



# RAYMORE PLANNING AND ZONING COMMISSION AGENDA

**Tuesday, May 2, 2017 - 7:00 p.m.**

City Hall Council Chambers  
100 Municipal Circle  
Raymore, Missouri 64083

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Personal Appearances - None
5. Consent Agenda
  - a. Acceptance of Minutes from April 18, 2017 meeting
6. Old Business
  - a. Case # 17013 - 104 E Olive Street - Waiver of Design Requirements (*public comment*)
7. New Business - None
8. City Council Report
9. Staff Report
10. Public Comment
11. Commission Member Comment
12. Adjournment

*Any person requiring special accommodation (i.e. qualified interpreter, large print, hearing assistance) in order to attend this meeting, please notify the City Clerk at (816) 331-0488 no later than forty-eight (48) hours prior to the scheduled commencement of the meeting.*

## **MEETING PROCEDURES**

### **The following rules of conduct apply:**

1. Public can only speak during the meeting under the following circumstances:
  - a. The citizen has made a formal request to the Community Development Department to make a personal appearance before the Planning Commission; or,
  - b. A public hearing has been called by the Chairman and the Chairman has asked if anyone from the public has comments on the application being considered; or
  - c. A citizen may speak under Public Comment at the end of the meeting.
2. If you wish to speak to the Planning Commission, please proceed to the podium and state your name and address. Spelling of your last name would be appreciated.
3. Please turn off (or place on silent) any pagers or cellular phones.
4. Please no talking on phones or with another person in the audience during the meeting.
5. Please no public displays, such as clapping, cheering, or comments when another person is speaking.
6. While you may not agree with what an individual is saying to the Planning Commission, please treat everyone with courtesy and respect during the meeting.

### **Every application before the Planning Commission will be reviewed as follows:**

1. Chairman will read the case number from the agenda that is to be considered.
2. Applicant will present their request to the Planning Commission.
3. Staff will provide a staff report.
4. If the application requires a public hearing, Chairman will open the hearing and invite anyone to speak on the request.
5. Chairman will close the public hearing.
6. Planning Commission members can discuss the request amongst themselves, ask questions of the applicant or staff, and may respond to a question asked from the public.
7. Planning Commission members will vote on the request.

THE **PLANNING AND ZONING COMMISSION** OF THE CITY OF RAYMORE, MISSOURI, MET IN REGULAR SESSION **TUESDAY, APRIL 18, 2017** IN THE COUNCIL CHAMBERS OF CITY HALL, 100 MUNICIPAL CIRCLE, RAYMORE, MISSOURI WITH THE FOLLOWING COMMISSION MEMBERS PRESENT: CHAIRMAN WILLIAM FAULKNER, DON MEUSCHKE, KELLY FIZER, CHARLES CRAIN, LEO ANDERSON, JOSEPH SARSFIELD AND MAYOR KRISTOFER TURNBOW. ABSENT WAS ERIC BOWIE. ALSO PRESENT WERE COMMUNITY DEVELOPMENT DIRECTOR JIM CADORET, ASSOCIATE PLANNER DAVID GRESS, ASSISTANT PUBLIC WORKS DIRECTOR ED IEANS AND CITY ATTORNEY REPRESENTATIVE MIKE FLEMING.

1. **Call to Order** – Chairman Faulkner called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance**
3. **Roll Call** – Roll was taken and Chairman Faulkner declared a quorum present to conduct business.
4. **Personal Appearances** – None
5. **Consent Agenda**
  - A. **Acceptance of minutes of March 21, 2017 meeting.**

**Motion by Commissioner Anderson, Seconded by Commissioner Fizer to accept the consent agenda.**

**Vote on Motion:**

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Bowie	Absent
Commissioner Crain	Aye
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Sarsfield	Abstain
Mayor Turnbow	Abstain

**Motion passed 5-0-2.**

6. **Old Business** – None
7. **New Business**

Chairman Faulkner indicated it was requested that since there are people in the audience for the 2nd case of new business that he would ask for a motion to change the order of new business on the agenda.

**Motion by Commissioner Anderson, Seconded by Commissioner Meuschke to change the agenda for new business and hear Case #17013 first.**

**Vote on Motion:**

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Bowie	Absent
Commissioner Crain	Aye
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Sarsfield	Aye
Mayor Turnbow	Aye

**Motion passed 7-0-0.**

**a. Case #17013 – 104 E. Olive Street - Waiver of Design Requirements**

Justin Maynard, True Vision Construction LLC, presented his request to the Commission. Mr. Maynard indicated he is requesting a waiver from the design requirements for a home he is proposing to build at 104 E. Olive Street in the Original Town neighborhood. The home would have a front-loaded garage with the doors flush with the front of the home. The reason for the request is that the alley to the west of this home does not exist and there are power lines and landscaping in the alley right-of-way and it really limits what can be done to provide a drive there.

David Gress, Associate Planner, presented the staff report. Mr. Gress indicated the staff report includes site pictures that reflect there is not an alley existing at this time though right-of-way is present for an alley. The property to the west is zoned commercial with all other surrounding zoning being residential. The requirement requested to be waived is that the garage must be at least eight feet behind the front of the home, or the garage must be side-loading or rear-loading. The requirement came out of the Original Town Neighborhood Plan that was developed for the neighborhood.

Mr. Gress indicated the home that previously existed on the property was ordered by the City to be demolished and has been removed. The home occupied three narrow lots that fronted on Franklin Street. The property owner replatted the lots and created two lots with frontage off of Olive Street.

Mr. Gress stated the purpose of the Original Town Overlay District is to preserve and enhance the historic character of the neighborhood.

Mr. Gress stated the staff report does include pictures of the surrounding homes, including the home at 105 E. Olive Street, which is directly across the street from the subject property and contains a split level home that is similar to what is being proposed for the subject property.

Mr. Gress indicated that staff recommends the Commission deny the request to waive the design requirement.

Chairman Faulkner asked Mr. Fleming, who is standing in for City Attorney Jonathan Zerr this evening, of the appeal process for the request before the Commission this evening.

Mr. Fleming stated the appeal would be to the Circuit Court.

Jim Cadoret, Community Development Director, stated he agreed with Mr. Fleming. The Unified Development Code does not establish an appeal to City Council on the request currently being considered.

Mayor Turnbow asked staff for clarification on the Original Town Overlay District as to why a Good Neighbor meeting is not held as part of the request.

Mr. Cadoret stated the UDC is silent on requiring a Good Neighbor meeting or public hearing on a request of this nature. The Original Town Plan was a document that directed the establishment of the overlay district, but did not provide guidance on the procedures that would be utilized. Staff did not want to go beyond the authority and directive of the UDC and schedule a public hearing on the request before the Commission. The Commission could certainly direct staff at this point to notify neighbors of the request and hold a hearing.

Commissioner Fizer asked the applicant if there was a particular buyer for the home.

Mr. Maynard stated the original owner of the property contacted him for assistance. True Vision helped the owner tear down the house and has been working with the owner to create the two lots

and build two homes. There is not a specific buyer for this home. The lot to the east at 106 E. Olive Street will have a side-entry garage.

Commissioner Sarsfield asked if the garage would be attached or a separate building.

Mr. Maynard stated the garage is attached to the home.

Chairman Faulkner commented that he drove through the neighborhood and observed that there is a lot of diversity of homes. There are homes with many different garages and some homes without garages. He indicated he observed many vacant lots with opportunities for new homes. He also indicated that the home across the street is a similar style home.

Mr. Maynard stated the house at 105 E. Olive is the same style of home, but our home will have stone and decorative windows on the garage door so it will have an upgraded appearance.

Mr. Gress agreed there is a large diversity of housing in the neighborhood. The design requirements were adopted to help guide new home construction and expressed concern on what will happen for new construction if this request is approved.

Commissioner Crain stated he agreed with Chairman Faulkner and wished there was a Good Neighbor meeting and to hear from the neighbors. Mr. Crain stated he would be in favor of tabling the request until we hear from the neighbors.

Chairman Faulkner agreed hearing from the neighbors would be helpful.

Mr. Cadoret stated that staff is working on the annual review of the UDC and staff will incorporate a change that would allow for a hearing in the future on this type of request.

Commissioner Crain stated we could allow the applicant to go to the neighbors and seek their input and provide that information back to the Commission.

Chairman Faulkner restated code language regarding the process the Commission is to take regarding the application under consideration.

Mr. Fleming advised the Commission to focus on the language of the code, including the word "may" which does provide some flexibility to the Commission.

Chairman Faulkner indicated the request before the Commission is a waiver, which is something the Commission does not want to do routinely. He stated the lot is adjacent to commercial to the west and the office building across the street to the west.

Commissioner Meuschke stated if the request is continued for two weeks it gives the applicant time to contact neighbors. He stated he favors giving the applicant time to contact the neighbors.

Mayor Turnbow asked why the property was divided for two homes rather than one house that met the standards.

