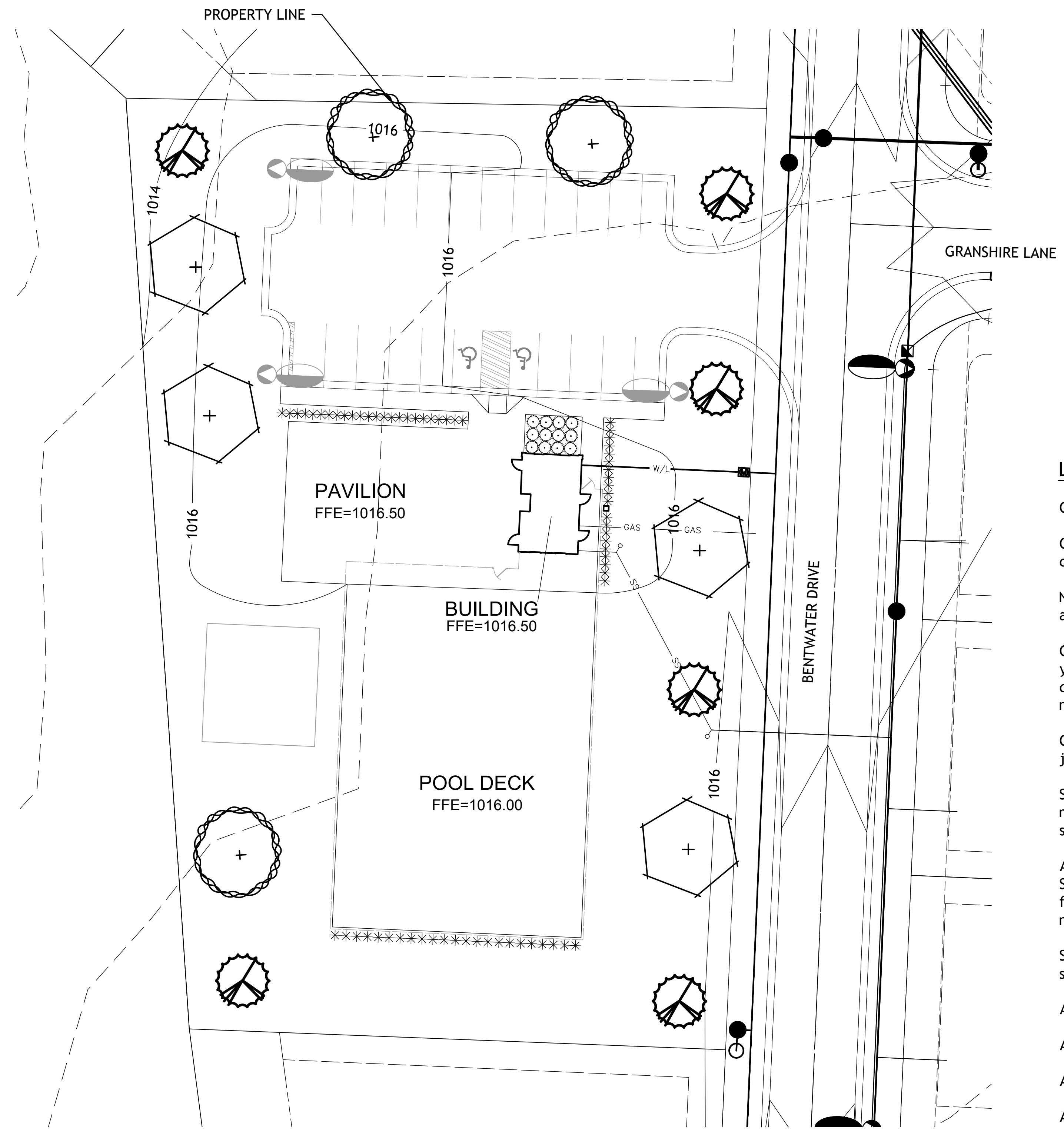
FINAL DEVELOPMENT PLAN
 105-56
 CUNNINGHAM 2nd PLAT
 COMMUNITY POOL

LANDSCAPE PLAN

NO.	BY	DATE	DESCRIPTION
1	BDC	9-21-17	ORIGINAL SUBMITTAL

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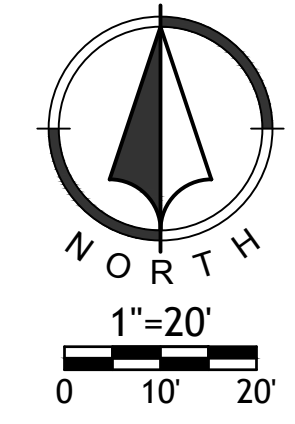


- POTENTIAL EVERGREENS 6' HEIGHT**
 EASTERN RED CEDAR
 WHITE PINE
 CANAERT JUNIPER

- POTENTIAL TREES 2" CALIPER MIN.**
 SWAMP WHITE OAK
 RIVER BIRCH
 RED OAK
 SKYLINE HONEYLOCUST
 SUPERFORM NORWAY MAPLE

- POTENTIAL ORNAMENTAL TREES
 1.5" CALIPER MIN.**
 PRAIRIEFIRE CRABAPPLE
 AMUR MAPLE
 GOLDEN RAINTREE
 FOREST PANSY REDBUD

- POTENTIAL SHRUBS 3 GAL.**
 SEAGREEN JUNIPER
 MORNING LIGHT MAIDEN GRASS
 ANTHONY WATERER SPIREA
 SNOWMOUND SPIREA
 DWARF WINGED EUONYMUS
 FEATHER REED GRASS



LANDSCAPE NOTES

- CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.
- Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.
- No plant material substitutions are allow without Landscape Architect or Owners approval.
- Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.
- Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.
- Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.
- All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.
- Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.
- All shrub beds within lawn areas to receive a manicured edge.
- All shrub beds shall be mulched with 3" of shredded cedar mulch.
- All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.
- All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed blend.

