

# PANDA EXPRESS

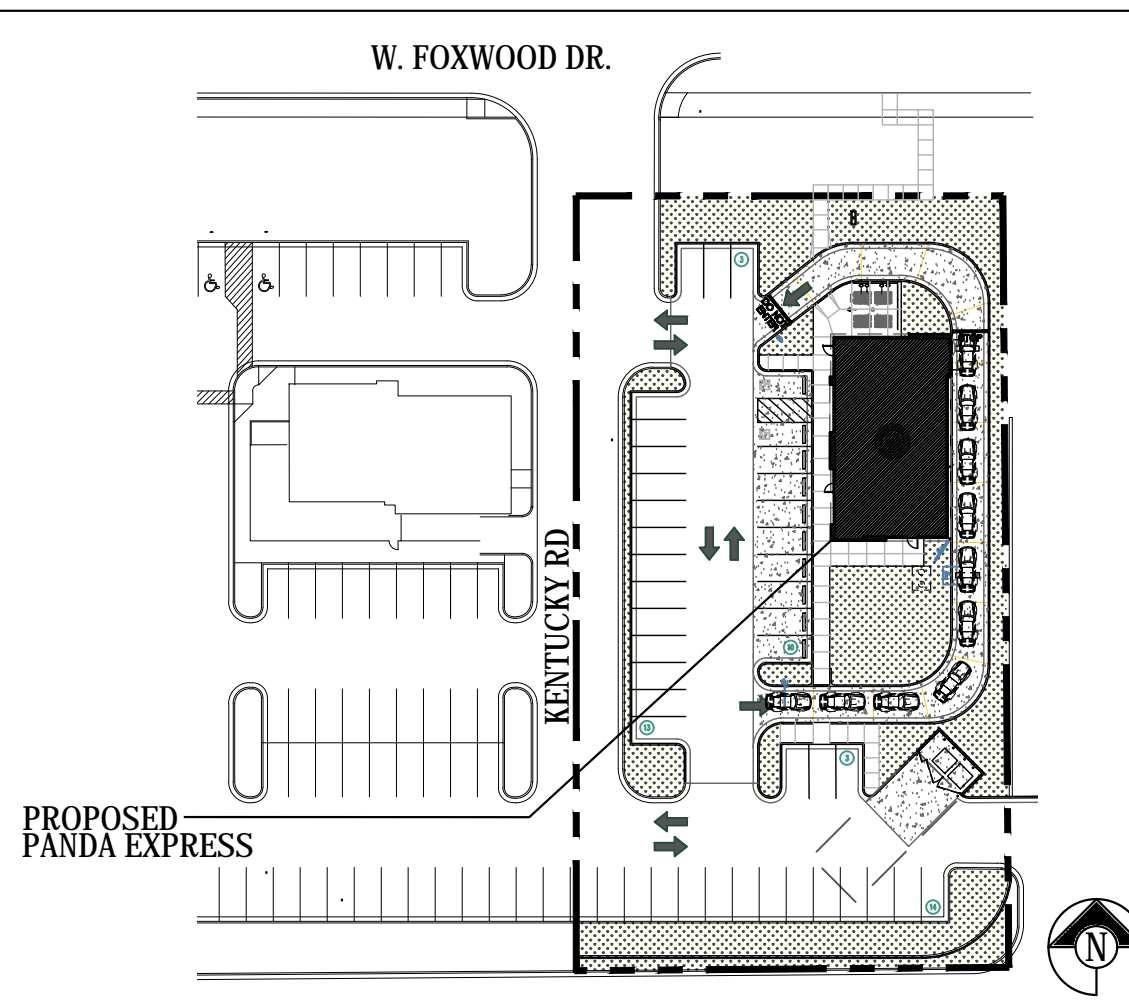


## S8-17-D4987

### 1927 WEST FOXWOOD DRIVE RAYMORE, MO64083



PROPOSED PANDA EXPRESS



KEY PLAN

- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FULLY EXAMINE THE SITE CONDITION, AND AVAILABLE UTILITIES AND TO NOTIFY THE OWNER'S REPRESENTATIVE, IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN THE SAID EXISTING CONDITIONS AND THESE DRAWINGS. NO CLAIMS FOR ADDITIONAL COMPENSATION SHALL BE MADE OR SHALL BE VALID UNLESS WRITTEN NOTIFICATION IS RECEIVED BY THE OWNER'S REPRESENTATIVE AND THE ADDITIONAL COMPENSATION IS APPROVED IN ADVANCE OF PROCEEDING WITH THE WORK.
- IN ADDITION TO THE GENERAL NOTES LISTED HEREIN, A.I.A. DOCUMENT A201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL APPLY.
- ALL WORK SHALL BE PERFORMED AS TO COMPLY WITH ALL GOVERNING STATUTES, ORDINANCES, REGULATIONS, CODES AND INSURANCE RATING BOARDS. NO WORK SHALL COMMENCE UNTIL ALL GOVERNMENTAL AND JURISDICTIONAL PERMITS AND APPROVALS ARE OBTAINED.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER AND SHALL BE IN GOOD AND USABLE CONDITION AT THE DATE OF COMPLETION THEREOF.
- UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR INSTALL OR PERMIT TO BE INSTALLED, ANY MATERIALS CONTAINING ASBESTOS.
- THE TERM "OWNER" OR "TENANT" SHALL REFER TO PANDA EXPRESS AND ITS AGENTS OR REPRESENTATIVES. THE TERM "GENERAL CONTRACTOR" AND "G.C." SHALL REFER TO THE PERSON AND/OR PERSONS WHO HAVE CONTRACTED OR SUBCONTRACTED FOR THE WORK.