Mr. Maynard stated the previous home was located on three lots. There were costs involved in demolishing the home that were unexpected since the original plan was to remodel the existing home. The property owner decided to create two lots to allow him to recoup his costs on the property.

Mr. Maynard stated the lot to the east will have a side entry garage.

Commissioner Anderson stated he did not hear of any actual hardship on this case. The proposed home is similar to the home at 105 E. Olive Street and thought it was critical for residents in the neighborhood to have some say on the request.

Chairman Faulkner asked staff if was in the purview of the Commission to table or continue the request to allow time for input from the neighbors.

Mr. Cadoret stated the Commission can direct staff to send out notices to neighbors and continue the request to the next meeting.

Chairman Faulkner asked Mr. Maynard how he wanted to proceed with the case.

Mr. Maynard stated he is in favor of gathering input from the neighbors.

Mayor Turnbow indicated a petition from the neighbors would be helpful to the Commission.

Commissioner Meuschke asked Mr. Maynard if he could provide a color rendering of the front facade of the building.

Mr. Maynard stated he built a similar home in Peculiar and could provide something for the Commission.

**Motion by Commissioner Anderson, Seconded by Commissioner Meuschke, to continue Case #17013, 104 E. Olive Street - Waiver of Design Requirements, to the May 2 Planning and Zoning Commission meeting.**

**Vote on Motion:**

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Bowie	Absent
Commissioner Crain	Aye
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Sarsfield	Aye
Mayor Turnbow	Aye

**Motion passed 7-0-0.**

**b Case #17007 – 2017 Annual Review of the Growth Management Plan (public hearing)**

*Chairman Faulkner opened the public hearing at 7:51 p.m.*

Juan Grube, 110 N. Prairie Lane indicated he saw the public hearing notice and stated he was here for the GMP discussion.

David Gress presented the staff report. Staff does prepare an annual review and report for the GMP for discussion each April. Mr. Gress indicated there are five recommendations for action on the plan:

1. Incorporate goals and objectives identified in the new City Strategic Plan into the GMP.
2. Include an Existing Land Use Plan Map and update the undeveloped land use page in the GMP.
3. Update and revise the Future Land Use map in the GMP.
4. Propose an amendment to the Sign Code regarding the regulation of temporary signs throughout Raymore.

5. Update the Street Classification Map to reflect the changes to the realignment of Kentucky Road.

There were no public comments on the report.  
*Chairman Faulkner closed the public hearing at 8:01 p.m.*

Mayor Turnbow asked if this case requires formal action by the Commission.

Chairman Faulkner stated yes, as acceptance of the 2017 annual review and guidance to the staff if any changes are desired.

Mayor Turnbow asked if there were elements of the City Strategic Plan that would impact the GMP.

Mr. Cadoret stated yes, and updates to the GMP are likely after formal adoption of the strategic plan.

Chairman Faulkner asked staff to provide an overview on why the City completes a GMP.

Mr. Cadoret stated the GMP provides the 40,000 foot view of how the residents desire the community to grow. The GMP provides guidance for land use decisions and future growth of the community.

**Motion by Commissioner Crain, Second by Commissioner Sarsfield, to accept staff review of the 2017 annual review and report of the Growth Management Plan.**

**Vote on Motion:**

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Bowie	Absent
Commissioner Crain	Aye
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Sarsfield	Aye
Mayor Turnbow	Aye

**Motion passed 7-0-0.**

**8. City Council Report**

Mike Fleming gave the City Council report.

**9. Staff Report**

**A. Planning Pipeline**

Mr. Cadoret provided an overview of the upcoming cases to be considered by the Commission.

**B. Engineering Report**

Assistant Public Works Director Ed leans provided an update on the status of public works projects.

- Foxwood Water tower painting has started and work will take 6 to 8 weeks.
- Gore water line and meter vault will start this week and will be an 8 to 12 week project.

**10. Public Comment**

None.

**11. Commission Member Comment**

*Commissioner Fizer: Glad to see the interest in development in the Original Town neighborhood.*

*Commissioner Anderson: Thanked staff and Mr. Fleming for its work.*

*Commissioner Crain: No comment.*

*Commissioner Meuschke: No comment.*

*Commissioner Sarsfield: No comment.*

*Mayor Turnbow: Thanked Mr. Berendzen for his service on the Commission; indicated he was accepting applications for the Ward 4 opening on the Commission; expressed excitement at the City receiving Gold Level recognition as a Community for All Ages; and thanked the Commission for its work.*

*Chairman Faulkner: Thanked staff and Mr. Fleming for the assistance to the Commission.*

**12. Adjournment**

**Motion by Commissioner Anderson, Seconded by Mayor Turnbow to adjourn the April 18, 2017 Planning and Zoning Commission meeting.**

**Vote on Motion:**

Chairman Faulkner	Aye
Commissioner Anderson	Aye
Commissioner Bowie	Absent
Commissioner Crain	Aye
Commissioner Fizer	Aye
Commissioner Meuschke	Aye
Commissioner Sarsfield	Aye
Mayor Turnbow	Aye

**Motion passed 7-0-0.**

The April 18, 2017 meeting adjourned at 8:26 p.m.

Respectfully submitted,

Jim Cadoret





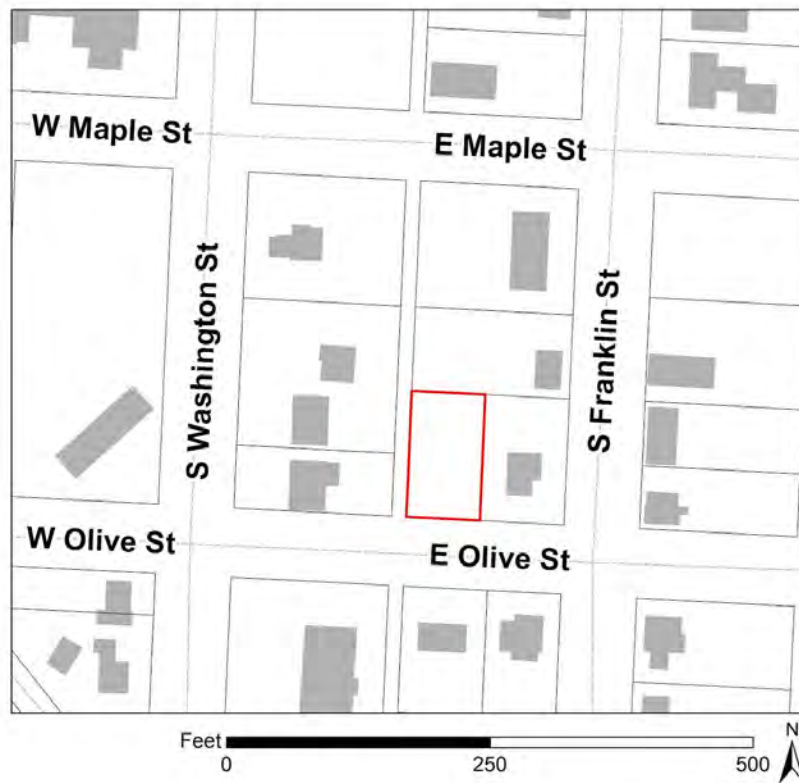
**To:** Planning and Zoning Commission  
**From:** City Staff  
**Date:** May 2, 2017  
**Re:** Case #17013 - Waiver of Design Requirement for new home proposed to be located at 104 E. Olive Street in the Original Town Neighborhood Overlay District

## GENERAL INFORMATION

**Applicant/  
Property Owner:** True Vision Construction LLC

**Requested Action:** Waiver to Original Town Overlay District design requirement that garage doors facing the street shall be set back at least 8 feet from the primary facade.

**Property Location:** 104 E. Olive Street



**Aerial Photograph:**



**Property Photographs:**



View from Olive Street looking north



View from Olive Street looking down the alley along the western property line

**Existing Zoning:** "R-1/OT" Single Family Residential/Original Town Overlay District

**Existing Surrounding Uses:** **North:** Single-Family Residential  
**South:** Single-Family Residential/Commercial  
**East:** Single-Family Residential  
**West:** Commercial

**Total Tract Size:** 8,391 square feet (.19 acres)

**Subdivision Plat:** Raymore Original Town Plat

**Growth Management Plan:** The Future Land Use Plan Map contained in the Growth Management Plan identifies this property as appropriate for low density residential.

**Major Street Plan:** The Major Thoroughfare Plan Map contained in the Growth Management Plan has Olive Street classified as a local street, and S. Franklin Street classified as a minor collector

**Advertisement:** City Ordinance does not require advertisement for waiver of design requirements in the Original Town District.

**Public Hearing:** City Ordinance does not require a public hearing for waiver of design requirements in the Original Town District.

Although a public hearing was not required, residents of the Original Town Neighborhood were invited to the **May 2, 2017 Planning and Zoning Commission meeting** to voice their opinions regarding the proposed home. 21 residents were notified.