Sep 22, 2017 11:10am
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GENERAL ADA/ HANDICAP NOTES

RESTROOMS

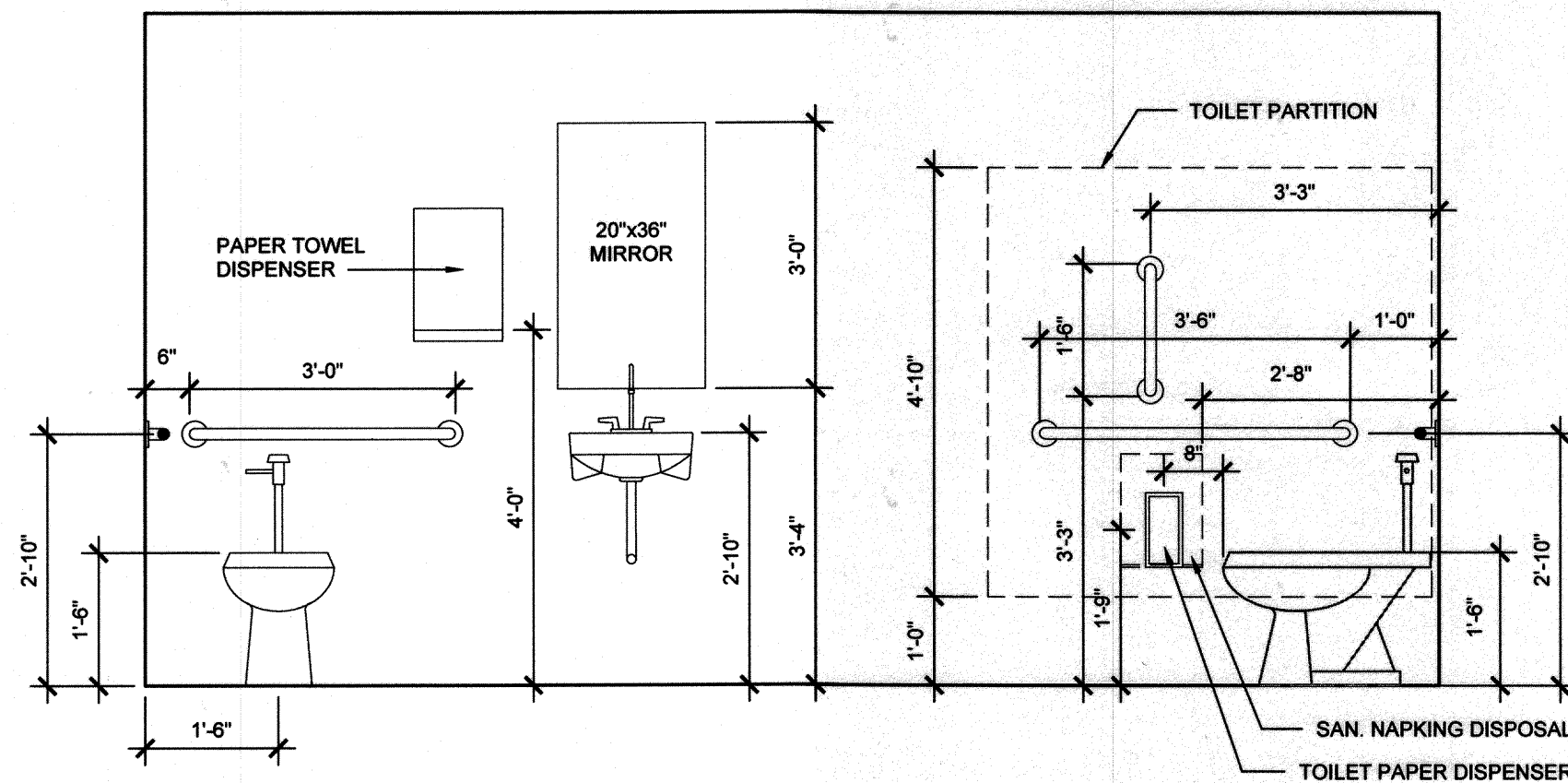
GRAB BARS: MOUNT 42" SIDE GRAB BAR 12" FROM REAR WALL.
 TOILET PAPER DISPENSER: MOUNT 19" MIN. A.F.F. TO CENTER.
 DISPENSER: SLOT @ 48" A.F.F.
 TOILET SEAT: SHALL BE 17"-19" ABOVE FLOOR
 MIRROR: BOTTOM @ 40" A.F.F.
 SINK: RIM @ 34" MAX. A.F.F. CLEAR SPACE OF 29" FLOOR TO APRON.
 • EXPOSED PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED.
 • THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
 NOTE: PROVIDE SOLID WOOD BLOCKING IN WALLS FOR MOUNTINGS OF ALL ACCESSORIES.

ACCESSIBLE RAMP

SLOPE: MAXIMUM SLOPE OR RAMP SHALL NOT EXCEED 1:12
 WIDTH: MIN. CLEAR WIDTH IS 36"
 HANDRAIL: HANDRAIL SHALL BE MOUNTED AT 34" A.F.F. AND SHALL BE PROVIDED ON BOTH SIDES OF RAMP
 LANDING: LANDING SHALL BE 60"x60" CLEAR. PROVIDE MAX. SLOPE 1:50 TO DRAIN.

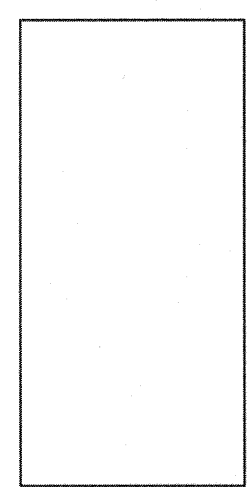
DOORS:

MINIMUM CLEAR OPENING WIDTH OF 32"
 MINIMUM 18" CLEAR WALL SPACE REQUIRED ON THE PULL SIDE.
 ON DOORS W/ CLOSERS, THE MAX. FORCE FOR PUSHING OR PULLING IS 5 LBF.