- THE ABBREVIATION OF "N.I.C." INDICATES WORK OR MATERIAL THAT IS NOT IN THE CONTRACT OF THE GENERAL CONTRACTOR, HOWEVER THIS DOES NOT RELIEVE THE G.C. OF THE RESPONSIBILITY OF COORDINATION.
- NOT USED.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDIVIDUALLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
- ALL WALL & CEILING CONSTRUCTION SHALL BE SUPPORTED BY STRUCTURE & NOT BY ROOF DECK IF APPLICABLE.

GENERAL NOTES

Scale= NTS **G-001**

VICINITY MAP

Scale= NTS **G-001**

KEY PLAN

Scale= NTS **G-001**

AFF	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
BV	BALL VALVE (FULL PORT)
B.O.	BOTTOM OF
C.	CONDUIT
CO	CONDUIT ONLY
CW	COLD WATER
(E)	EXISTING
EC	ELECTRICAL CONTRACTOR
EW	ELECTRICAL WATER HEATER
EXT.	EXTERIOR
FOF	FACE OF FINISH
FOS	FACE OF STUD
F.S.	FLOOR SINK
G.C. OR GC	GENERAL CONTRACTOR
H.W.	HOT WATER
ID	INDIRECT DRAIN
INT.	INTERIOR
K.E.C.	KITCHEN EQUIP. CONTRACTOR
L.L.	LANDLORD
MC	MECHANICAL CONTRACTOR
(N)	NEW
NC	NOT IN CONTRACT
NTS	NOT TO SCALE
OA	OUTSIDE AIR
O.C.	ON CENTER
PC	PLUMBING CONTRACTOR
RAR	RETURN AIR REGISTER
R.H.	ROUGH-IN HEIGHT
S.S.	STAINLESS STEEL
STL.	STEEL
STRUCT.	STRUCTURE, STRUCTURAL
T.O.	TOP OF
WCO	WASTE CLEAN OUT

(DI)	DOOR TYPE
(W1)	WINDOW TYPE
(TA)	FLOOR FINISH
(W4)	WALL TYPE
(I)	STRUCTURAL GRID
(C1)	CEILING FINISH
(P-C)	WALL FINISH
(34)	KITCHEN EQUIPMENT
(101)	ROOM NUMBER
(ELEVATION MARK)	MARK OF ELEVATION
(A/A1.0)	DETAIL
(1/A-2.0)	INT. ELEVS
(A/A2.0)	SECTION
(NEW DOOR)	NEW DOOR
(TEMPERED GLAZING)	TEMPERED GLAZING
(A/A2.0)	EXT. ELEVS

