



sf architecture

Issue Date: 10.14.16

# SITE PLAN REVIEW

PROJECT TEAM



EXTERIOR PERSPECTIVE OF ENTRANCE PLAZA FROM THE SOUTHEAST



EXTERIOR PERSPECTIVE OF GYMNASIUM FROM THE NORTHWEST

## DRAWING INDEX

- C001 COVER
- SP100 SITE PLAN
- SP200 SITE DETAILS
- C100 CIVIL SITE PLAN
- C101 GRADING AND UTILITY PLAN
- C102 EROSION CONTROL PLAN
- L100 OVERALL LANDSCAPE PLAN
- L101 LANDSCAPE PLAN
- A111 FLOOR PLAN
- A112 EXTERIOR ELEVATIONS
- A202 EXTERIOR ELEVATIONS
- E100 FLOOR PLAN, LEVEL, & MAN
- E101 ELECTRICAL SCHEDULES AND DETAILS
- E102 SITE LIGHTING PHOTOMETRICS

## ARCHITECT OF RECORD:

SFS ARCHITECTURE  
 1101 S. MADISON STREET  
 KANSAS CITY, MISSOURI 64108  
 O: 816.474.1397  
 F: 816.421.6624

## CIVIL:

OLISSON ASSOCIATES  
 7301 W. 133RD ST., SUITE 200  
 OVERLAND PARK, KS 66213  
 O: 913.381.1170  
 F: 913.381.1174

## LANDSCAPE ARCHITECT:

CONFLUENCE  
 417 DE LAWARE STREET  
 KANSAS CITY, MO 64105  
 O: 816.531.7227  
 F: 816.531.7229

## STRUCTURAL:

BOB D. CAMPBELL  
 4338 BELLEVUE AVENUE  
 KANSAS CITY, MO 64111  
 O: 816.531.4144  
 F: 816.531.8572

## M/E/P/E ENGINEER:

HENDERSON ENGINEERS  
 8345 LENEZA DRIVE, SUITE 300  
 LENEXA, KS 66214  
 O: 913.742.5000  
 F: 913.742.5001

## OWNER:

CITY OF RAYMORE  
 100 MUNICIPAL CIRCLE  
 RAYMORE, MO 64083  
 O: 816.331.0488  
 F: 816.331.8724

SITE PLAN REVIEW

Issue Date: 10.14.16

15930

RAYMORE ACTIVITY CENTER  
 1101 S. Madison Street  
 Raymore, MO 64083

# RAYMORE ACTIVITY CENTER

FOR: City of Raymore



1

2

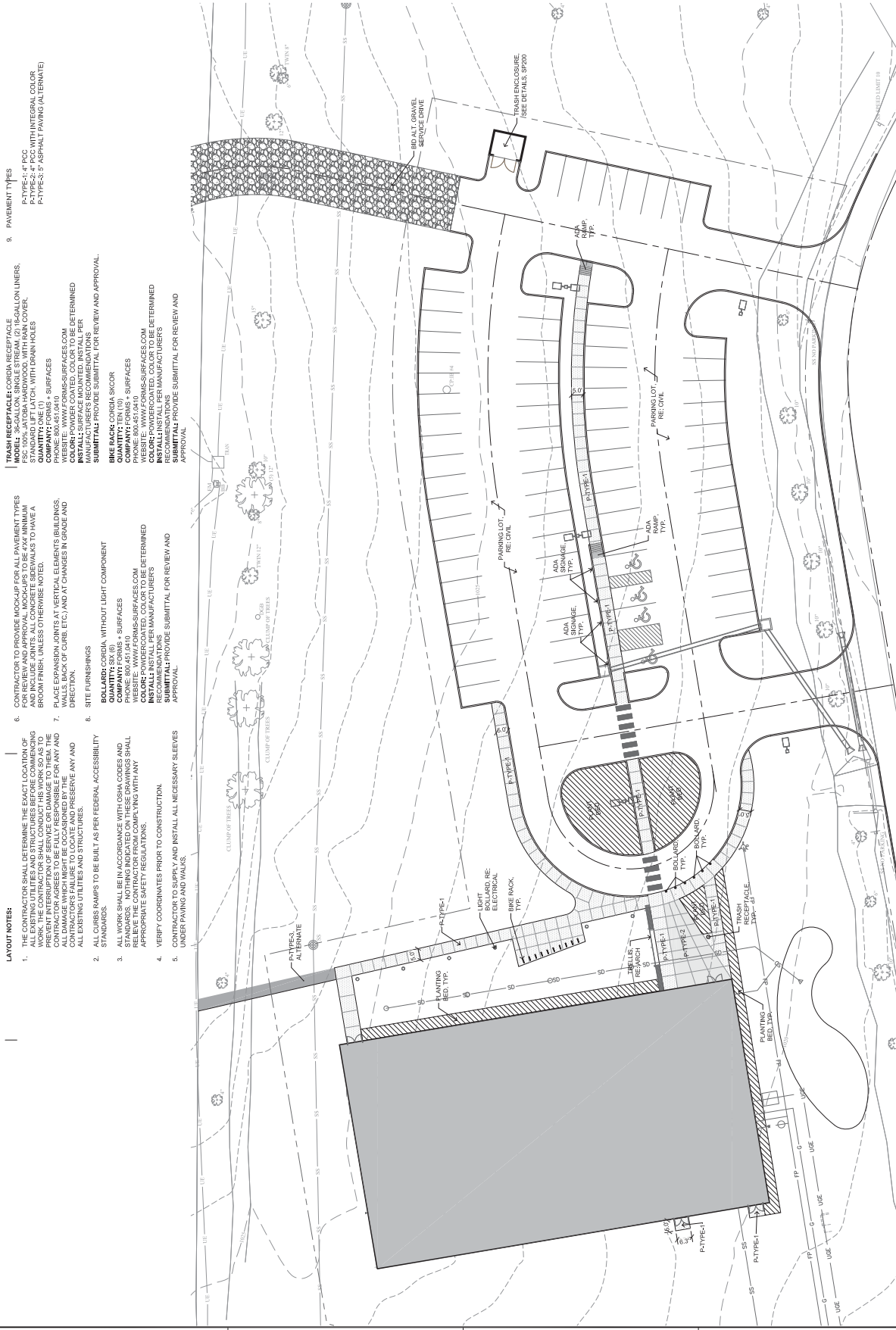