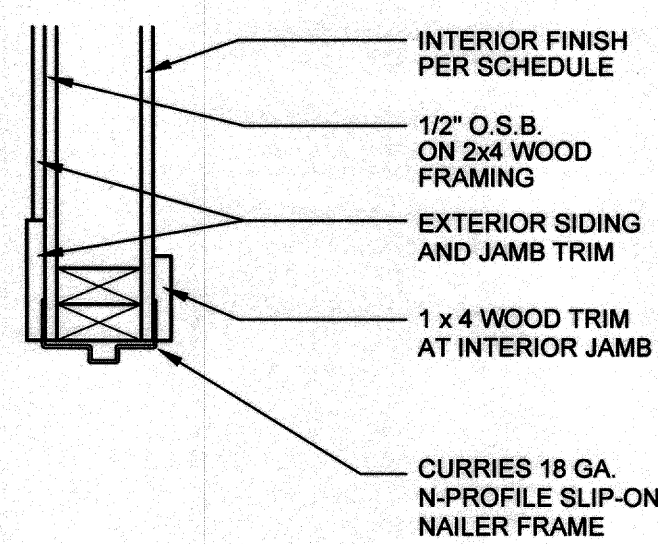


3 TYPICAL MOUNTING HEIGHTS
NO SCALE

DOOR TYPES



DOOR TYPE "A"



2 DOOR JAMB
SCALE: 1-1/2" = 1'-0"

DOOR SCHEDULE

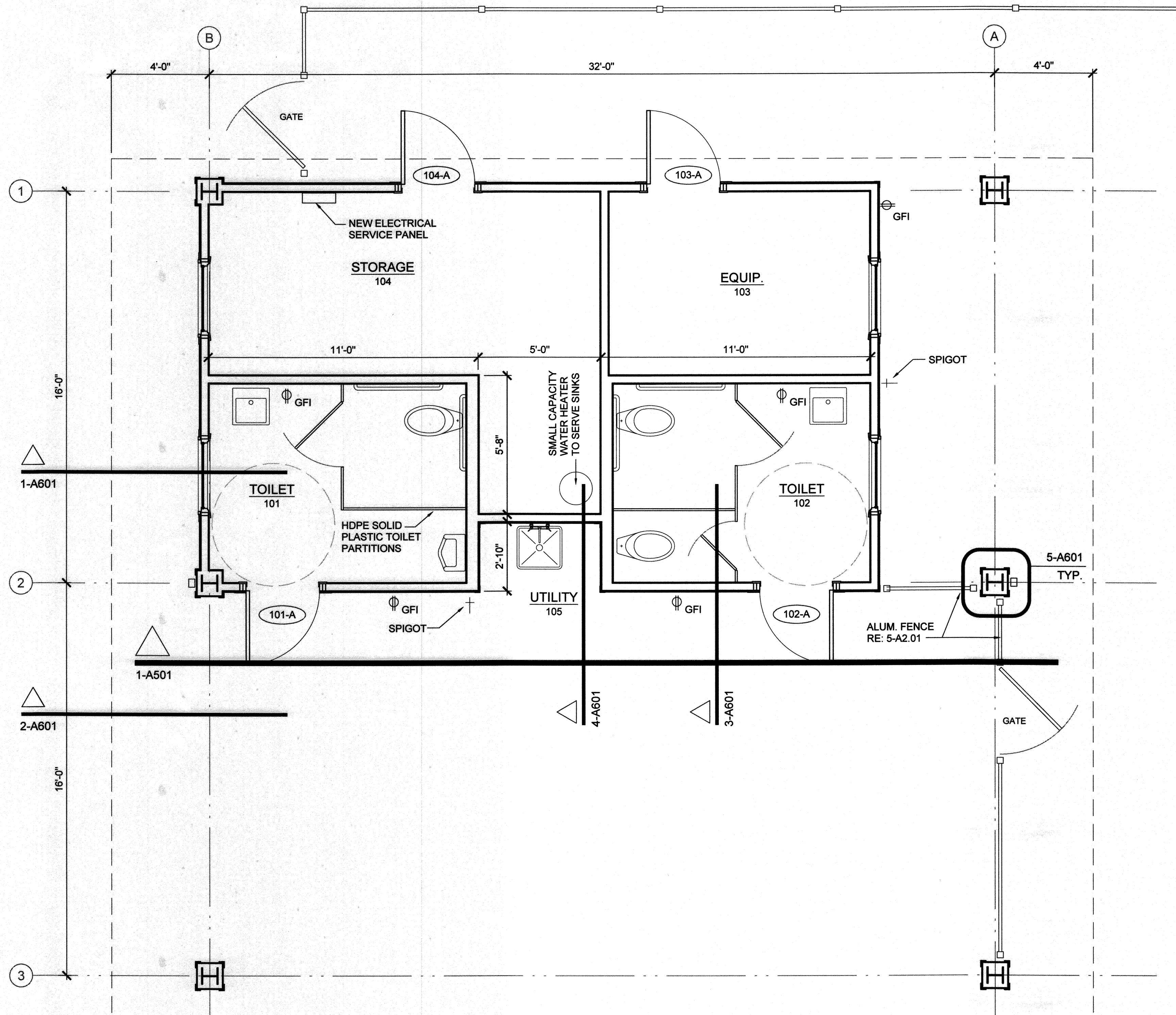
DOOR NUMBER	DOOR SIZE	DOOR			FRAME			HARDWARE						REMARKS	
		TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	BUTTS & HINGES	PRIVACY LOCK	STOREROOM LOCK	LOCK CYLINDER	CLOSER	WALL STOP		FLOOR STOP
101-A	3'-0" x 7'-0" x 1-3/4"	A	H.M.	PAINT	1	H.M.	PAINT	X	X	X	X	X	X	X	
102-A	3'-0" x 7'-0" x 1-3/4"	A	H.M.	PAINT	1	H.M.	PAINT	X	X	X	X	X	X	X	
103-A	3'-0" x 7'-0" x 1-3/4"	A	H.M.	PAINT	1	H.M.	PAINT	X	X	X	X	X	X	X	
104-A	3'-0" x 7'-0" x 1-3/4"	A	H.M.	PAINT	1	H.M.	PAINT	X	X	X	X	X	X	X	