## **PROPOSAL**

*Outline of Requested Action:* The applicant seeks a waiver to a design requirement contained in Section 415.050F2 of the Unified Development Code. Specifically, the request is to waive the requirement that garage doors facing the street shall be set back at least 8 feet from the primary facade of a new home proposed to be constructed at 104 E. Olive Street in the Original Town Neighborhood.

## **DISTRICT SPECIFIC DESIGN REQUIREMENTS**

In order for the applicant to accomplish the aforementioned action the Planning and Zoning Commission must approve a request to waive the requirement. The following code language applies:

Section 415.050 OT, Original Town District

F. District-Specific Design Requirements

2. Garage Orientation

- a. Garage doors facing the street shall be set back at least 8 feet from the primary facade.
- b. Garage doors shall not comprise more than 50 percent of the front facade.
- c. Rear-loading, side-loading, and detached garages shall not be subject to standards of this sub-section.

G. Action on Application

The Planning and Zoning Commission may, upon showing of undue hardship by the applicant, waive one or more of the specific requirements of the design standards of this section. The Commission shall approve the minimum waiver necessary to allow the application to be approved. The applicant for any such waiver shall have the burden of showing that

the proposed project with such waiver shall have the minimum negative effect on aesthetics and compatibility within the OT district.

## **PREVIOUS ACTIONS ON THE PROPERTY**

1. The Original Town Overlay District was added as a new Overlay and Special Purpose Zoning District in the Unified Development Code on April 26, 2010.
2. The zoning of the property, and all other properties in the Original Town Plat, was reclassified from “R-1” Single Family Residential District to “R-1/OT” Single Family Residential/Original Town Overlay District on April 26, 2010.
3. On June 23, 2016, the home previously located at 214 S. Franklin Street (property directly to the east, also owned by the applicant) was determined by the Raymore Building Official to be a dangerous building as defined by Raymore City Code Section 510.020. An order for demolition of the home was issued.
4. On January 3, 2017, Lots 14 thru 16 of Block 9 in Raymore Original Town were replatted to create two adjacent lots, Tract A and Tract B.
5. On March 29, 2017, an application for a building permit to construct a new home upon the property was submitted for review by the City. Issuance of a permit is on hold pending the outcome of this waiver request.

## **STAFF COMMENTS**

### **1. Purpose of OT District:**

The purpose of the OT, Original Town District is to preserve and enhance the historic character of the Original Town neighborhood. Its intent is to encourage a mix of residential, commercial, and institutional uses while ensuring their compatibility.

### **2. Objectives of OT District**

One of the objectives of the OT District is to encourage compatibility of new construction and structural alterations with the existing scale and character of surrounding properties.

3. **Development Standards:** The development standards applicable to the property are as follows:

R-1/OT	
<b>Minimum Lot Area</b>	
per lot	8,000 sq.ft.
<b>Minimum Lot Width (ft.)</b>	50
<b>Minimum Lot Depth (ft.)</b>	100
<b>Yards, Minimum (ft.)</b>	
Front	20
rear	30
side	7.5
<b>Maximum Building Height (feet)</b>	35
<b>Maximum Building Coverage (%)</b>	30

4. **Special Use Conditions:** There are no use-specific standards or conditions.
5. The Original Town Neighborhood Plan, adopted by the Planning and Zoning Commission in May of 2009, contained recommendations regarding design guidelines for new construction. These guidelines were utilized to formulate the Original Town Overlay District standards.
6. Since the adoption of the Original Town Overlay District there have been nine building permits issued for new home construction in the neighborhood. One home, located at 307 W. Plum, immediately across Madison Street from Raymore Elementary School, was completed in 2015. This home has a side-entry garage with a driveway off of South Madison Street. One home, located at 416 S. Washington Street was completed in 2016. The garage orientation requirement was waived for this home, and the property has a front-entry garage with a driveway along Washington Street. The other seven homes, currently under construction at the intersection of Monroe Street and Plum Street, have rear-entry garages with access from an alley. All but one newly constructed home in the neighborhood comply with the garage orientation requirement.

7.



The home previously located on the subject property did not have a garage, but did have a side-entry driveway along S. Franklin Street. This home was demolished in 2016.

8. There are two homes located on the opposite side of Olive Street on the adjacent block. The home located at 105 E. Olive Street (immediately south of the proposed home) has an attached garage, and the home located at 107 E. Olive has a side entry garage.



Home located at 105 E. Olive Street (immediately south of the proposed home).

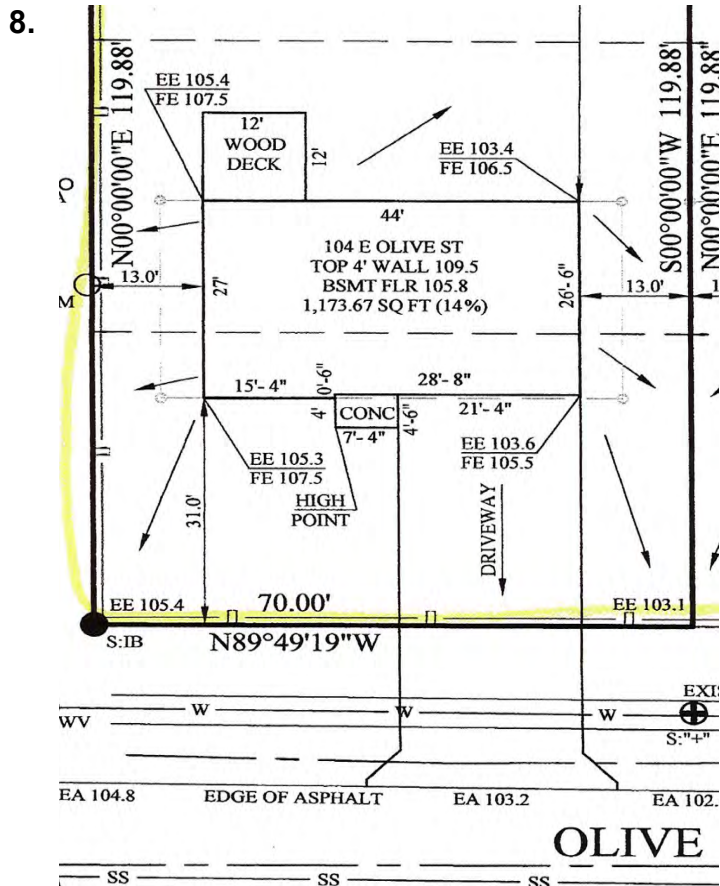
A building permit was issued for this home on January 14, 2000. While the garage does not comply with the design requirements, this home was built prior to the adoption of the Original Town Neighborhood Plan. The design of this home is similar to the design and layout of the home being proposed.



Home located at 107 E. Olive Street (immediately south of the proposed home).

This home is located on the corner of E. Olive Street and S. Franklin Street. The front facade faces Olive Street, and the side entry garage faces Franklin Street.





The plot plan indicates that the garage will be set back six inches from the front facade of the home.

## STAFF RECOMMENDATION

The purpose of the Original Town Overlay District is to preserve and enhance the historic character of the Original Town Neighborhood. During preparation of the neighborhood plan, residents made it clear they wanted new construction to be compatible with the existing homes in the neighborhood. Residents desired to maintain the unique character that exists within the neighborhood.

Staff review of the homes that exist surrounding the subject property show a mixture of home styles and building setbacks, similar to many other blocks within the neighborhood. Although the proposed home is identical to the existing home at 105 E. Olive Street, that particular home was constructed prior to the preparation of the Original Town Overlay District Plan, and was not subject to the design guidelines included in the plan.

Staff believes that with its current design, the home is out of scale and does not match the style of the existing homes throughout the neighborhood. Given the location of the property in question, in relation to the existing alley, there are many other options for the applicant to consider in terms of a rear-entry or side-entry garage that would better match the existing homes throughout the neighborhood.

Staff recommends that the Planning and Zoning Commission deny Case #17013, request to waive the garage orientation design requirement for the home proposed to be constructed at 104 E. Olive Street.