3

4

5

**LAYOUT NOTES:**

1. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES AND STRUCTURES CAUSED BY CONTRACTORS FAILURE TO LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES AND STRUCTURES.
2. ALL CURBS RAMPS TO BE BUILT AS PER FEDERAL ACCESSIBILITY STANDARDS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL BE CONSIDERED AS VIOLENTLY VIOLATING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. VERIFY COORDINATES PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO VERIFY AND INSTALL ALL NECESSARY SLEEVES UNDER PAVING AND WALKS.
6. CONTRACTOR TO PROVIDE MAKEUP FOR ALL FINISH SURFACES FOR REVIEW AND APPROVAL. MOCKUPS TO BE 6X6 MINIMUM BROWN FINISH UNLESS OTHERWISE NOTED.
7. PLACE EXPANSION JOINTS AT VERTICAL ELEMENTS (BUILDINGS, CURBS, CURBS OF CURB, ETC.) AND AT CHANGES IN GRADE AND DIRECTION.
8. SITE FURNISHINGS
  - BOLLARDS:** CORDIA, WITHOUT LIGHT COMPONENT
  - COMPANY:** FORMS + SURFACES
  - PHONE:** 800.451.0410
  - WEBSITE:** WWW.FORMS-SURFACES.COM
  - COLOR:** POWDER COATED, COLOR TO BE DETERMINED
  - INSTALL:** INSTALL PER MANUFACTURERS RECOMMENDATIONS
  - SUBMITTALS:** PROVIDE SUBMITTAL FOR REVIEW AND APPROVAL.
9. PAVEMENT TYPES
  - P-TYPE-1: 4" FCC
  - P-TYPE-2: 4" FCC WITH INTEGRAL COLOR
  - P-TYPE-3: 5" ASPHALT PAVING (ALTERNATE)



01 SITE PLAN

SHEET 200

RAYMORE ACTIVITY CENTER

City of Raymore

1101 S. Madison Street

Raymore, MO 64083

WORK DATE: 08/20/2016

SP100

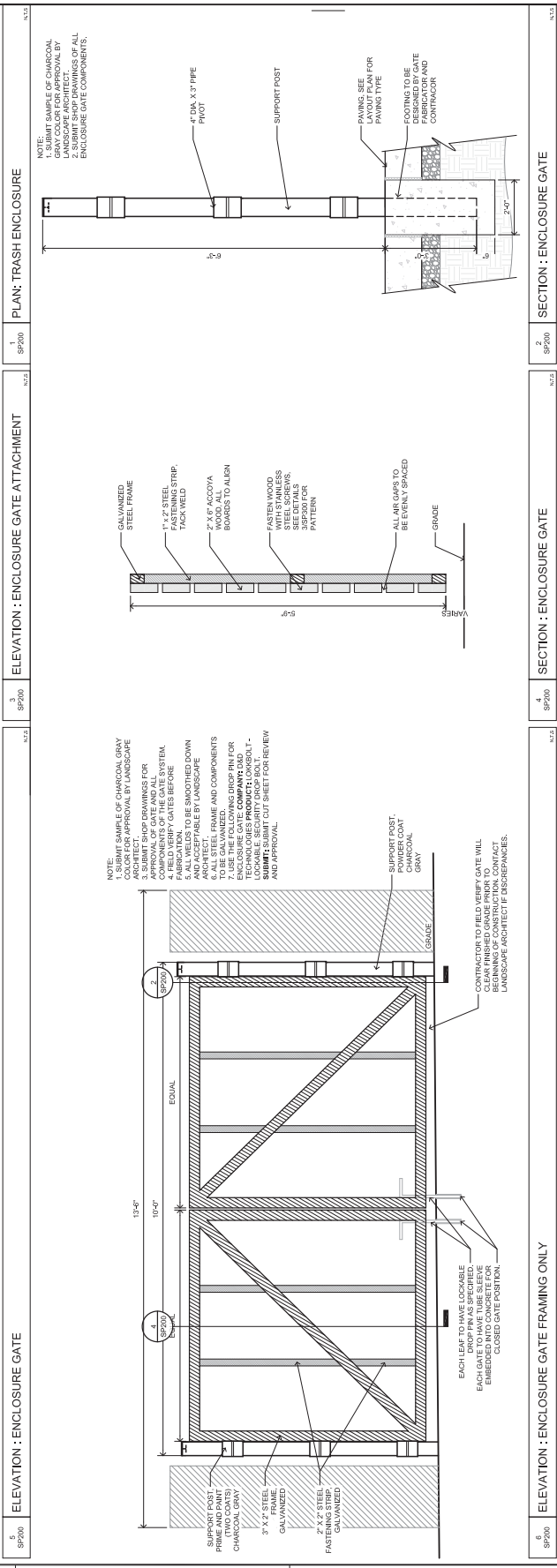
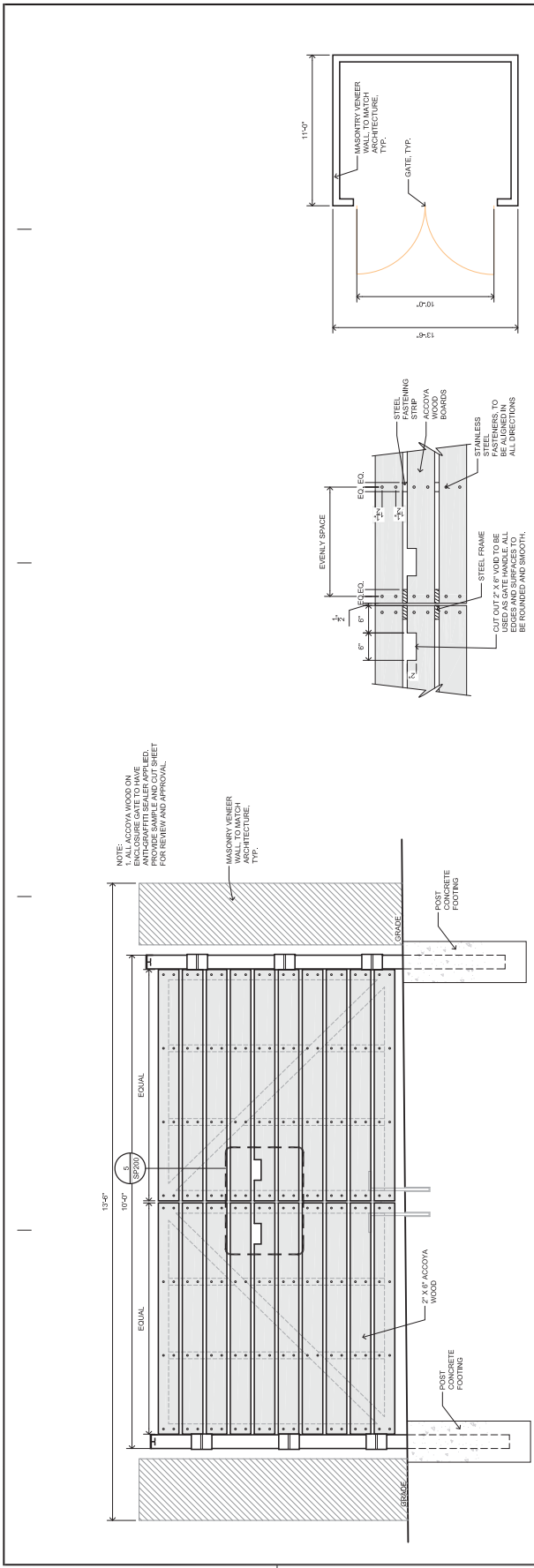
SITE PLAN