ROOM FINISH LEGEND

FLOOR	SEAL	ACRYLIC CONCRETE PENETRATING SEALER
BASE	WD	WOOD - STAINED
WALL	PAINT-1	PAINT-EPOXY
	FRP	FIBERGLASS REINFORCED PANEL
	GYP-1	MOISTURE-RESISTANT GYPSUM, PAINT
	OSB	ORIENTED STRAND BOARD, NO PAINT
CEILING	PAINT-1	PAINT-EPOXY
	GYP	MOISTURE-RESISTANT GYPSUM
	WD	WOOD DECKING

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	TYPE	BASE		FLOOR		WALLS		CEILING			REMARKS
			SURFACE	FINISH	SURFACE	FINISH	SURFACE	FINISH	HEIGHT			
101	TOILET	WD.	CONC	SEAL	GYP	FRP/ PAINT -1	GYP	PAINT-1	10'-0" +/-		FRP TO 5'-0" A.F.F.	
102	TOILET	WD.	CONC	SEAL	GYP	FRP/ PAINT -1	GYP	PAINT-1	10'-0" +/-		FRP TO 5'-0" A.F.F.	
103	POOL EQUIP.	WD.	CONC	SEAL	GYP	FRP	WD	SEAL			FRP TO 10'-0" A.F.F.	
104	STORAGE	WD.	CONC	SEAL	OSB	-	WD	SEAL				
105	UTILITY	-	CONC	SEAL	SIDING	-	WD	SEAL				
106	PATIO	-	CONC	SEAL	SIDING	-	WD	SEAL				



1 ENLARGED PLAN
SCALE: 3/8" = 1'-0"

NOTE:
ELECTRIC SERVICE CAPACITY TO BE COORDINATED WITH SWIMMING POOL INSTALLER.

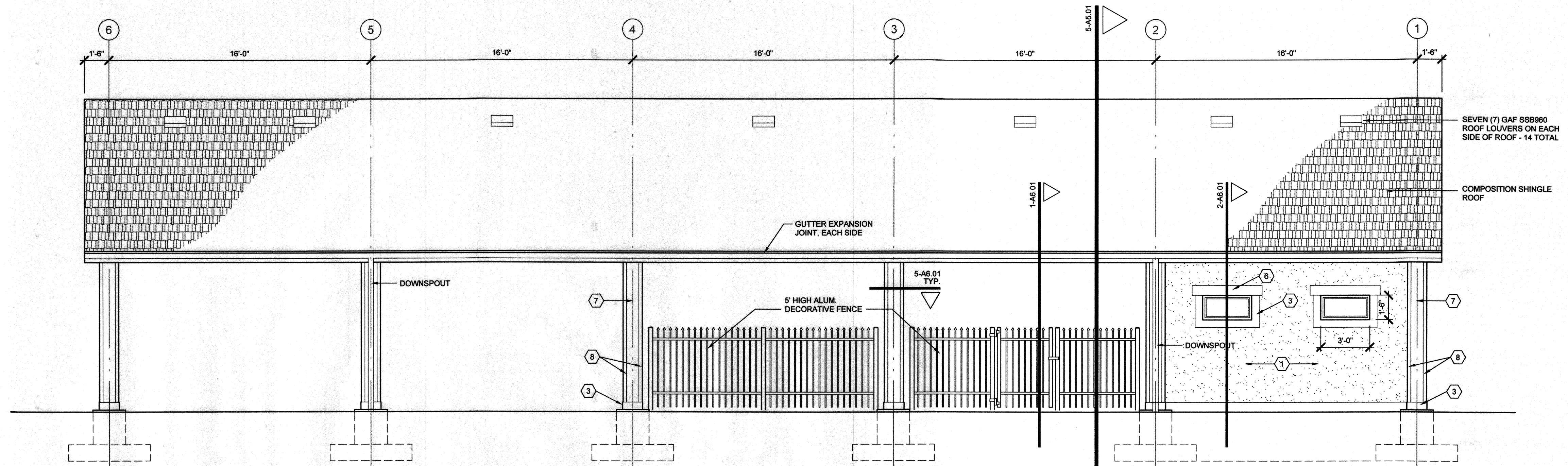
FS&L Architects
ARCHITECTS/PLANNERS
1600 Genessee St., Suite 837, Kansas City, MO 64102
Tel: 816-421-4133

DRAWN BY: GL	DATE: 08/04/2017
CHKD BY:	DATE:
APPROVED BY:	DATE:
PROJECT NUMBER:	