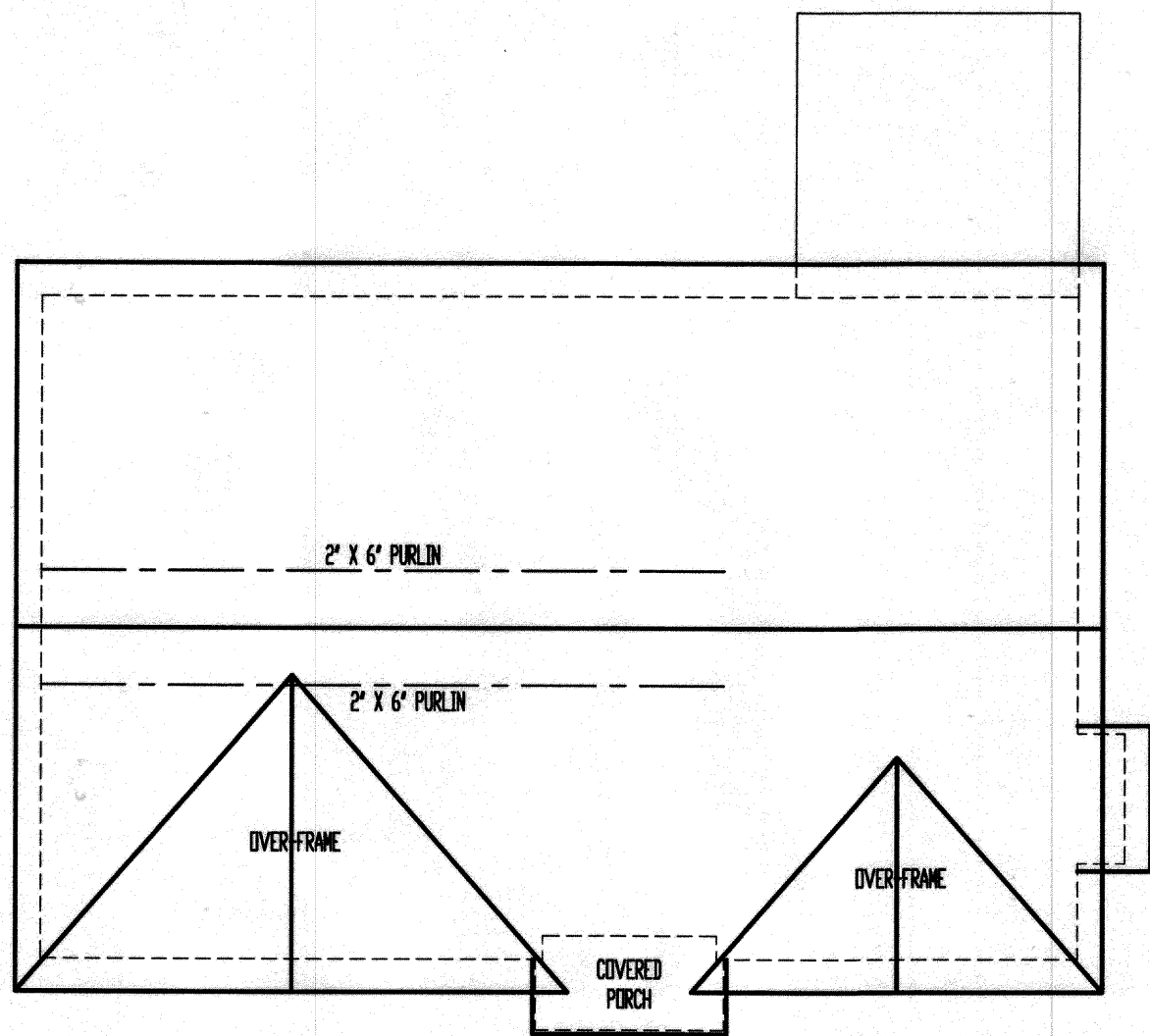
### **PLANNING COMMISSION ACTION - 4/18/2107**

At its April 18, 2017 meeting, the Planning and Zoning Commission voted for a continuance of Case #17013 until the May 2, 2017 meeting to allow time for the applicant to speak with residents surrounding the subject property. Notices of the May 2, 2017 meeting were mailed to property owners within 185 feet of the proposed home, where residents will be given the opportunity to be heard.

DESIGNED EXCLUSIVELY FOR  
**TRUE VISION CONSTRUCTION, LLC**

ONE-TIME-BUILD LICENSE AGREEMENT  
FOR CONSTRUCTION IN PECULIAR, MISSOURI.

NOTE: GOVERNING CODES &  
GENERAL CONTRACTOR'S WRITTEN SPECIFICATIONS  
TAKE PRECEDENCE OVER THESE PLANS.



ROOF PLAN  
SCALE: 1/8" = 1'-0"

ALL RAFTERS SHALL BE 2" X 6" @ 24" O.C., UNLESS NOTED OTHERWISE.

FLASHING NOTE:  
DRAIN EDGE, VALLEYS AND FLASHINGS TO BE METAL CLAD.

ROOF NOTES:  
ROOF DESIGNED FOR LIGHT ROOF COVERING  
30psf TOTAL LOAD (10psf DL, 20psf LL (SLJ))

RAFTERS (HEM-FIR, DOUG-FIR, OR EQUAL)  
SEE SPAN CHARTS BELOW

CODE MINIMUM

RAFTERS	SPACING	MAX HORIZONTAL CLEARSPAN
R2-2x6	24" O.C.	11'-7"
R2-2x6	24" O.C.	14'-2"
R2-2x8	24" O.C.	14'-8"
R2-2x8	24" O.C.	17'-11"
R2-2x10	24" O.C.	17'-10"
R2-2x10	24" O.C.	21'-11"

NOTE: CODE MINIMUM ALLOWS FOR A RAFTER DEFLECTION OF L/180 TOTAL LOAD

HIGHER PERFORMANCE (RECOMMENDED)

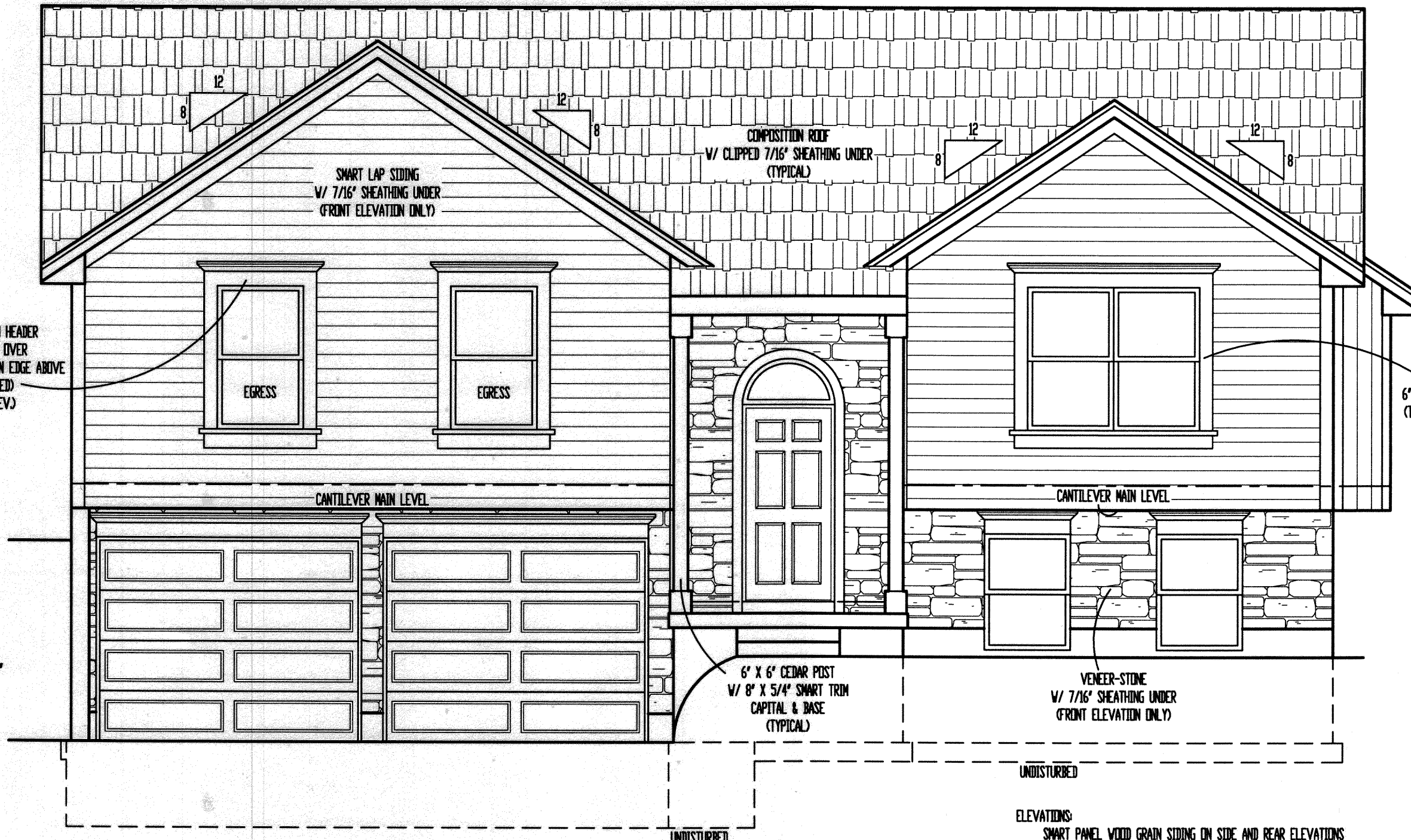
RAFTERS	SPACING	MAX HORIZONTAL CLEARSPAN
R2-2x6	24" O.C.	8'-6"
R2-2x6	24" O.C.	9'-9"
R2-2x8	24" O.C.	11'-3"
R2-2x8	24" O.C.	12'-9"
R2-2x10	24" O.C.	14'-3"
R2-2x10	24" O.C.	16'-3"