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

<b>CODE</b>	INTERNATIONAL BUILDING CODE 2012	INTERNATIONAL FIRE CODE 2012	UNIFORM MECHANICAL CODE 2012	UNIFORM PLUMBING CODE 2012	NATIONAL ELECTRICAL CODE 2011	INTERNATIONAL ENERGY CONSERVATION CODE 2009	ADA / ICC/ANSI A117 2009	NFPA 101 LIFE SAFETY CODE 2009	
<b>SITE INFORMATION</b>	SITE AREA 38,894 SQ. FT.	LOT COVERAGE (FLOOR AREA RATIO) 0.07	LANDSCAPE PROVIDED 8,892 SQ. FT.	PARKING PROVIDED 43					
<b>PANDA EXPRESS</b>	RESTAURANT AREA 2,572 S.F.	EMPLOYEES 3	INDOOR SEATING 62	OUTDOOR SEATING 16					
<b>OCCUPANT LOAD CALCULATION</b>	INDOOR DINING 1139 SQ. FT. / (15 / SQ. FT.) = 76	KITCHEN 1075 SQ. FT. / (200 / SQ. FT.) = 05	TOILET/VESTIBULE/STORAGE 240 SQ. FT. / (0 / SQ. FT.) = 00	COOLER/FREEZER ROOMS 94 SQ. FT. / (0 / SQ. FT.) = 00	TOTAL = 81	OUTDOOR DINING 150 SQ. FT. / (15 / SQ. FT.) = 10	TOTAL OCCUPANT LOAD = 91		
<b>BUILDING CODE ANALYSIS</b>	OCCUPANCY CLASSIFICATION GROUP A-2 (ASSEMBLY)	TYPE OF CONSTRUCTION V-B	FIRE SPRINKLER NO SPRINKLER						
	HEIGHT 23' 0"	STORY 1	AREA 2,572 SQ. FT.	OCCUPANT LOAD 91	EGRESS WIDTH 120"	REQUIRED / ALLOWED 40' 0"	1	6,000 SQ. FT.	81 X 0.2 = 16.2"

CODE ANALYSIS

Scale= NTS **G-001**

<b>OWNER</b> ALEX PHELPS PANDA RESTAURANT GROUP 1683 WALNUT GROVE AVE. ROSEMEAD, CA 91770 T: 626.799.9898 / 303.568.9523 F: 626.372.8288	<b>ARCHITECT</b> KLOVER ARCHITECTS 10955 LOWELL AVE. SUITE 700 OVERLAND PARK, KS 66210 T: 913.649.8181	<b>STRUCTURAL</b> BRITT, PETERS AND ASSOCIATES INC 101 W. CAMPERDOWN WAY, SUITE 601 GREENVILLE, SC 29601 T: 864.271.8869 F: 864.233.5140	<b>CIVIL</b> BRC RHODES JAY O'DELL 7101 COLLEGE BLVD. STE. 400 OVERLAND PARK, KS 66210 T: 913.488.5584 JAY.ODELL@BHC.COM
<b>LANDLORD</b> ATTORNEY MARY JANE JUDY 900 W. 48TH PLACE SUITE 908 KANSAS CITY, MO 64112 T: 816.572.4585 MUDDY@POSNELL.COM	<b>MECHANICAL PLUMBING, ELECTRICAL</b> MPEC BEN NOE 7780 W. 119TH ST. OVERLAND PARK, KS 66213 T: 913.322.1400 BNOE@MPEC.COM		<b>LANDSCAPE</b> BRC RHODES JAY O'DELL 7101 COLLEGE BLVD. STE. 400 OVERLAND PARK, KS 66210 T: 913.488.5584 JAY.ODELL@BHC.COM

TEAM DIRECTORY

Scale= NTS **G-001**

<b>PLANNING/ZONING</b> JM CADORET 100 MUNICIPAL CIRCLE RAYMORE, MO 64083 T: 816.892.3030 JCADORET@RAYMORE.COM	<b>BUILDING DEPARTMENT</b> BUILDING INSPECTIONS JON WOERNER 100 MUNICIPAL CIRCLE RAYMORE, MO 64083 T: 816.331.7916 JWOERNER@RAYMORE.COM	<b>PUBLIC WORKS</b> MICHAEL KRASS 100 MUNICIPAL CIRCLE RAYMORE, MO 64083 T: 816.331.2377	<b>ELECTRIC</b> KCP&L T: 816.298.1196
<b>SEWER</b> MICHAEL KRASS 100 MUNICIPAL CIRCLE RAYMORE, MO 64083 T: 816.331.2377	<b>WATER</b> MICHAEL KRASS 100 MUNICIPAL CIRCLE RAYMORE, MO 64083 T: 816.331.2377	<b>GAS</b> MICHAEL KRASS 100 MUNICIPAL CIRCLE RAYMORE, MO 64083 T: 816.331.2377	<b>TELEPHONE COMPANY</b> AT&T JIM BRASHARD T: 816.275.1336
<b>FIRE DEPARTMENT</b> SOUTH METRO. FIRE RANDY POWERS 611 W. FOXWOOD DR. RAYMORE, MO 64083 T: 816.331.3008	<b>HEALTH DEPARTMENT</b> CASS COUNTY PUB. HEALTH DEPT. BRIAN KELLER 300 S. MAIN ST. HARRISONVILLE, MO 64701 T: 816.380.8428		