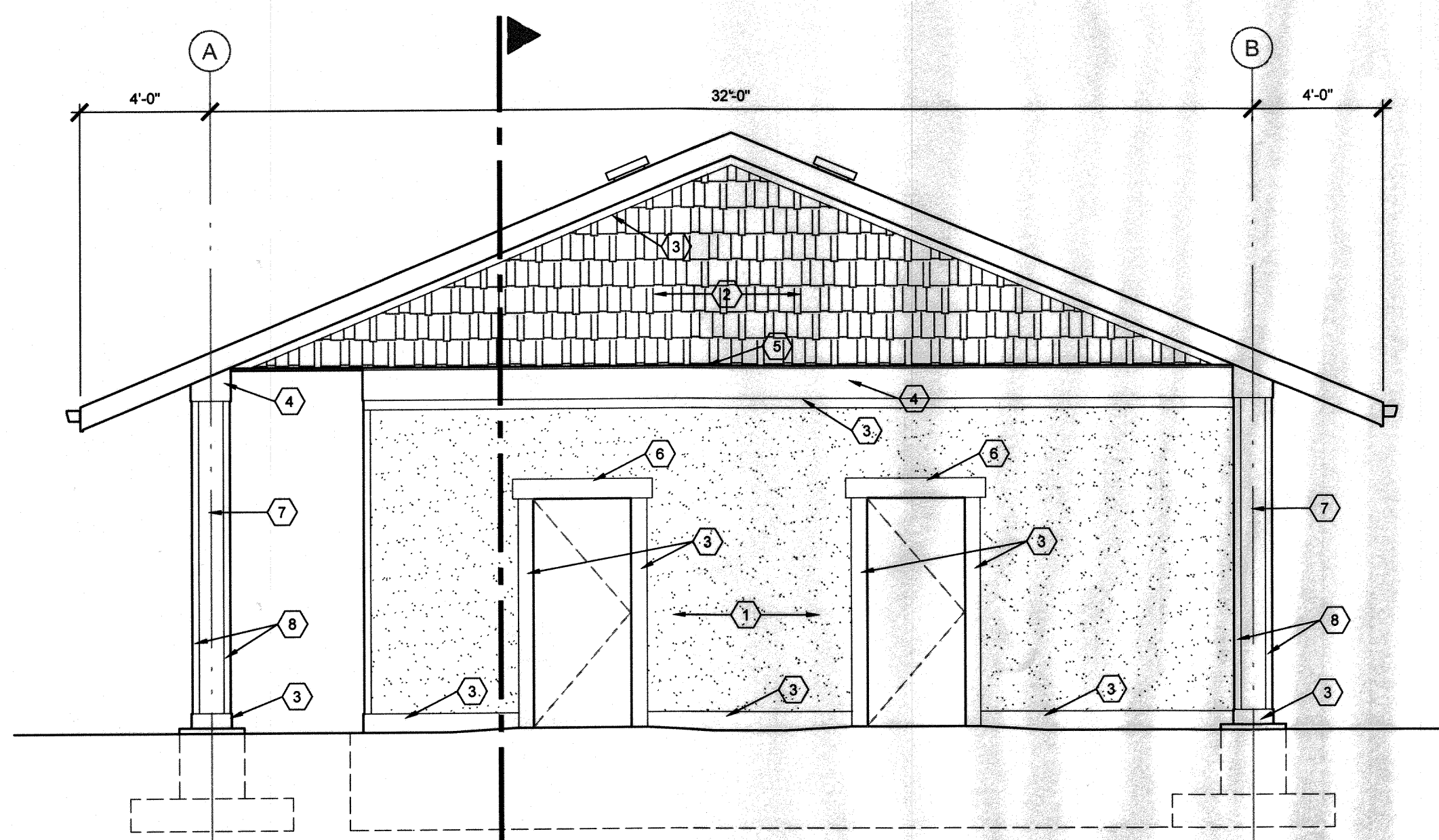
CUNNINGHAM POOL & PAVILION

GRANSHIRE LANE & BENTWATER DRIVE
RAYMORE, MISSOURI

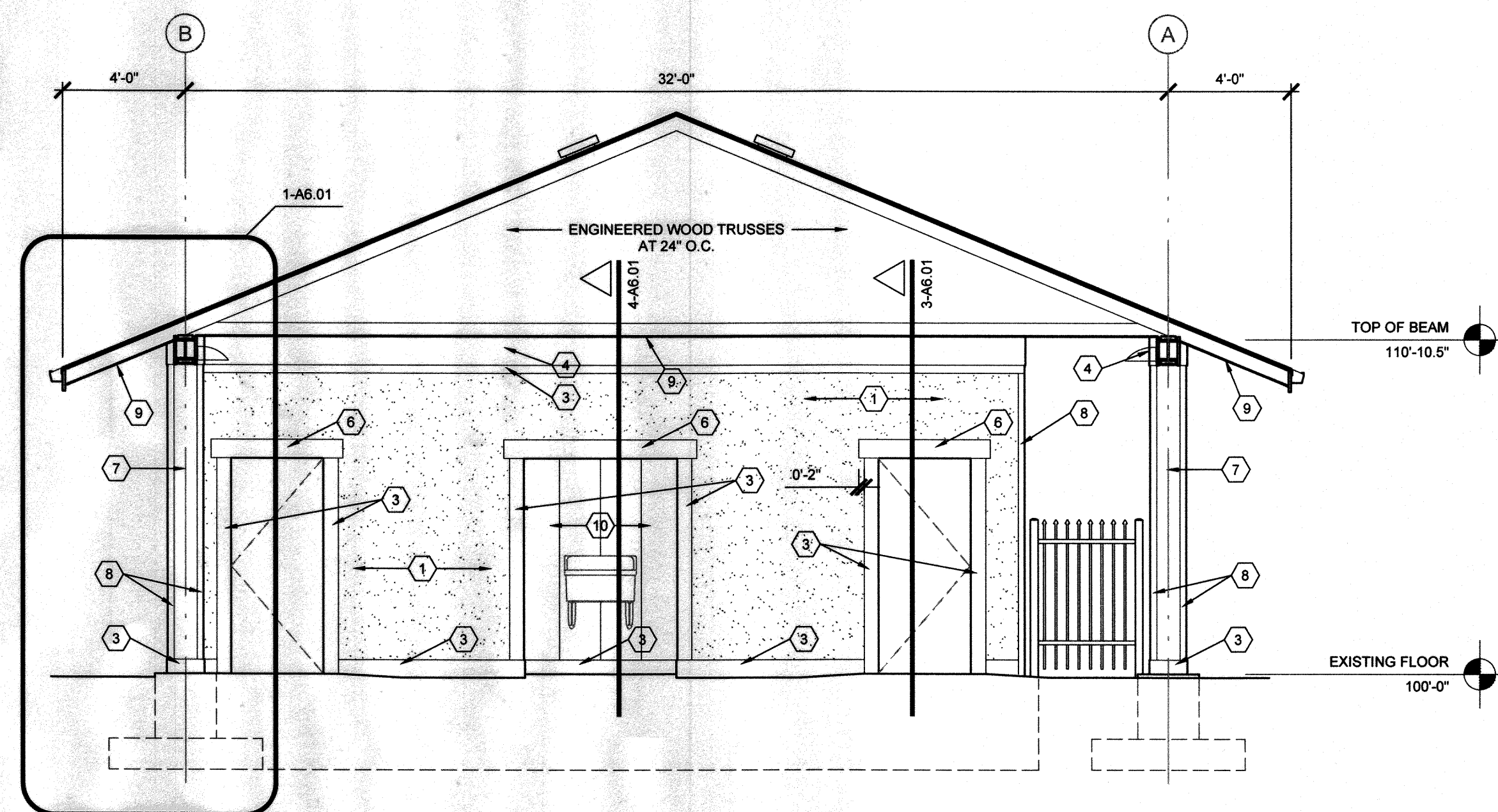
A4.01
COPYRIGHT 2017 FS&L ARCHITECTS



3 NORTH ELEVATION SIMILAR, OPPOSITE HAND
SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 **EAST ELEVATION**
 SCALE: 1/4" = 1'-0"