DEFLECTION = L/360 LIVE LOAD, L/240 TOTAL LOAD

- VAULTS TO BE 2x10 DEPTH
- RIDGE BOARDS ARE (UNLESS OTHERWISE NOTED)
  - R2- 2x8 UP TO 10/12 PITCH
  - R2- 2x10 OVER 10/12 PITCH
- ALL HIP & VALLEYS ARE (UNLESS OTHERWISE NOTED)
  - R2- 2x8 UP TO 10/12 PITCH
  - R2- 2x10 OVER 10/12 PITCH
- PURLINS ARE 2x6 MIN.
  - PURLIN STRUTS ARE AT 4'-0" O.C.
  - PURLIN STRUTS SHALL BE INSTALLED AT NOT LESS THAN A 45 DEGREE ANGLE WITH THE HORIZONTAL
  - ALL PURLIN STRUTS SHALL HAVE A MAXIMUM UNBRACED LENGTH OF 8'-0"
  - PURLIN STRUTS SHALL BE CONSTRUCTED IN A "T" CONFIGURATION AND PER THE FOLLOWING CHART:

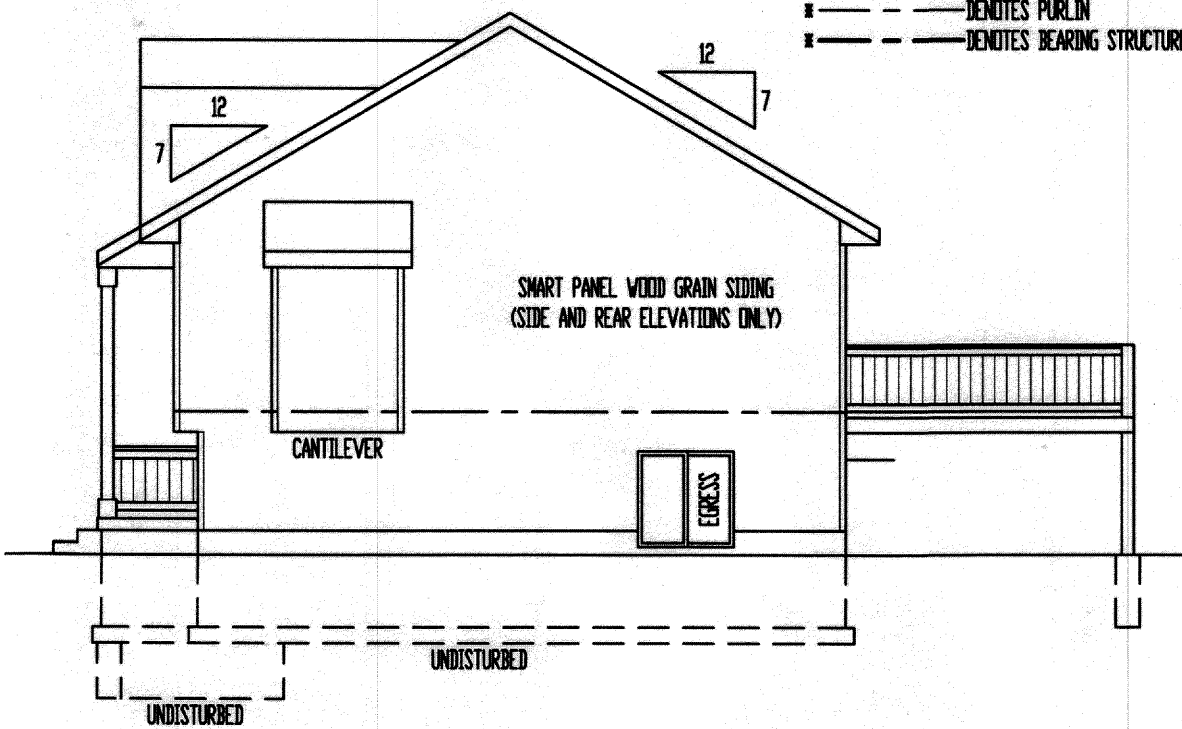
PURLIN STRUT	MAX PURLIN STRUT LENGTH
(T) 2x4	8'-0"
(T) 2x4 & (T) 2x6	12'-0"
(T) 2x6 & (T) 2x8	20'-0"
(T) 2x6 & (T) 2x8	30'-0"
(T) 2x6 & (T) 2x8	30'-0"

- RIDGE BRACES ARE SAME AS PURLIN BRACES-SPACING, SIZE, CONFIGURATION, & INSTALLATION (SEE PURLIN BRACE NOTES ABOVE)
- HIP & VALLEY BRACES ARE SAME AS PURLIN BRACE NOTES ABOVE
- VERTICAL BRACE IF NOT IS UNDER HIP OR VALLEY
- SLASH IS TOP END OF BRACE ( / ), NOT IS BOTTOM OF BRACE ( o )
- DENOTES BEARING WALL
- DENOTES ROOF BRACE
- DENOTES PURLIN
- DENOTES BEARING STRUCTURE