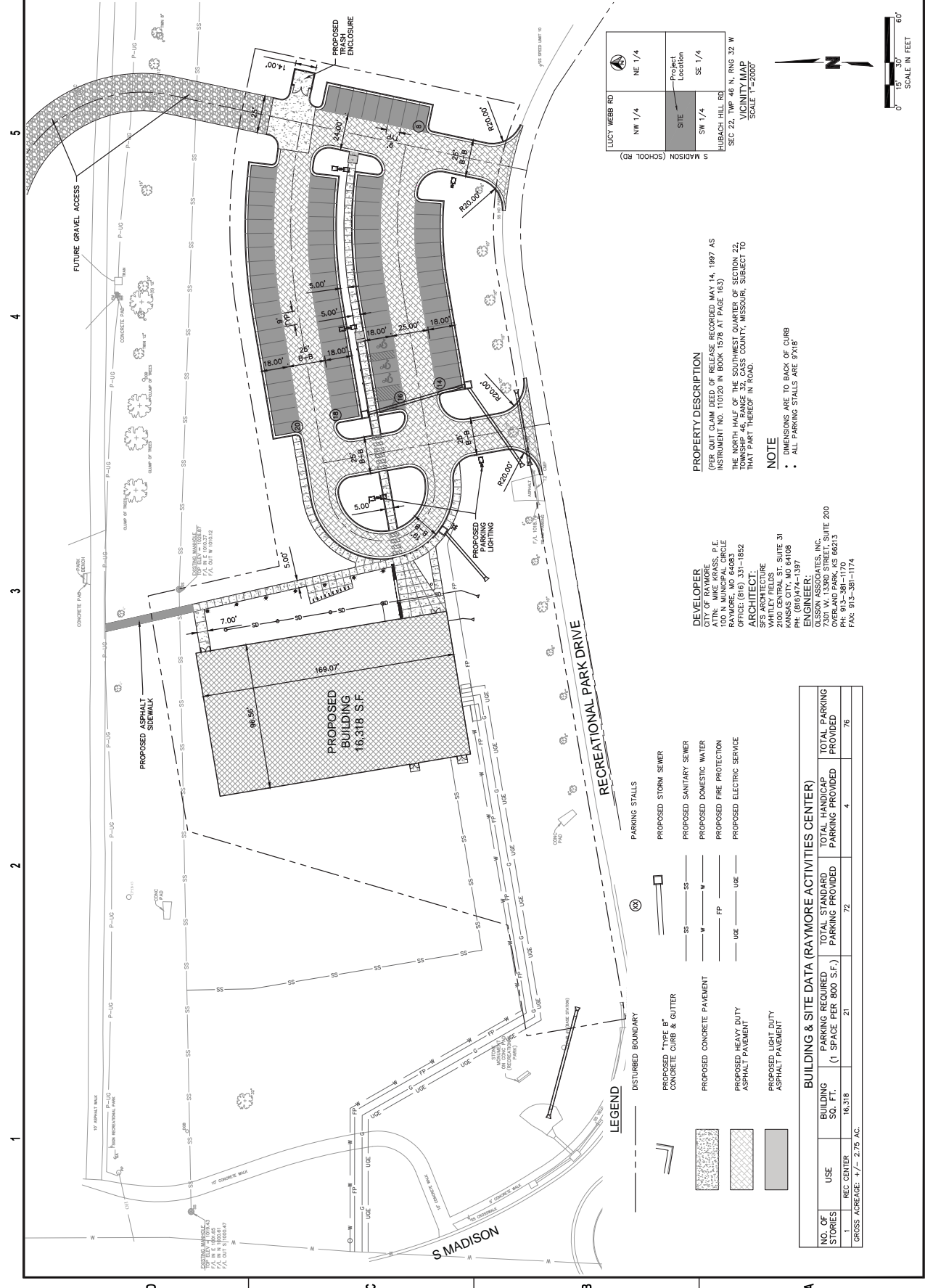
ISSUE DATE: OCTOBER 14, 2016

ISSUED FOR PERMIT REVIEW

SPS PROJECT NO: 15920







LUCY WEBB RD	NE 1/4	Plot Location	SE 1/4
	NW 1/4	SITE	SW 1/4
SEC 22, TWP 46 N, RNG 32 W			
VICINITY MAP			
SCALE: 1"=20'-0"			

**PROPERTY DESCRIPTION**  
(PER QUIT CLAIM DEED OF RELEASE RECORDED MAY 14, 1997 AS INSTRUMENT NO. 110120 IN BOOK 1576 AT PAGE 163) THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 46 NORTH, RANGE 32 WEST, COUNTY, MISSOURI, SUBJECT TO THAT PART THEREOF IN FLOOD.

**NOTE**  
• DIMENSIONS ARE TO BACK OF CURB  
• ALL PARKING STALLS ARE 9'X18'

**DEVELOPER**  
OLSSON ASSOCIATES, INC.  
ATTN: MIKE KRASS, P.E.  
100 N MUNICIPAL CIRCLE  
COLUMBIA, MO 65208  
PH: (616) 551-1862

**ARCHITECT:**  
SFS ARCHITECTURE  
WHILEY FIELDS  
2000 CENTRAL ST, SUITE 31  
COLUMBIA, MO 65208  
PH: (816) 744-1387

**ENGINEER:**  
OLSSON ASSOCIATES, INC.  
7301 W. 133RD STREET, SUITE 200  
COLUMBIA, MO 65213  
PH: 913-881-1170  
FAX: 913-381-1174