1 **PAVILION SECTION**
 SCALE: 1/4" = 1'-0"

SCHEDULE
 LP SMARTSIDE TRIM & SIDING

- 1 STUCCO
- 2 CEDAR TEXTURE SHAKES STAGGERED
- 3 440 SERIES TRIM - 3.5"
- 4 540 SERIES TRIM - 11.21"
- 5 540 SERIES TRIM - 1.5"
- 6 540 SERIES TRIM - 7.21"
- 7 38 SERIES VERTICAL SIDING
- 8 190 SERIES TRIM - 2.5"
- 9 38 SERIES SOFFIT - 11.94"
- 10 38 SERIES VERTICAL SIDING - 11.94"

FS&L Architects
 ARCHITECTS/PLANNERS
 1600 Genessee St., Suite 837, Kansas City, MO 64102
 Tel: 816-421-4133

DRAWN BY	GL	DATE	08/04/2017
CHKD BY		DATE	
APPROVED BY		DATE	
PROJECT NUMBER			

**CUNNINGHAM
 POOL &
 PAVILION**

GRANSHIRE LANE &
 BENTWATER DRIVE
 RAYMORE, MISSOURI

A5.01

2017 UDC ANNUAL UPDATE - OUTSTANDING DISCUSSION ITEMS

- Section 405.040D of the Unified Development Code is hereby repealed in its entirety and re-enacted as follows:

A. Keeping of Animals

- Cattle, cows, horses, sheep, goats and similar domestic animals are permitted in the A and RE districts only.
- Chickens and similar fowl are permitted in the A and RE districts, and in the R-1 district upon properties of at least three acres in size.
- In the RE and R-1 (3-acre minimum lot size) district, maximum number of animals permitted per grazing acre, excluding building coverage, ponds and yard area around the principal dwelling, are:
 - 1 head of cattle; or
 - 2 sheep; or
 - 2 goats; or
 - 2 horses.

Limits for other animals not enumerated herein shall be determined based upon type or size of animal.

Note: The minimum lot size for the RE district is 3 acres. If land is zoned R-1 and is at least 3 acres in size it is reasonable that chickens and similar fowl be allowed.

- Section 485.010 of the Unified Development Code is hereby amended as follows:

Term	Definition
Dwelling, Accessory, Attached	A type of accessory dwelling that is physically attached to, and/or located within, the existing structure on the lot.
Dwelling, Accessory, Detached	A type of accessory dwelling unit that is built separate from the existing structure, or above an existing accessory structure such as a detached garage.

Note: Definitions to be added to clarify proposed code language regarding accessory dwelling units.

- Section 405.020H of the Unified Development Code is hereby repealed in its entirety and re-enacted as follows:

Use	A	RE	RR	R-1A	R-1	R-1.5	R-2	R-3	R-3A	R-3B	PR	Use Standard
RESIDENTIAL USES												
Household Living												
—Accessory Dwelling	P	P	P	-	-	-	-	-	-	-	-	Section 420.050E
Accessory Dwelling, Attached	P	P	P	P	P	P	-	-	-	-	-	Section 420.050E
Accessory Dwelling, Detached	P	P	P	S	S	S	-	-	-	-	-	Section 420.050E

Note: Amendment would allow an accessory dwelling units in most residential zoning districts provided certain size and design requirements are met.

- Section 420.050E of the Unified Development Code is hereby repealed in its entirety and re-enacted as follows:

E. Accessory Dwelling (*Amendment 18 – Ordinance 2014-006 2.10.14*)

All accessory dwellings must meet the following requirements:

1. There shall be only one accessory dwelling per lot
2. An accessory dwelling may be located within an existing residential structure or a detached structure.
3. ~~In RR zoning only, The accessory dwelling shall not exceed the square footage of the primary dwelling on the lot.~~
4. The accessory dwelling unit shall be limited to 60% of the total square footage of the existing structure, but shall not exceed 1,000 square feet.
5. ~~In RR zoning only,~~ the accessory dwelling structure shall not exceed the height or size of the primary existing structure on the lot.
6. An accessory dwelling shall comply with all requirements of the International One and Two-Family Dwelling Code adopted by the City of Raymore.
7. The accessory dwelling structure shall comply with all development standards for the applicable zoning district in which it is located.
8. Either the primary existing or accessory dwelling shall be occupied by the property owner at any time the accessory dwelling is occupied.
9. ~~If the accessory dwelling is located in an accessory structure, the~~ Detached accessory dwelling units shall be connected to the public water main separate from the connection of the primary structure.
10. ~~If the accessory dwelling is located in an accessory structure, and said structure is located within three hundred (300) feet of a public sanitary sewer line, then the dwelling must be connected to the sewer line.~~
11. Detached accessory dwellings shall be connected to the to sanitary sewer line, or to an approved septic or similar system.
12. The accessory dwelling unit shall be architecturally consistent with the design of the existing structure on the lot.
13. The entrance to attached accessory dwelling units shall be subordinate to that of the existing structure, and shall be less visible from the street than the main entrance of the existing dwelling unit.

TOPICS FOR DISCUSSION:

- Parking requirements for attached/detached ADUs
 - Number of parking spaces required
 - Location of parking spaces
- Lot coverage requirements
 - 8% max for accessory structures
 - Max building coverage
 - Attached vs. Detached
 - Front yard landscaping/impervious requirements

Note: Amendment would establish size and design requirements for accessory dwelling units.