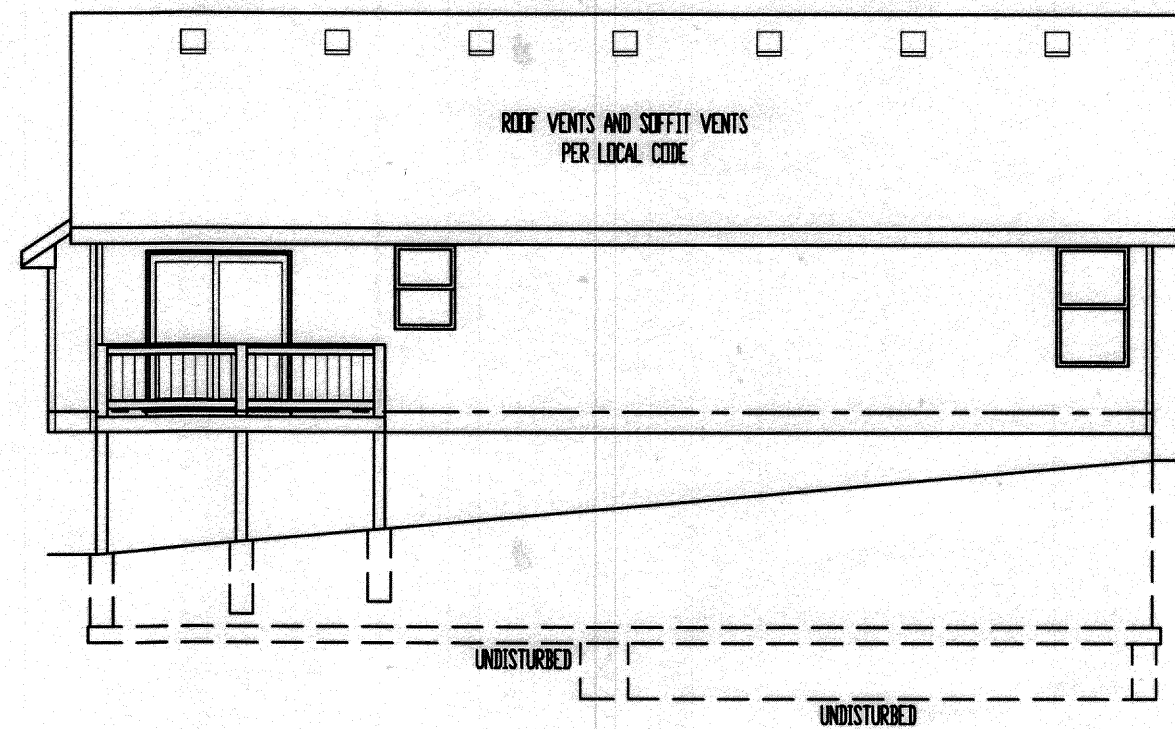


FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

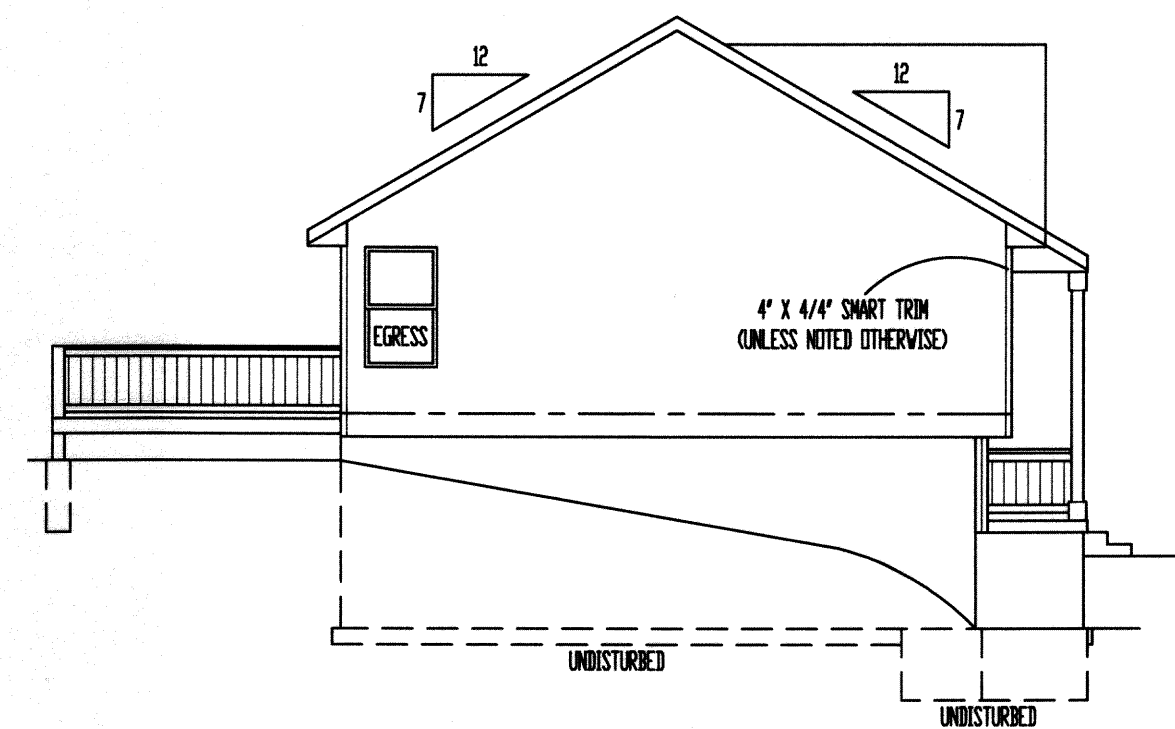
- ELEVATIONS:  
SMART PANEL WOOD GRAIN SIDING ON SIDE AND REAR ELEVATIONS  
COMPOSITION ROOF SHINGLES  
LOCATE ROOF AND SOFFIT VENTS PER CODE  
ADJUST FOUNDATION TO GRADE
- DECK:  
DECK CONSTRUCTION TO COMPLY WITH MUNICIPALITY'S RESIDENTIAL DECK STANDARDS  
2" X 8" @ 24" O.C. FLOOR JOISTS  
2" X 6" CEDAR DECKING  
6" X 6" CEDAR/TTL POSTS  
2" X 2" CEDAR SPINDLES  
2" X 6" CEDAR TOP RAIL  
DETERMINE OPTIONAL STAIRS ON SITE



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

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"For God so loved the world, that he gave his only begotten Son, that whosoever believeth in him should not perish, but have everlasting life. For God sent not his Son into the world to condemn the world; but that the world through him might be saved." John 3:16-17

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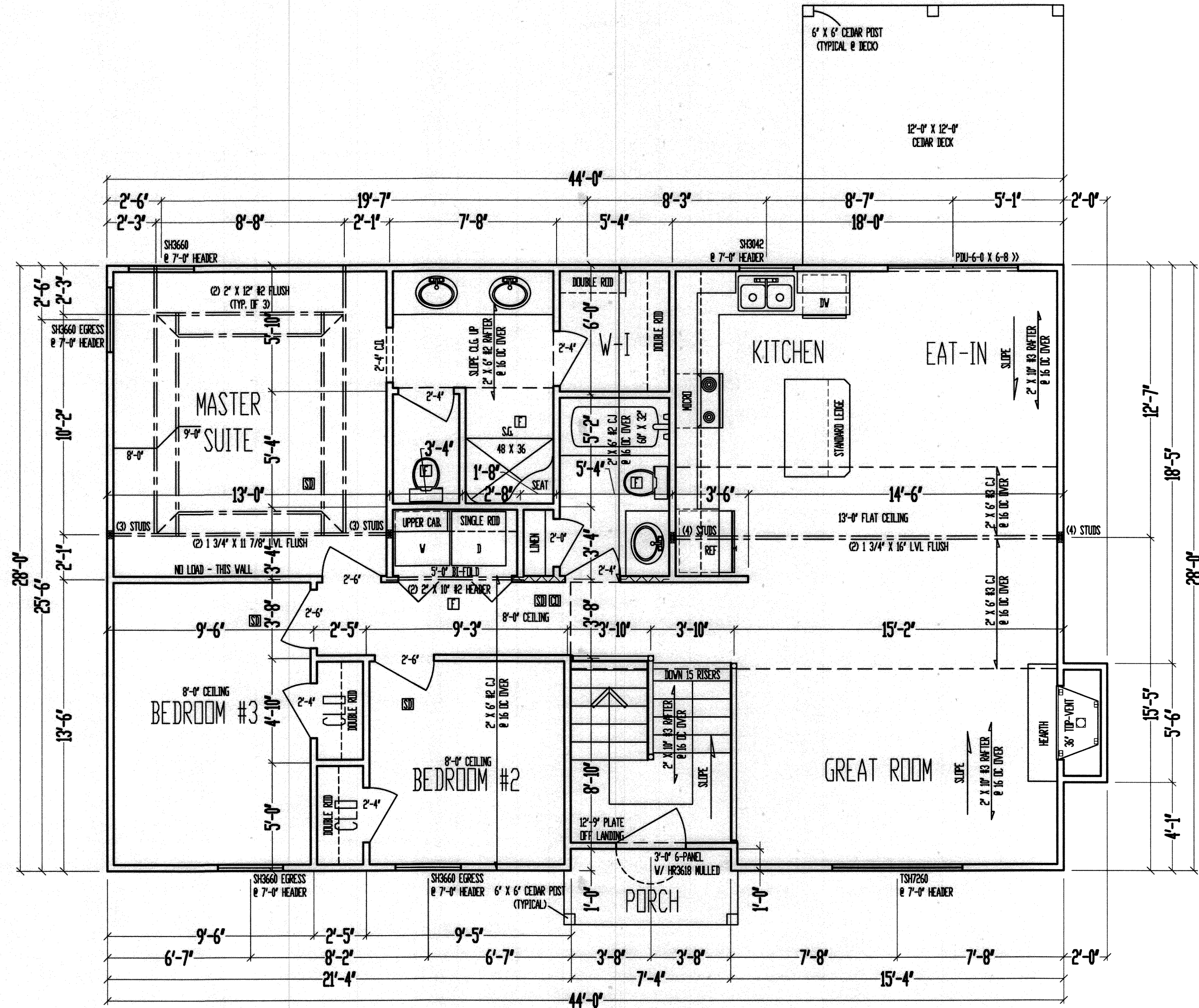
3-23-2017

PLAN TITLE:  
The GENESIS  
RAYMORE, MO

SHEET TITLE:  
ELEVATIONS  
ROOF PLAN

SHEET NO: 1B of 3  
DATE: 03/21/2017

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8'-0" CEILING  
MAIN LEVEL  
SCALE: 1/4" = 1'-0"

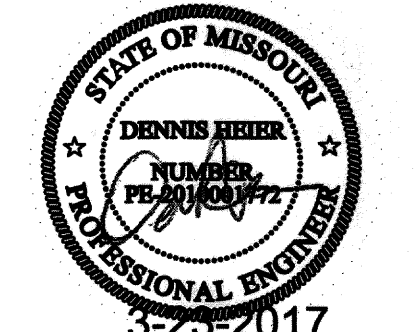
MAIN LEVEL: 1278 SQ. FT.  
LOWER LEVEL: 514 SQ. FT.  
TOTAL: 1792 SQ. FT.

FRAMING NOTES

- 1. HOME IS SHEATHED W/ 7/16" D.S.B. APA PANELS W/ 8d COMMON NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE FIELD. SMART PANEL, OR EQUAL, INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 2. // // // // // = G.B. 1/2" MIN. GYPSUM BOARD OVER STUDS SPACED 24" MAX FASTENED W/ NO. 6 - 1 1/4" TYPE W OR S DRYWALL SCREWS @ 7" O.C. EDGES & FIELD. (MIN. 8'-0" SECTIONS ONE SIDE OF WALL (ORD. MIN. 4'-0" SECTION FOR BOTH SIDES).
- 3. ^ ^ ^ ^ ^ = LOAD BEARING INTERIOR WALL.
- 4. @ 2" X 10" #2 HEADER AT ALL EXTERIOR AND LOAD BEARING WALLS, UNLESS NOTED OTHERWISE.
- 5. L.O.V. TIES @ 4'-0" O.C. (TYPICAL).
- 6. RUN STUDS THE FULL HEIGHT OF RAISED PLATE WALLS.
- 7. BLOCK JOISTS ABOVE BEAMS, CANTILEVERS AND LOAD BEARING WALLS WITH JOIST MATERIAL (NOT REQUIRED WITH I-JOISTS).
- 8. PROVIDE MULTIPLE STUDS FOR SOLID BEARING BELOW ALL BEAMS.
- 9. ALL DESIGNATED 2" X 6" WALLS SHALL HAVE DOUBLE KING STUDS AT DOOR AND WINDOW OPENINGS.
- 10. ALL UNSQUARE WALLS SHALL BE 45°, UNLESS NOTED OTHERWISE.
- 11. ALL WALLS TO BE FRAMED W/ MIN. STUD GRADE 2" X 4'S @ 16" O.C., UNLESS NOTED OTHERWISE.
- 12. EXTERIOR WALL BOTTOM PLATES SHALL BE NAILLED TO FRAMING BELOW WITH 16d COMMON NAILS @ 8" O.C. MAX. (WHERE APPLICABLE).