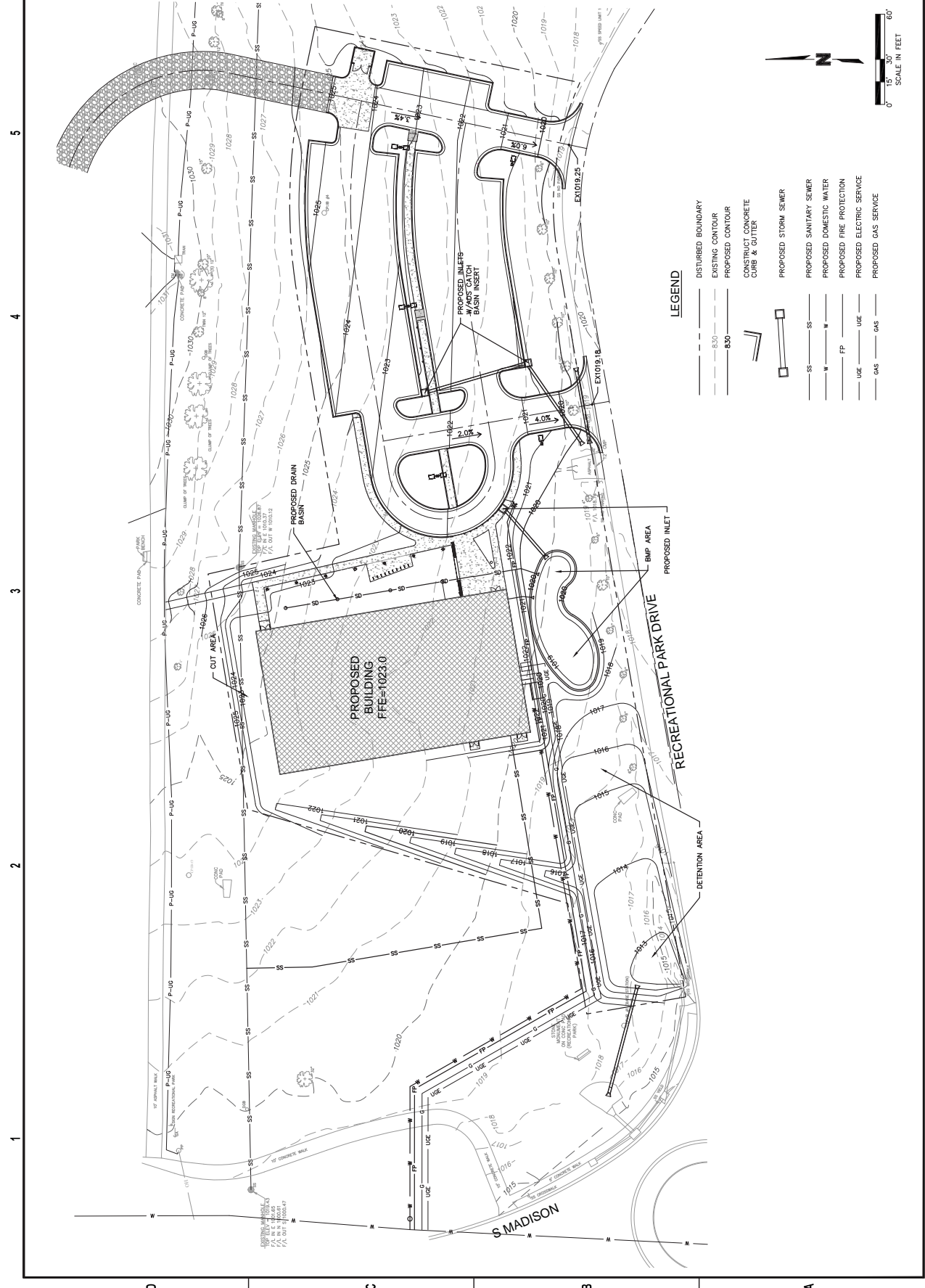
**LEGEND**

	DISTURBED BOUNDARY
	PROPOSED "TYPE B" CONCRETE CURB & GUTTER
	PROPOSED CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED DOMESTIC WATER
	PROPOSED FIRE PROTECTION
	PROPOSED ELECTRIC SERVICE

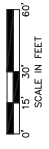
**BUILDING & SITE DATA (RAYMORE ACTIVITIES CENTER)**

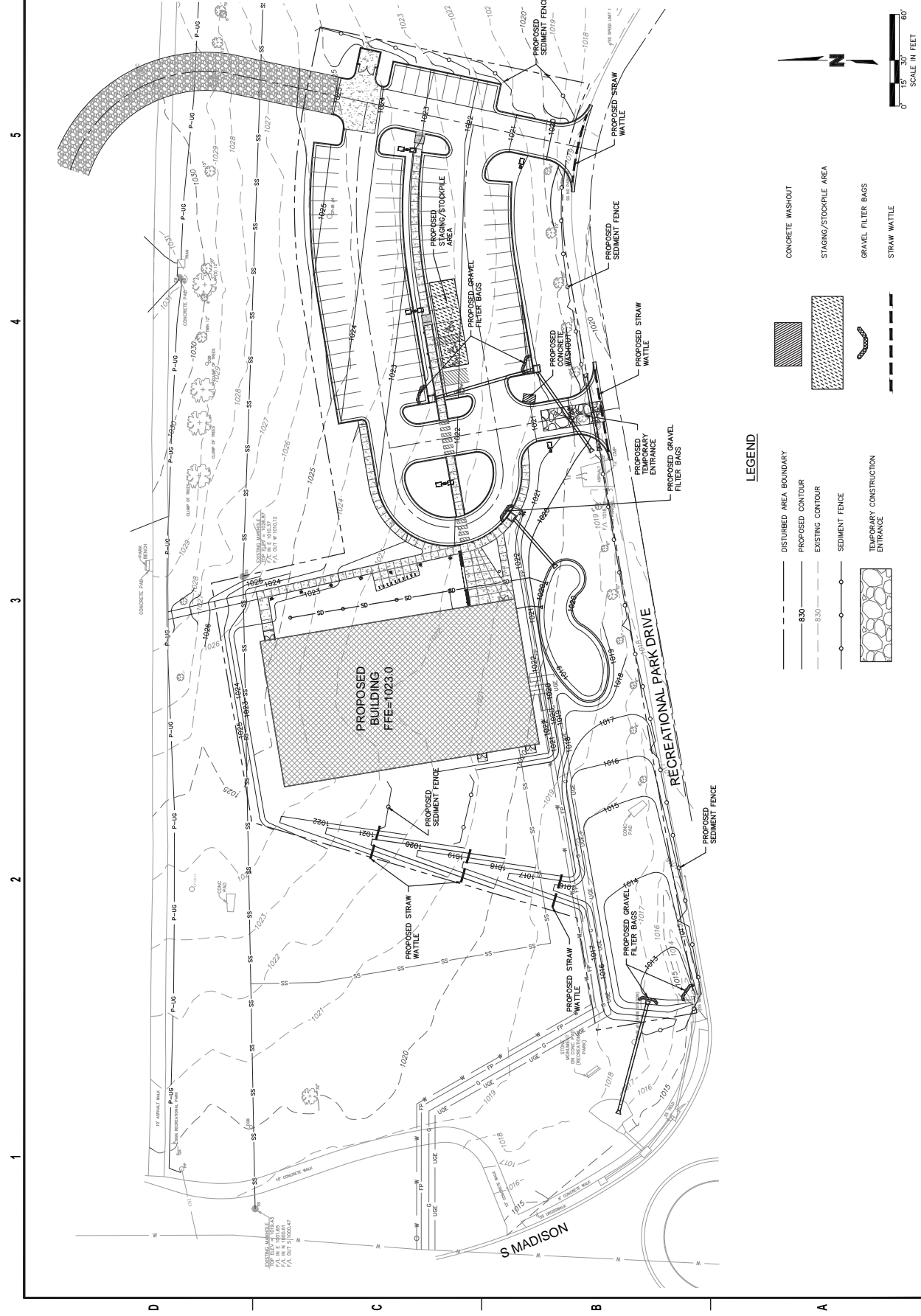
NO. OF STORES	USE	BUILDING SQ. FT.	PARKING REQUIRED (1 SPACE PER 800 S.F.)	TOTAL STANDBY PARKING PROVIDED	TOTAL HANDICAP PARKING PROVIDED	TOTAL PARKING PROVIDED
	REC CENTER	16,318	21	72	4	76
GROSS ACREAGE: 77-2.75 AC.						