JURISDICTIONAL AUTHORITIES

Scale= NTS **G-001**

GENERAL					
G-001	TITLE SHEET	▲			
CIVIL					
C-1.0	SITE PLAN	●			
C-1.1	FIRE EXHIBIT	●			
C-2.0	UTILITY PLAN	●			
C-3.0	GRADING PLAN	●			
C-4.0	EROSION CONTROL	●			
C-5.0	DRAINAGE MAP	●			
LANDSCAPE					
L-1.0	LANDSCAPE PLAN				
L-1.1	LANDSCAPE DETAILS				
ARCHITECTURAL					
A-100	ARCHITECTURAL FLOOR PLAN				
A-200	EXTERIOR ELEVATIONS				
A-201	EXTERIOR ELEVATIONS				
A-407	PATIO & TRASH ENCLOSURE DETAILS				
ELECTRICAL					
E-106	SITE PHOTOMETRIC PLAN				

SHEET INDEX

Scale= NTS **G-001**



PANDA RESTAURANT GROUP INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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REVISIONS:

▲	CITY COMMENTS	10.20.16

ISSUE DATE:

1st	PLANNING	09.30.16

DRAWN BY: VTL

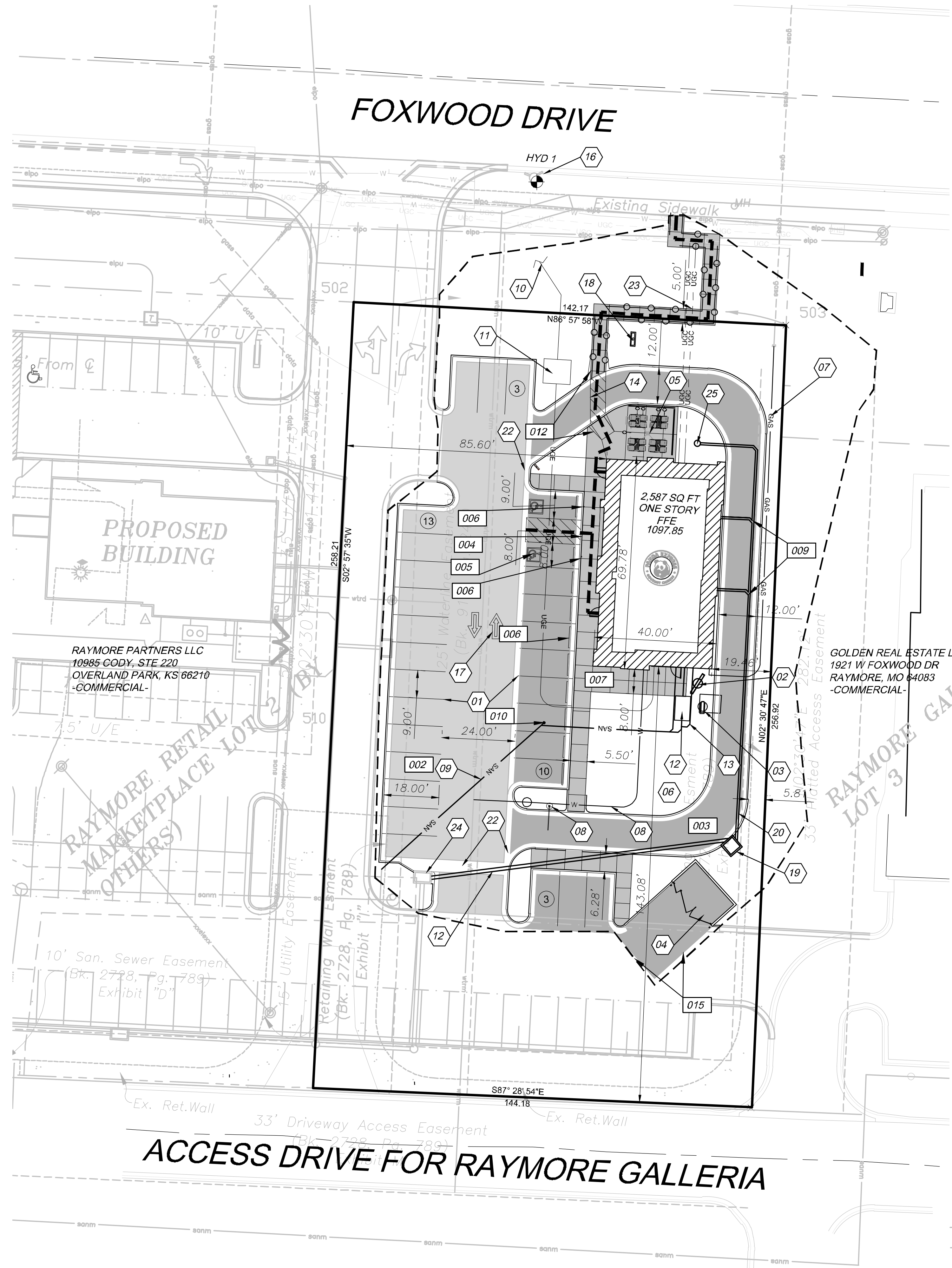
PANDA PROJECT #: S8-17-D4987  
ARCH PROJECT #: 16044.007