- Section 420.0701 of the Unified Development Code is hereby repealed in its entirety and re-enacted as follows:

A. Solar Energy Systems

Solar energy systems shall be a permitted accessory use in all districts subject to compliance with the following requirements:

- ~~1.~~ Roof-mounted systems located on front building roofs shall not project more than 24 inches perpendicular to the point on the roof where it is mounted.
- ~~2.~~ Roof-mounted systems shall not project above the ridge of a gabled or gambrel roof.
- ~~3.~~ Roof-mounted systems shall not project more than four feet above the deck or parapet of a flat or mansard roof. All mounting hardware shall be screened from view according to Section 430.120A.
- ~~4.~~ Ground-mounted systems shall not be located in any required yard.
- ~~5.~~ Ground-mounted systems on lots under 1 acre shall not be higher than 8 feet.
- ~~6.~~ Solar collectors designed as part of an accessory structure such as an awning or canopy shall conform to the standards for that structure.
- ~~7.~~ Appurtenant components must be located within an enclosed structure or screened according to Section 430.120.

1. Roof Mounted and Wall Mounted Solar Energy Systems:

- a.** Roof mounted and wall mounted Solar Energy Systems may be mounted or located on a principal or accessory building.
- b.** Roof-mounted systems located on front building roofs shall not project more than 24 inches perpendicular to the point on the roof where it is mounted.
- c.** Roof-mounted systems shall not project above the ridge of a gabled or gambrel roof.
- d.** The total height of any building equipped with an Solar Energy System shall not exceed more than 24 inches above the maximum building height specified for principal or accessory buildings within the applicable underlying zoning district.
- e.** Applications for roof and wall mounted solar energy systems shall be accompanied by evidence and information regarding the strength of the structure in which the system will be attached.
- f.** Construction, modification, and/or reinforcement of the structure in which the system will be attached must be in compliance with all applicable codes.
- g.** In commercially zoned districts only, appurtenant components of wall mounted or roof mounted solar energy systems must be located within an enclosed structure or screened according to Section 430.120.

2. Ground Mounted Solar Energy Systems:

- a.** In the front and side yard area, ground mounted solar energy systems must meet the minimum front and side yard setback for principal buildings within the underlying zoning district.
- b.** In the rear yard, ground mounted solar energy systems must provide a minimum side and rear setback of 5 feet.
- c.** Ground mounted solar energy systems are prohibited from encroaching into any approved utility easement or right-of-way, or, being placed within any stormwater management system.
- d.** Freestanding ground mounted solar energy systems shall not exceed the maximum allowable building height within the applicable underlying zoning district.
- e.** Total coverage of a lot with a ground mounted solar energy system shall not exceed fifty (50) percent of the lot, or the maximum allowable lot coverage for the underlying zoning district, whichever is less.

- f.** The area beneath the ground mounted solar energy system is considered pervious. However, any use of impervious construction materials for the purposes of a foundation system is subject to the requirements found in Section 430.020A.
- g.** Ground mounted solar energy systems shall be accompanied by appropriate safety/warning signage, and shall be safely secured to prevent unauthorized access or entry
- h.** In commercially zoned districts only, appurtenant components of ground mounted solar energy systems must be located within an enclosed structure or screened according to Section 430.120.

Note: Amendment provides clarification of the requirements for new solar energy systems in the City.

MONTHLY REPORT AUGUST 2017

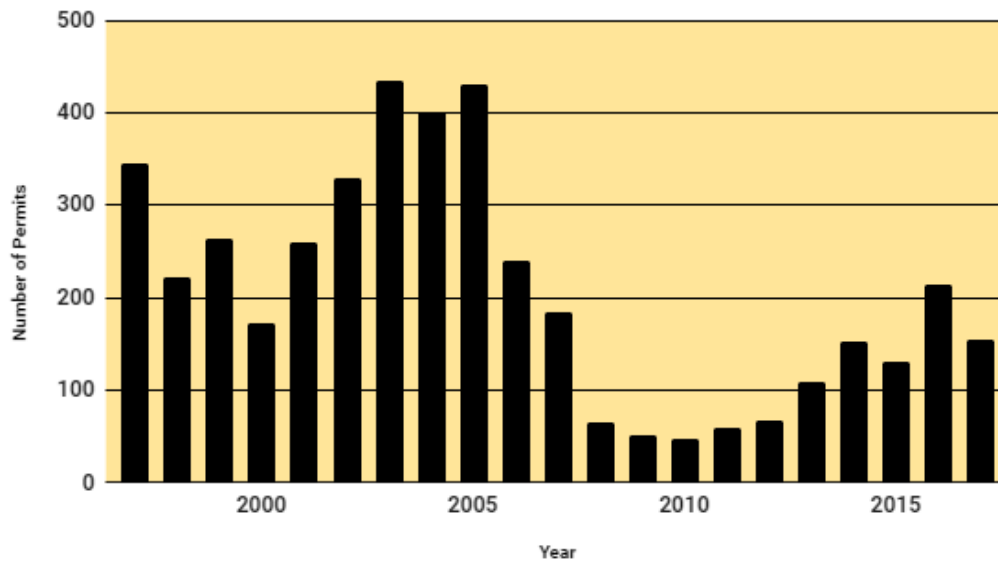
Building Permit Activity

Type of Permit	Aug 2017	2017 YTD	2016 YTD	2016 Total
	+			
Detached Single-Family Residential	19	135	138	201
Attached Single-Family Residential	0	20	14	14
Multi-Family Residential	0	0	0	0
Miscellaneous Residential (deck; roof)	40	319	340	458
Commercial - New, Additions, Alterations	1	23	16	26
Sign Permits	3	41	37	63
Inspections	Aug 2017	2017 YTD	2016 YTD	2016 Total
Total # of Inspections	631	4,569	4,077	6,354
Valuation	Aug 2017	2017 YTD	2016 YTD	2016 Total
Total Residential Permit Valuation	\$4,484,200	\$29,910,700	\$35,125,100	\$50,026,600
Total Commercial Permit Valuation	\$55,000	\$3,441,300	\$815,600	\$6,899,389

Additional Building Activity:

- In the Raymore Marketplace, Qdoba restaurant has opened and Firehouse Subs continues work on interior tenant finish
- Work is completed for remodeling work at Eagle Glen and Bridle Ridge schools
- Interior renovations continue for West Central Missouri Community Action Agency to relocate its offices to the former Cumberland Plaza building at 208 W. Walnut Street
- Building construction plans were submitted for the proposed Discover Vision Center building to be located at 1018 W. Foxwood Drive.