- LEGEND**
- DISTURBED BOUNDARY
  - - - - - EXISTING CONTOUR
  - — — — — PROPOSED CONTOUR
  - — — — — 8.00
  - — — — — 8.30
  - — — — — PROPOSED STORM SEWER
  - — — — — PROPOSED SANITARY SEWER
  - — — — — PROPOSED DOMESTIC WATER
  - — — — — PROPOSED FIRE PROTECTION
  - — — — — PROPOSED ELECTRIC SERVICE
  - — — — — PROPOSED GAS SERVICE





1 2 3 4 5





**NOT FOR CONSTRUCTION**



**RAYMORE ACTIVITY CENTER**

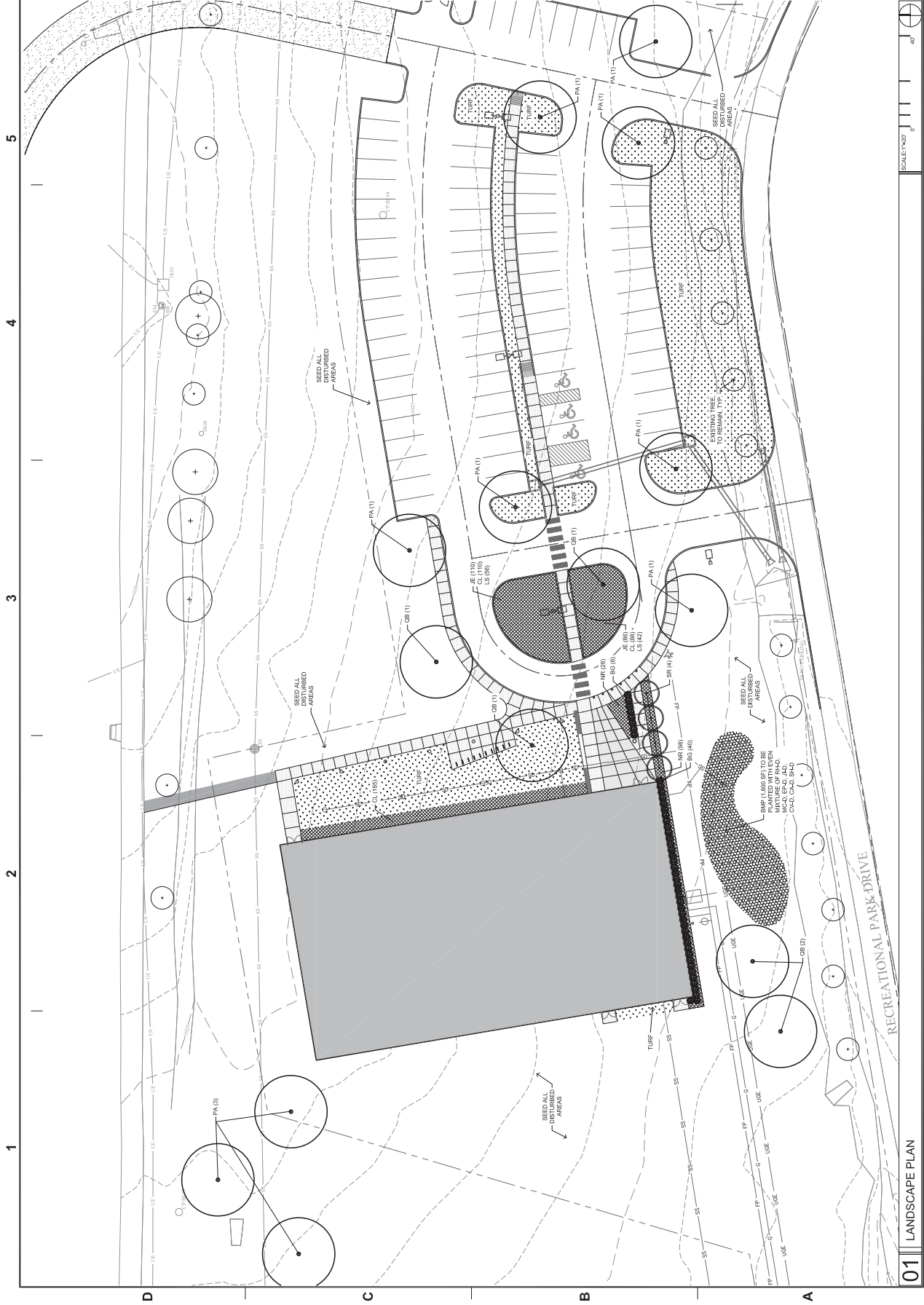
City of Raymore  
 1101 S. Madison Street  
 Raymore, MO 64083