ARCHITECT:  
**kloverarchitects**  
10955 LOWELL AVENUE, SUITE 700  
OVERLAND PARK, KS 66210  
ph: 913.649.8181 • fx: 913.649.1275

**FOXWOOD AND DEAN  
PANDA EXPRESS**  
Foxwood and Dean  
1927 W. Foxwood Drive  
Raymore, MO 64083

# G-001

TITLE SHEET



**TOTAL SITE AREA :** 36,892 SQ FT (±0.84 ACRES)  
**DISTURBED AREA (APPROX) :** 30,456 SQ FT (±0.70 ACRES)  
**IMPERVIOUS AREA** 27,917 SQ FT (76.1%)  
**PERVIOUS AREA** 8,975 SQ FT (23.9%)

**PARKING DATA**  
**USEABLE FLOOR SPACE:** 2,587 SF  
**BUILDING CLASSIFICATION:** RESTAURANT  
**MINIMUM PARKING REQUIRED:** 21  
**(ONE (1) SPACE PER 4 SEATS)**  
**STANDARD STALLS PROVIDED:** 27  
**HANDICAP STALLS PROVIDED:** 2 (1 VAN)  
**TOTAL PARKING STALLS:** 29

**TRAFFIC IMPACT FOR FAST FOOD DRIVE-THRU RESTAURANT**

	WEEKDAY	SATURDAY	SUNDAY
ADJUSTED PEAK HOUR	89		
PEAK HOUR	46	59	72
DAILY TRAFFIC	1307	1902	1430

**UTILITY INFORMATION**

**CITY OF RAYMORE**  
 100 MUNICIPAL CIRCLE  
 RAYMORE, MO 64083  
 816-331-2377

**FIRE DEPARTMENT**  
 RANDY POWERS  
 816-331-3008

**AT&T**  
 JIM BRASHARD  
 816-275-1336

**KANSAS CITY POWER AND LIGHT**  
 CARMEN GEIER  
 816-737-7777 EXT 14402  
 CARMEN.GEIER@KCPL.COM

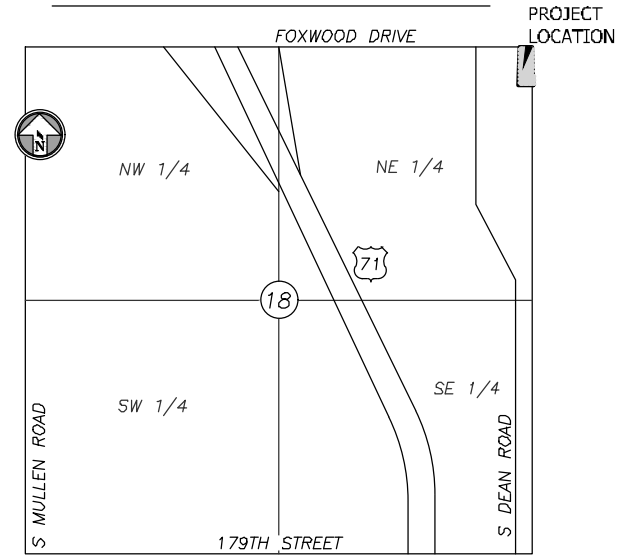
**MISSOURI GAS ENERGY**  
 CRAIG LAYMAN  
 816-520-5937  
 CRAIG.LAYMAN@THELACLEDEGROUP.COM