Single Family Building Permits



Code Enforcement Activity

Code Activity	Aug 2017	2017 YTD	2016 YTD	2016 Total
Code Enforcement Cases Opened	56	386	191	424
<i>Notices Mailed</i>				
- Tall Grass/Weeds	28	130	121	227
- Inoperable Vehicles	7	70	25	42
- Junk/Trash/Debris in Yard	8	51	14	65
- Object placed in right-of-way	3	17	0	7
- Parking of vehicles in front yard	6	72	7	48
- Exterior home maintenance	1	39	5	16
- Other (trash at curb early; signs; etc)	3	7	19	19
Properties mowed by City Contractor	9	45	34	68
Abatement of violations (silt fence repaired; trees removed; stagnant pools emptied; debris removed)	0	7	0	1
Signs in right-of-way removed	7	212	120	299
Violations abated by Code Officer	12	69	n/a	12

Development Activity

Current Projects

- Heritage Hills Lots 158 thru 175 rezoning, R-1 to R-2
- Replat of Prairie View of The Good Ranch, 65-lot single-family subdivision

	As of Aug 31, 2017	As of Aug 31, 2016	As of Aug 31, 2015
Homes currently under construction	238	238	181
Total number of Undeveloped Lots Available (site ready for issuance of a permit for a new home)	490	686	806
Total number of dwelling units in City	8,111	7,893	7,733

Actions of Boards, Commission, and City Council

City Council

August 7, 2017 work session

- Discussed an amendment to the Property Maintenance Code to incorporate provisions on hoarding

August 14, 2017

- Recognized Chairman Faulkner with the Missouri Municipal League Civic Leadership Award
- Approved on 2nd reading the award of contract for the 2017 sidewalk program (includes installation of sidewalk on 6 undeveloped lots)
- Approved on 1st reading the 25th amendment to the Unified Development Code

August 28, 2017

- Approved on 2nd reading the 25th amendment to the Unified Development Code
- Approved on 1st reading the rezoning of Heritage Hills Lots 158 thru 175 from R-1 to R-2
- Approved on 1st reading the renaming of streets in Heritage Hills Lots 136 thru 157 and 158 thru 175
- Approved a one-year extension to the expiration date of the Brookside South Preliminary Plat

Planning and Zoning Commission

August 1, 2017

- Tabled discussion of the G & G Storage Site Plan until the August 15th meeting

August 15, 2017

- Approved the site plan for G & G Storage to located at 308 E. Walnut Street
- Recommended approval of the rezoning of Heritage Hills Lots 158 thru 175 from R-1 to R-2

Upcoming Meetings – September & October**September 5, 2017 Planning and Zoning Commission**

- Meeting cancelled

September 11, 2017 City Council

- 2nd reading - Heritage Hills rezoning Lots 158 thru 175
- 2nd reading - Renaming of streets in Heritage Hills

September 19, 2017 Planning and Zoning Commission

- 1st reading - Replat of Prairie View of The Good Ranch
- 2018-2022 Capital Improvement Program (public hearing)

September 25, 2017 City Council

- 1st reading - Replat of Prairie View of The Good Ranch
- Public hearings to determine if City will install sidewalk upon undeveloped lots (4 lots)

October 3, 2017 Planning and Zoning Commission

- Discussion items - Solar Energy; Accessory Dwelling Units; Animals on Residential Lots

October 9, 2017 City Council

- 2nd reading - Replat of Prairie View of The Good Ranch

October 17, 2017 Planning and Zoning Commission

- No applications currently scheduled

October 23, 2017 City Council

- No development applications currently scheduled

Department Activities

- GIS Coordinator Heather Eisenbarth participated in the 2017 National Geospatial Preparedness Summit in Alabama showcasing work she has completed for Raymore.

- Director Jim Cadoret participated in the Missouri Chapter of the American Planning Association symposium on "Taking Back Neighborhoods Holistically: A Revitalization Success Story" held in Kansas City.
- GIS Coordinator Heather Eisenbarth participated in the Kansas City Metro GIS meeting.
- Director Jim Cadoret participated in the Longview Area Plan Steering Committee meeting.
- Building construction plans were submitted by Starbucks to locate a store inside of the Price Chopper.
- Building Official Jon Woerner completed review of construction plans for Discover Vision Center to locate a facility at 1018 W. Foxwood Drive.
- Associate Planner David Gress continued work on data collection as part of the City's application for recognition as a Walk Friendly Community. Several City departments and outside organizations are assisting in the data collection efforts.
- Building Inspector Ty Erickson attended the 2017 Annual Conference of the Missouri Association of Code Enforcement at Lake Ozark.
- The Planning and Zoning Commission cancelled its Sept. 5 meeting. The next meeting will be held on Sept. 19.
- Staff filed special assessments with the Cass County Collector on properties wherein the City abated a property maintenance code violation but the invoice remains unpaid.
- Raymore achieved Silver Level recognition under the Solsmart program, a national program recognizing communities that are "open for solar business". Raymore is one of only 58 communities in the Country that have received recognition. Staff continues efforts to achieve Gold level recognition.

GIS Activities

- Participated in training exercise hosted by the NAPSG Foundation
- KC Metro GIS - E911, LUCA, MARC Data Sharing & Overland Park, KS demonstration of products/services
- Cartographic data development - street pavement, intersections & traffic signals
- Modification of content & capability to support current/future projects
- Addressing/street naming coordination for subdivisions, sites & utilities
- Responded to requests for information products
- Support for garbage contract logistical operations
- Database server administration, updates & quality management
- Review of proposals for regional acquisition of data & imagery
- Build capacity of web services for spatial analysis