WORK DATE: 03/20/2016

SFS PROJECTING: 03/20/16  
 ISSUED FOR PERMIT PLAN REVIEW  
 ISSUE DATE: OCTOBER 14, 2016  
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**LANDSCAPE PLAN**

**L101**



SCALE: 1"=50'

**01** LANDSCAPE PLAN





# RAYMORE ACTIVITY CENTER

City of Raymore  
 1101 S. Madison Street  
 Raymore, MO 64083

WORK DATE: 03/28/2020

SP PROJECT NO: 1590  
 SBL FOR SITE PLAN REVIEW  
 SBL DATE: 03/10/2020  
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 FLOOR PLAN

# A111

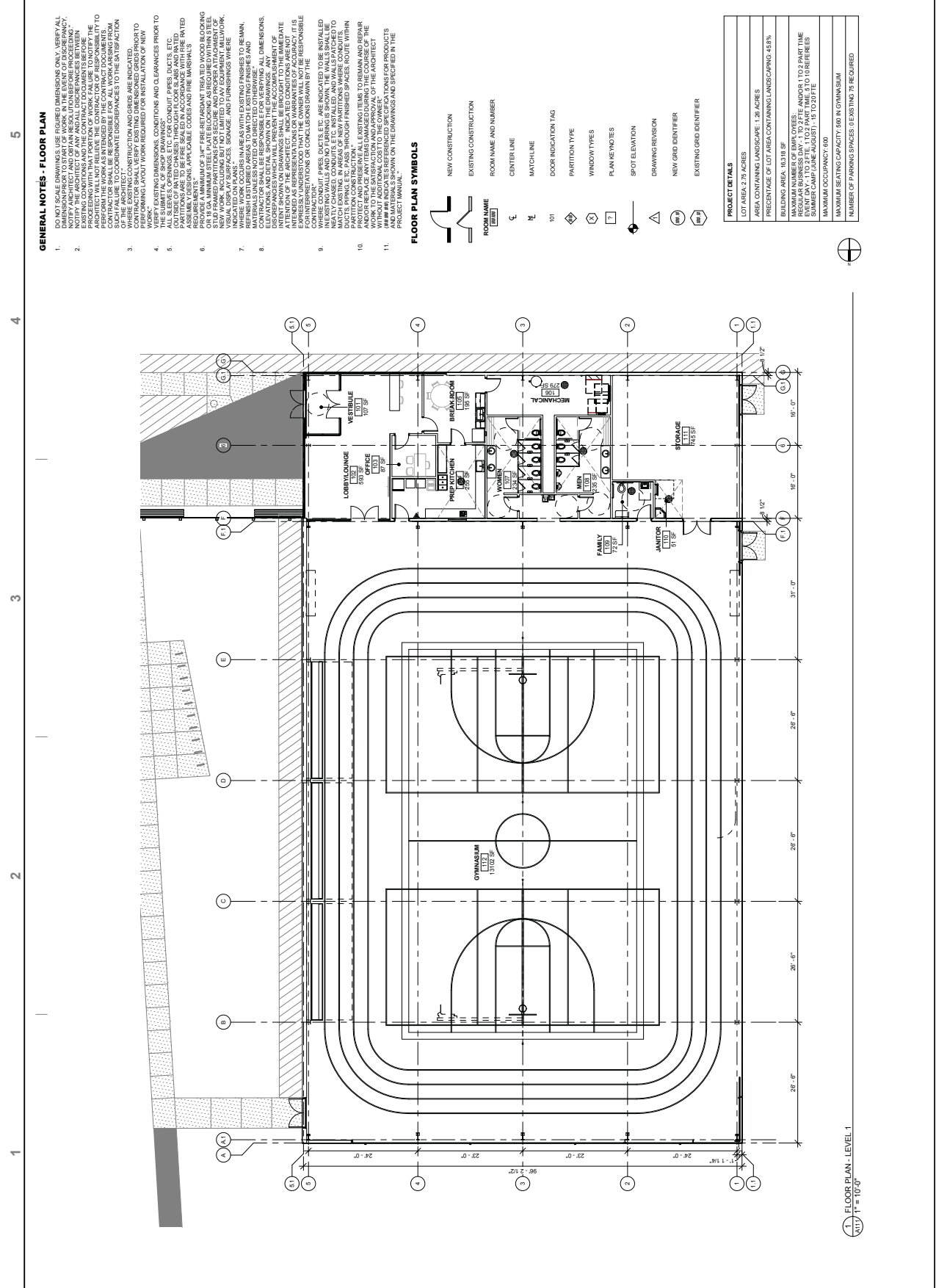
## GENERAL NOTES - FLOOR PLAN

- DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. IN THE EVENT OF DISCREPANCY, NOTIFY THE ARCHITECT OF ANY AREAS OF DISCREPANCY BETWEEN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AND ALL NECESSARY REGULATORY AGENCIES WITH THAT PORTION OF WORK CALLED TO OUTLINE THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ARISING FROM THE ARCHITECT'S ORIGINAL DIMENSIONS TO THE SATISFACTION OF THE ARCHITECT.
- VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF WORK. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO PERFORMING LAYOUT WORK REQUIRED FOR INSTALLATION OF NEW WORK.
- VERIFY EXISTING DIMENSIONS, CONDITIONS AND CLEARANCES PRIOR TO START OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AND ALL NECESSARY REGULATORY AGENCIES WITH THAT PORTION OF WORK CALLED TO OUTLINE THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ARISING FROM THE ARCHITECT'S ORIGINAL DIMENSIONS TO THE SATISFACTION OF THE ARCHITECT.
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## FLOOR PLAN SYMBOLS

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- ROOM NAME AND NUMBER
- CENTER LINE
- MATCH LINE
- DOOR INDICATION TAG
- PARTITION TYPE
- WINDOW TYPES
- PLAN KEYNOTES
- SPOT ELEVATION
- DRAWING REVISION
- NEW GRID IDENTIFIER
- EXISTING GRID IDENTIFIER

PROJECT DETAILS	
LOT AREA: 2.75 ACRES	AREA CONTAINING LANDSCAPE: 1.28 ACRES
PERCENTAGE OF LOT AREA CONTAINING LANDSCAPE: 4.68%	BUILDING AREA: 163,318 SF
MAXIMUM NUMBER OF EMPLOYEES: 100	REGULAR BUSINESS HOURS: 8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY
MAXIMUM OCCUPANCY: 600	MAXIMUM SEATING CAPACITY: 500 IN GYMNASIUM
NUMBER OF PARKING SPACES: 0	EXISTING: 75 REQUIRED