"He that believeth on him is not condemned but he that believeth not is condemned already, because he hath not believed in the name of the only begotten Son of God and this is the condemnation, that light is come into the world, and men loved darkness rather than light, because their deeds were evil."  
John 3:18-19

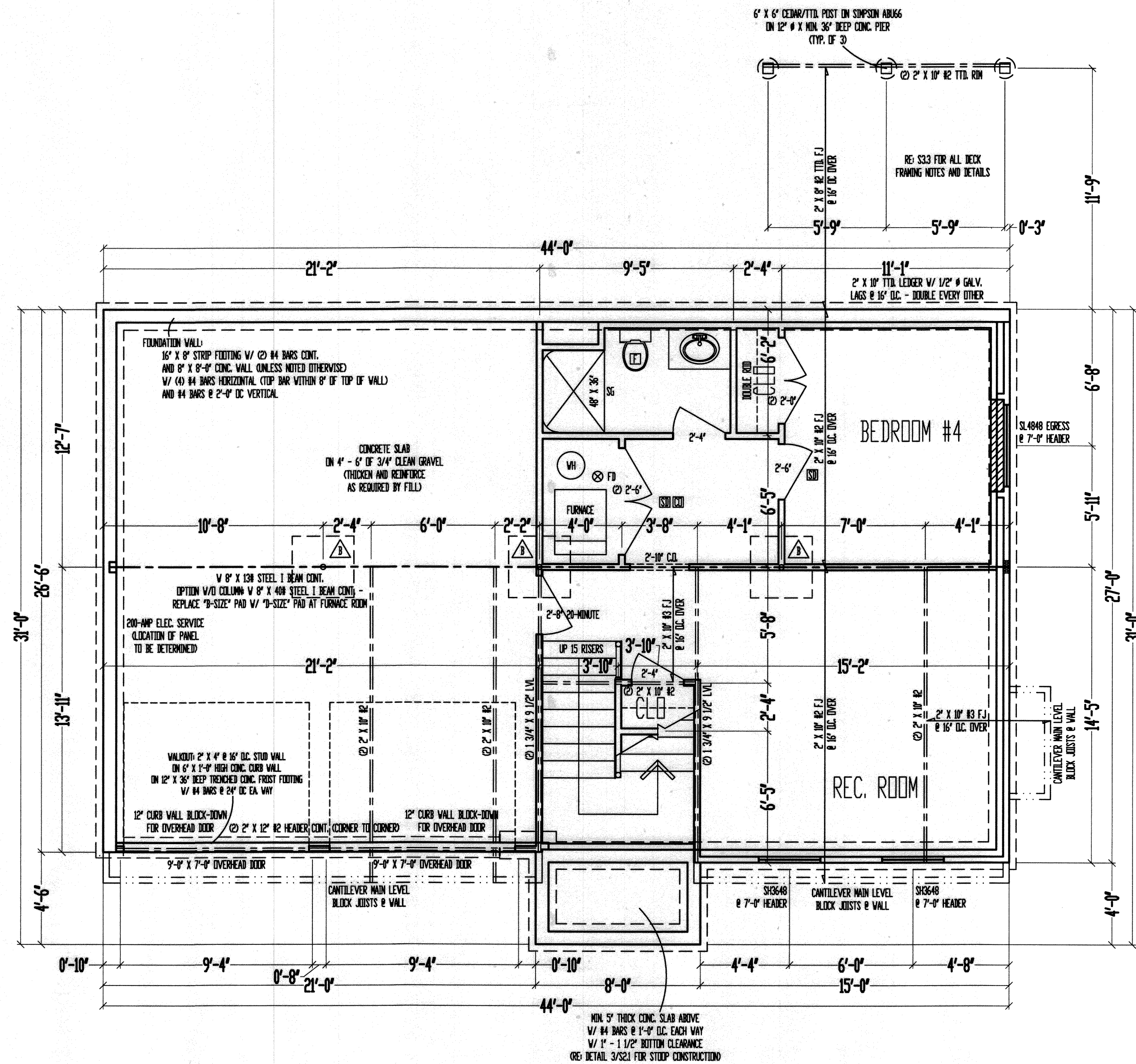
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PLAN TITLE:  
The GENESIS  
RAYMORE, MD

SHEET TITLE: MAIN LEVEL PLAN  
SHEET NO: 2 of 3  
DATE: 03/21/2017

RECEIVED  
TOS B S RAM



8'-0" FOUNDATION WALLS  
(UNLESS NOTED OTHERWISE)  
ON 16" X 8" STRIP FOOTINGS  
(STEP WHERE GRADE REQUIRES)

2" X 10" FLOOR SYSTEM  
FOUNDATION  
SCALE: 1/4" = 1'-0"  
LOWER LEVEL: 514 SQ. FT.

- FRAMING NOTES:
1. HOME IS SHEATHED W/ 7/16" OSB APA PANELS W/ 8d COMMON NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE FIELD. SMART PANEL, OR EQUAL, INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  2. // // // // // = 5/8" 1/2" MIN. GYPSUM BOARD OVER STUDS SPACED 24" MAX FASTENED W/ #6 - 1 1/4" TYPE W OR S DRYWALL SCREWS @ 7" O.C. EDGES & FIELD. MIN. 8'-0" SECTIONS ONE SIDE OF WALL (OR MIN. 4'-0" SECTION FOR BOTH SIDES)
  3. / / / / / = LOAD BEARING INTERIOR WALL.
  4. (2) 2" X 10" #2 HEADER @ ALL EXTERIOR AND LOAD BEARING WALLS, UNLESS NOTED OTHERWISE.
  5. LNU TIES @ 4'-0" (TYPICAL)
  6. RUN STUDS THE FULL HEIGHT OF RAISED PLATE WALLS.
  7. BLOCK JOISTS ABOVE BEAMS, CANTILEVERS AND LOAD BEARING WALLS WITH JOIST MATERIAL NOT REQUIRED WITH I-JOISTS.
  8. PROVIDE MULTIPLE STUDS FOR SOLID BEARING BELOW ALL BEAMS.
  9. ALL DESIGNATED 2" X 6" WALLS SHALL HAVE DOUBLE KING STUDS AT DOOR AND WINDOW OPENINGS.
  10. ALL UNSQUARE WALLS SHALL BE 45°, UNLESS NOTED OTHERWISE.
  11. ALL WALLS TO BE FRAMED W/ MIN. STUD GRADE 2" X 4'S @ 16" O.C., UNLESS NOTED OTHERWISE.
  12. 1/2" # ANCHOR BOLTS W/ MIN. 7" EMBRIMENT @ 48" O.C. MAX. & WITHIN 6" - 12" OF END OF EACH PLATE LENGTH.
  13. NEW FOUNDATION SHALL BEAR ON ORIGINAL SOIL WITH MINIMUM BEARING CAPACITY OF 1500 PSF. A GEOTECHNICAL ENGINEER IS RECOMMENDED FOR VERIFICATION OF THESE CONDITIONS DURING THE EXCAVATION PHASE. ENGINEER OF RECORD ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION NOT VERIFIED TO BE FOUND ON ANYTHING SHORT OF THE AFORESAID REQUIREMENTS.