1. FLOOR PLAN - LEVEL 1  
 1/4" = 10'-0"

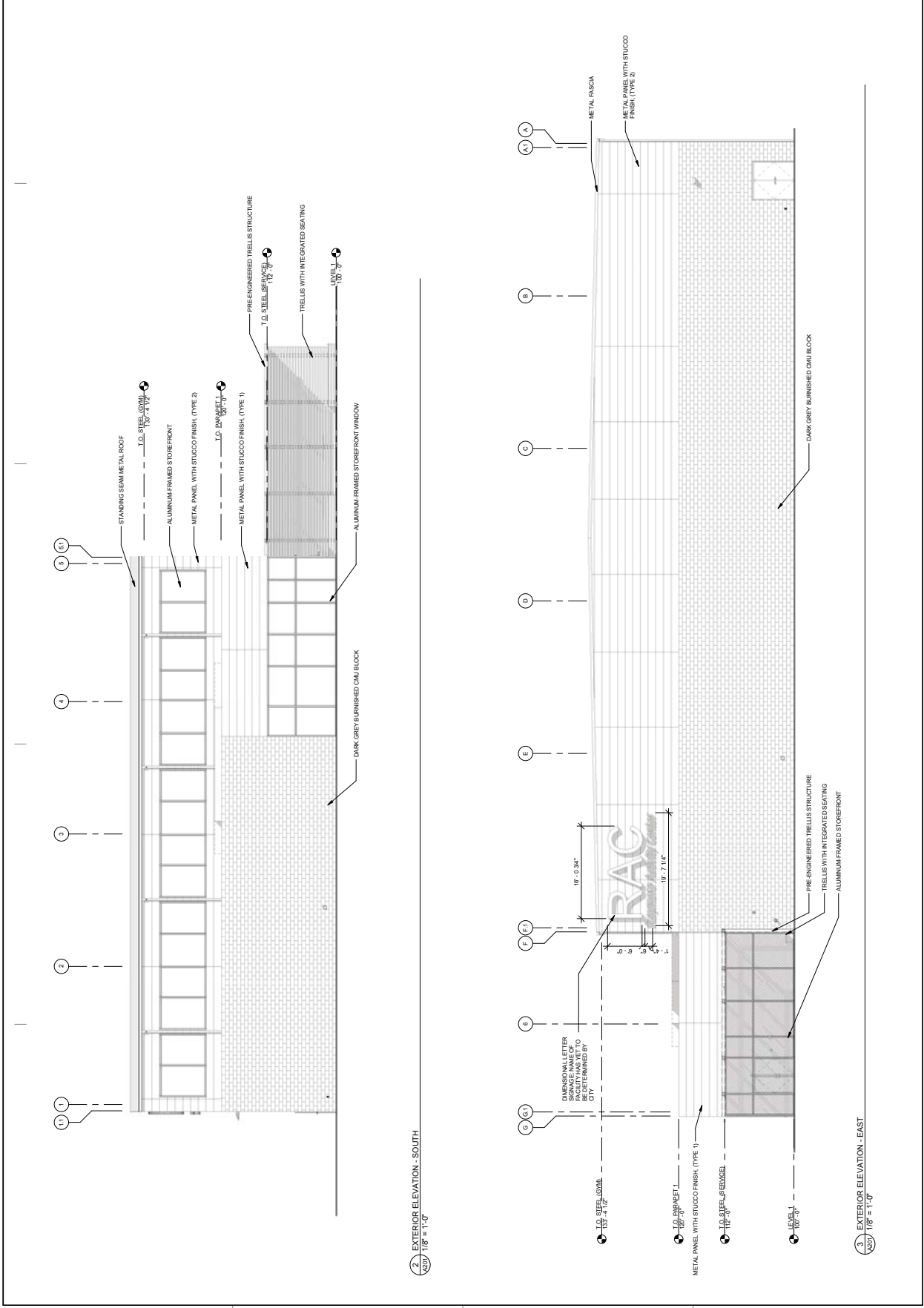


WORK DATE: 11/23/2016

SFS PROJECT NO. 6570  
 SFS FOR SITE PLAN REVIEW  
 SHEET DATE: 11/23/2016  
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**EXTERIOR  
 ELEVATIONS**

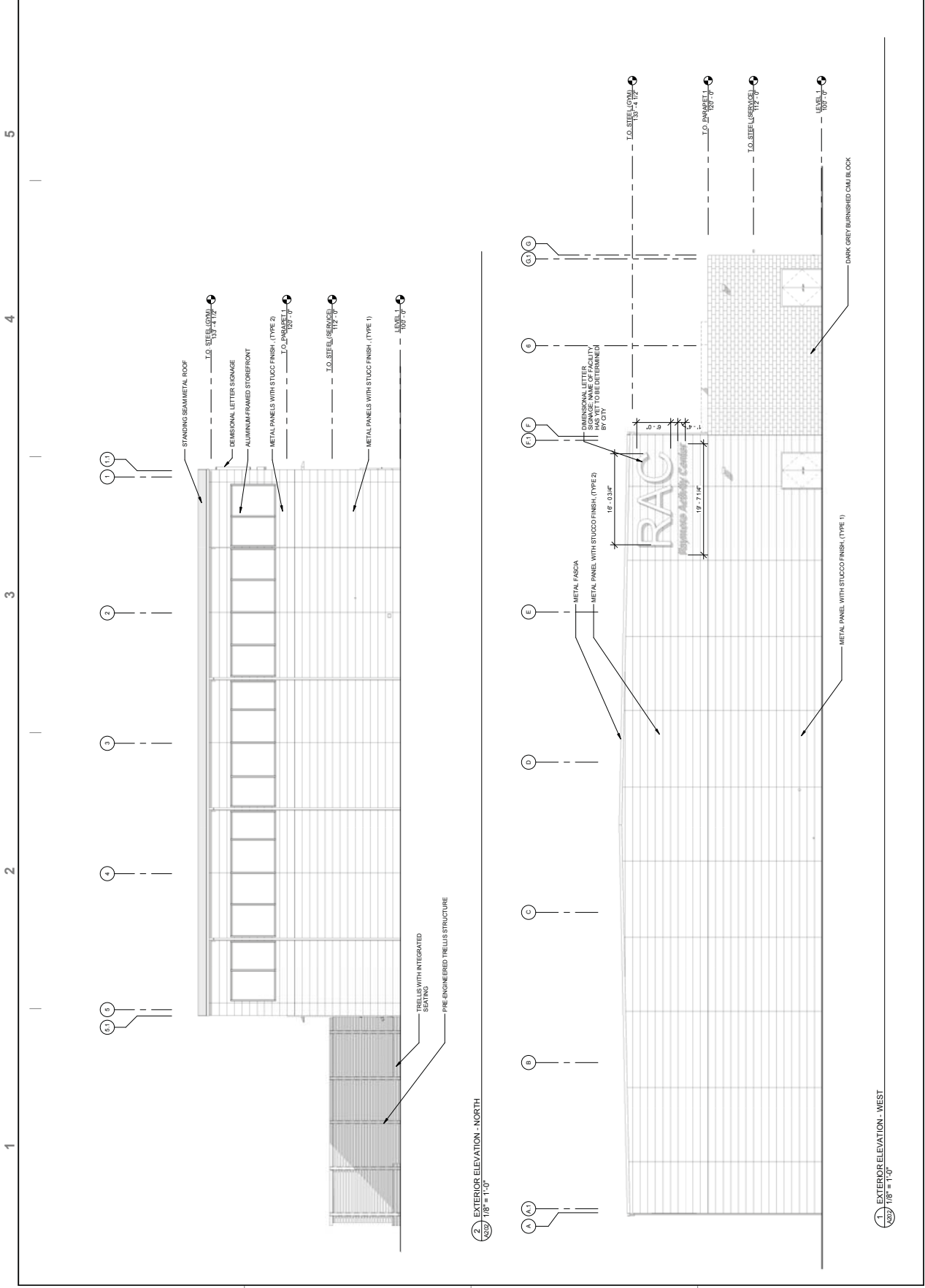
**A201**

1 2 3 4 5



1 EXTERIOR ELEVATION - SOUTH  
 1/8" = 1'-0"

2 EXTERIOR ELEVATION - EAST  
 1/8" = 1'-0"



2. EXTERIOR ELEVATION - NORTH  
 1/8" = 1'-0"

1. EXTERIOR ELEVATION - WEST  
 1/8" = 1'-0"









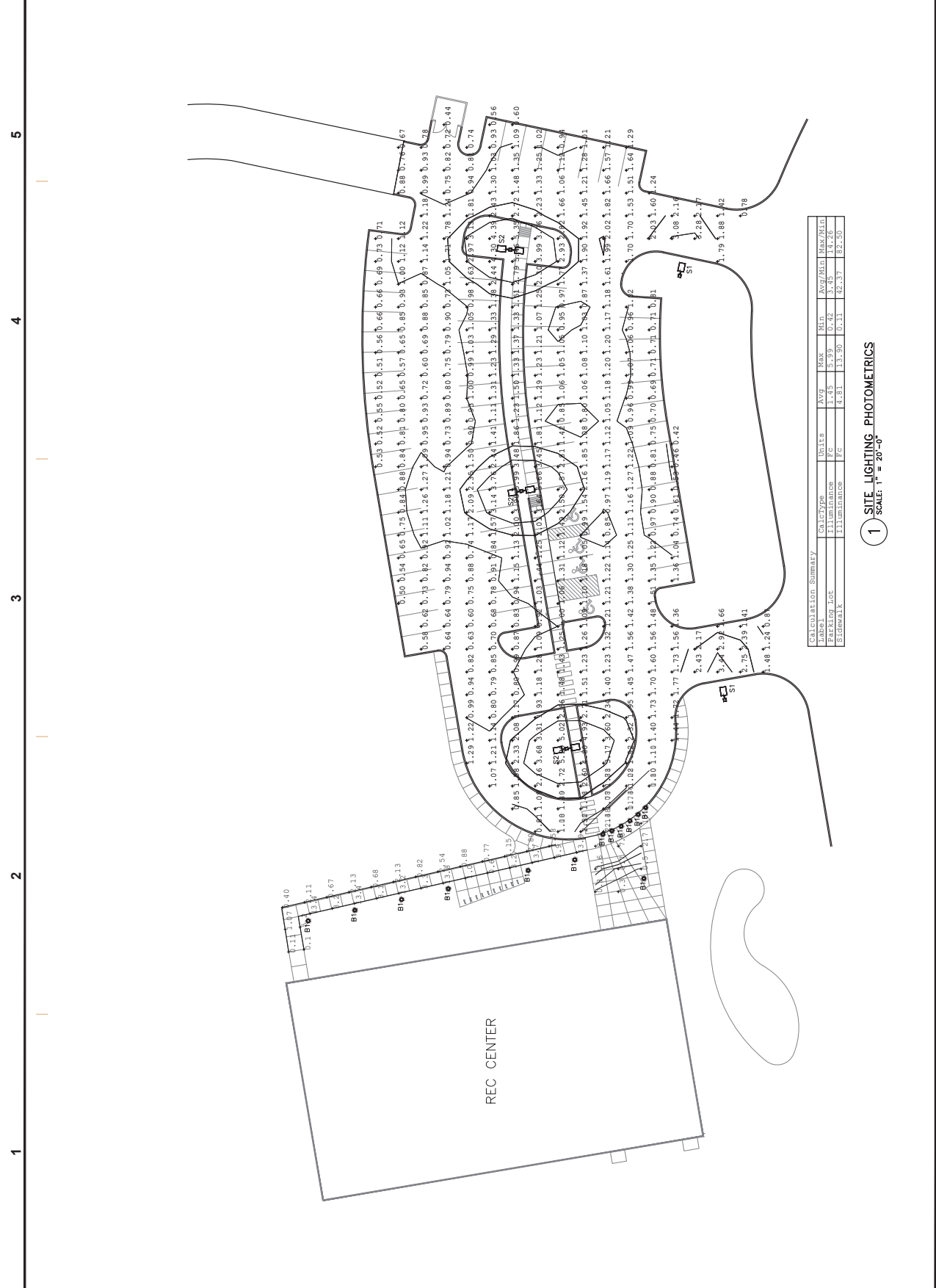
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RAYMORE ACTIVITY CENTER  
 City of Raymore  
 1101 S. Madison Street  
 Raymore, MO 64083

WORK DATE: 08/20/2016

SEPARATING LINE	
SUBJECT OR OTHER VIEW	
SHEET NO. 04/08	

**SITE LIGHTING PHOTOMETRICS**  
**E102**



Calculation Summary		FC	MIN	MAX	Avg	MIN	MAX	Avg
PACKING LOT	ILLUMINANCE	FC	1.45	5.99	3.42	3.42	14.26	4.24
SIDEWALK	ILLUMINANCE	FC	4.81	13.90	9.13	42.37	82.50	56.90

1 SITE LIGHTING PHOTOMETRICS  
 SCALE: 1" = 20'-0"