STEEL COLUMN & PAD FOOTING SCHEDULE	
A	3" X 11 GA. STEEL COLUMN ON 30" X 30" X 12" PAD FOOTING W/ (5) #4 BARS EACH WAY (2.50)
B	3 1/2" X 11 GA. STEEL COLUMN ON 36" X 36" X 12" PAD FOOTING W/ (5) #4 BARS EACH WAY (2.00)
C	3" SCH. 40 STEEL COLUMN ON 42" X 42" X 14" PAD FOOTING W/ (7) #4 BARS EACH WAY (24.50)
D	3 1/2" SCH. 40 STEEL COLUMN ON 48" X 48" X 16" PAD FOOTING W/ (9) #4 BARS EACH WAY (32.00)
E	3 1/2" SCH. 40 STEEL COLUMN ON 54" X 54" X 16" PAD FOOTING W/ (9) #4 BARS EACH WAY (40.50)
F	3 1/2" SCH. 40 STEEL COLUMN ON 60" X 60" X 18" PAD FOOTING W/ (10) #4 BARS EACH WAY (50.00)

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"For every one that doeth evil hateth the light, neither cometh to the light, lest his deeds should be reproved: but he that doeth truth cometh to the light, that his deeds may be made manifest, that they are wrought in God." John 3:20-21

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STATE OF MISSOURI  
DENNIS RIBER  
NUMBER  
PROFESSIONAL ENGINEER  
3-23-2017  
PLAN TITLE:  
The GENESIS  
RAYMORE, MO



6  
1  
4

# Community Development Monthly Report



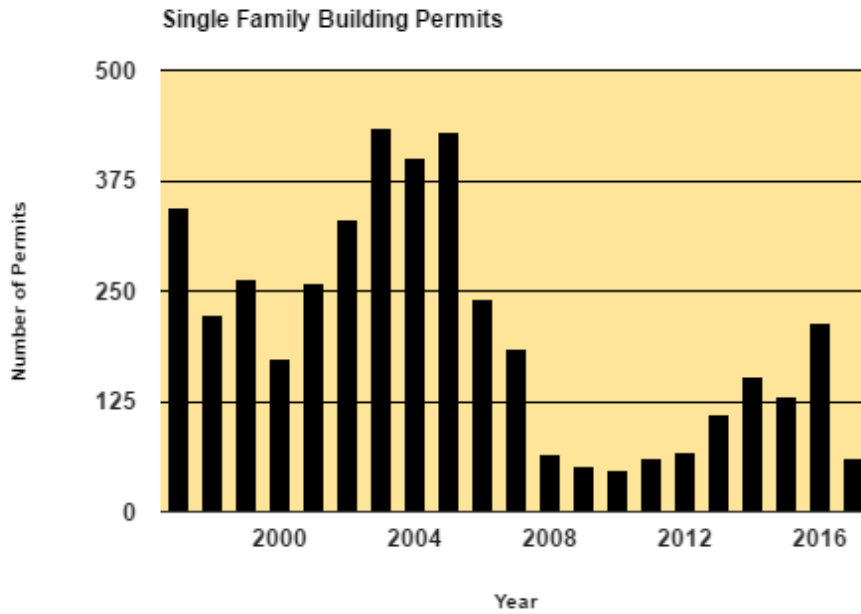
MARCH 2017

## Building Permit Activity

Type of Permit	Mar 2017	2017 YTD	2016 YTD	2016 Total
Detached Single-Family Residential	13	51	29	201
Attached Single-Family Residential	10	10	2	14
Multi-Family Residential	0	0	0	0
Miscellaneous Residential (deck; roof)	39	86	89	458
Commercial - New, Additions, Alterations	4	6	4	26
Sign Permits	6	15	11	63
<b>Inspections</b>	<b>Mar 2017</b>	<b>2017 YTD</b>	<b>2016 YTD</b>	<b>2016 Total</b>
Total # of Inspections	671	1,703	1,454	6,354
<b>Valuation</b>	<b>Mar 2017</b>	<b>2017 YTD</b>	<b>2016 YTD</b>	<b>2016 Total</b>
Total Residential Permit Valuation	\$4,690,100	\$8,621,300	\$6,999,800	\$50,026,600
Total Commercial Permit Valuation	\$1,284,300	\$1,320,300	\$228,100	\$6,899,389

### Additional Building Activity:

- Building construction continues for the Raymore Marketplace center at the southeast corner of Dean Avenue and 58 Highway.
- Building construction continues on the addition to the Creekmoor Clubhouse
- Building construction continues on the Centerview building on Municipal Circle
- Remodel work has commenced on the interior of Wal-Mart
- Building construction plans for the remodel of Wendy's; tenant finish of Mod's Pizza; and office area of Foxwood Springs have been reviewed



## Code Enforcement Activity

Code Activity	Mar 2017	2017 YTD	2016 YTD	2016 Total
Code Enforcement Cases Opened	38	120	32	424
Notices Mailed				
- Tall Grass/Weeds	3	5	0	227
- Inoperable Vehicles	11	34	18	42
- Junk/Trash/Debris in Yard	8	19	2	65
- Object placed in right-of-way	3	7	0	7
- Parking of vehicles in front yard	9	32	1	48
- Exterior home maintenance	4	23	2	16
- Other (trash at curb early; signs; etc)	0	0	9	19
Properties mowed by City Contractor	0	0	0	68
Abatement of violations (silt fence repaired; trees removed; stagnant pools emptied; debris removed)	0	0	0	1
Signs in right-of-way removed	104	149	67	299
Violations abated by Code Officer	6	22	n/a	12



## Development Activity

### Current Projects

- Review of infrastructure plans for Heritage Hills Lots 158 thru 175
- Review of infrastructure plans for Cunningham at Creekmoor Second Plat
- Variance application for 1455 Brompton Lane - rear building setback
- Variance application for 1437 Brompton Lane - rear building setback
- Variance application for 1214 Kingsland Circle - front and rear building setback

	As of Mar 31, 2017	As of Mar 31, 2016	As of Mar 31, 2015
Homes currently under construction	240	197	161
Total number of Undeveloped Lots Available (site ready for issuance of a permit for a new home)	551	741	849
Total number of dwelling units in City	8,015	7,815	7,597

## Actions of Boards, Commission, and City Council

### City Council

#### March 6, 2017 work session

- Council held a joint work session with the Planning and Zoning Commission. City Attorney Jonathan Zerr provided training on review of staff reports and findings of fact

#### March 13, 2017

- Approved on 2nd reading the vacation of a portion of a utility easement on an undeveloped lot located at 1214 Kingsland Circle
- Approved on 2nd reading the rezoning of Heritage Hills Lots 136 thru 157 from "R-1" Single Family Residential District to "R-2" Single and Two-Family Residential District
- Approved on 2nd reading the Westbrook at Creekmoor Twelfth Final Plat
- Approved a one-year extension of the expiration date of the North Cass Plaza preliminary plat
- Approved on 1st reading the replat of Shadowood Phase 4 Lots 181 thru 189

#### March 27, 2017

- Approved on 2nd reading the replat of Shadowood Phase 4 Lots 181 thru 189

- Approved on 1st reading the rezoning of T.B. Hanna Station from R-1 (Single-Family Residential) and C-1 (Neighborhood Commercial) to PR (Parks, Recreation and Public Use)

### Planning and Zoning Commission

March 7, 2017

- Recommended approval of the Replat of Shadwood Phase 4 Lots 181 thru 189
- Recommended approval of the rezoning of T.B. Hanna Station from R-1 (Single-Family Residential) and C-1 (Neighborhood Commercial) to PR (Parks, Recreation and Public Use)

March 21, 2017

- Approved the Communities for All Ages Master Plan

## **Upcoming Meetings – April & May**

May 2, 2017 Planning and Zoning Commission

- 104 E. Olive Street - Waiver of Design Requirements

May 8, 2017 City Council

- No development applications currently on agenda

May 16, 2017 Planning and Zoning Commission

- Reclassification of Zoning - Heritage Hills Lots 158 thru 175 - R-1 to R-2 (public hearing)

May 22, 2017 City Council

- 1st reading - Reclassification of Zoning - Heritage Hills Lots 158 thru 175 - R-1 to R-2 (public hearing)

June 6, 2016 Planning and Zoning Commission

- UDC Annual Review (public hearing)

June 12, 2017 City Council

- 2nd reading - Reclassification of Zoning - Heritage Hills Lots 158 thru 175 R-1 to R-2

March 2017

## June 20, 2017 Planning and Zoning Commission

- No development applications currently on agenda

## June 26, 2017 City Council

- No development applications currently on agenda

## Department Activities

- Staff completed work on the Community for All Ages Master Plan and submitted the plan to the Mid America Regional Council for consideration of Gold Level recognition as a Community for All Ages
- David Gress and Jim Cadoret participated in the Cass County Nonprofits group monthly meeting
- Director Jim Cadoret and Associate Planner David Gress participated in the Planner's Roundtable discussion held at the Mid-America Regional Council
- Staff worked on preparing the annual review and report on the Growth Management Plan
- Director Jim Cadoret and Associate Planner David Gress attended the Legal Decision Making for Planning Commissioners webinar sponsored by the American Planning Association
- Director Jim Cadoret and Associate Planner David Gress attended the Active Transportation in Rural Settings webinar sponsored by the Association of Pedestrian and Bicycle Professionals

## GIS Activities

- Data sharing with Wilson & Company to support design/maintenance of streetlights
- Updates to enterprise GIS & apps
- Strategic material for Economic Development & Finance
- Mapping (segment maps, overall plan & distribution list) for sidewalk construction
- Reporting of qualified trees (alphabetical by common name)
- Trial (2 months) of ESRI Business Analyst to research projections and reports
- Customer service (maps, history, sales, addressing & permitting support)
- Continued support for Kentucky Road Realignment
- Data update to MARC (parks & 911 roads)
- Addressing of Westbrook at Creekmoor 12th