**PROJECT ADDRESS**  
 1927 W FOXWOOD DRIVE  
 RAYMORE, MO 64083

**OWNER INFORMATION**  
 RAYMORE PARTNERS LLC  
 10985 CODY, STE 220  
 OVERLAND PARK, KS 66210

**DEVELOPER INFORMATION**  
 PANDA RESTAURANT GROUP INC  
 1683 WALNUT GROVE AVE  
 ROSEMEAD CA 91770

**SITE INFORMATION**



**SECTION MAP**  
 SECTION 18-T46N-R32W  
 (NOT TO SCALE)

**VERTICAL BENCHMARK**

BENCHMARK DATUM IS NAVD 88:  
 CUT "+" IN SOUTH EAST FLANGE BOLT OF FIRE  
 HYDRANT.  
 ELEVATION 1106.26

**ZONING**

C-3

**BUILDING SETBACKS**

FRONT: 10'  
 SIDE: NONE  
 REAR: NONE  
 PARKING: NONE

**EXISTING FIRE HYDRANT LOCATION**

HYDRANT	N	E
HYD 1	963927.61	2790928.58

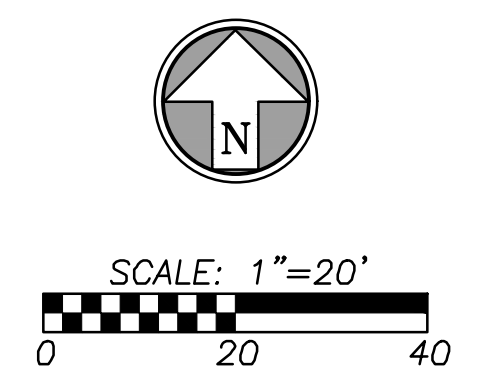
**CONSTRUCTION NOTES**

- 01 LEAD FREE, WATER-BORNE EMULSION BASED YELLOW TRAFFIC PAINT FOR PARKING LOT STALL STRIPING.
- 02 MENU BOARD. SEE SHEET A-405 FOR EXACT LOCATION.
- 03 DRIVE THRU SPEAKERBOX.
- 04 DUMPSTER SCREENING.
- 05 CONCRETE PATIO AND SEATING AREA.
- 06 SEE LANDSCAPE PLAN L1.0 FOR LOCATION AND MATERIAL OF PROPOSED PLANT MATERIALS AND EXISTING PLANTS TO REMAIN
- 07 3" GAS SERVICE LINE. EXTENSION TO PROPERTY DONE BY OTHERS
- 08 1 1/2" TYPE "K" COPPER FOR DOMESTIC WATER SERVICE LINE. ONE CONTINUOUS PIECE.
- 09 4" PVC FOR SANITARY SERVICE. FROM SANITARY STUB
- 10 ELECTRIC SERVICE CONNECTION. KCP&L TO FINALIZE DESIGN.
- 11 PROPOSED TRANSFORMER PAD LOCATION.
- 12 GREASE INTERCEPTOR.
- 13 2" VENT PIPE.
- 14 CROSSWALK STRIPING. SEE DETAIL 011 ON SHEET C8.1
- 15 DRIVE THRU CLEARANCE BAR.
- 16 EXISTING FIRE HYDRANT. DO NOT DISTURB
- 17 DIRECTION ARROW PAVEMENT MARKINGS. SEE DETAIL 014 ON SHEET C8.1
- 18 PROPOSED MONUMENT SIGN
- 19 INSTALL 4" X 4" CURB INLET
- 20 INSTALL 8" HDPE STORM PIPE
- 21 INSTALL 12" HDPE STORM PIPE. CONNECT INTO CURB INLET INSTALLED BY OTHERS
- 22 INSTALL VALLEY GUTTER
- 23 INSTALL HANDRAILS
- 24 INSTALL NYLOPLAST DRAIN BASIN

**DETAILS**

- 001 SEE CONSTRUCTION DETAILS - SHEET C8.1
- 002 CONCRETE CURB AND GUTTER
- 003 COMMERCIAL HMA PAVEMENT
- 004 MEDIUM DUTY CONCRETE PAVEMENT
- 005 TYPE "A" SIDEWALK RAMP (ADA COMPLIANT)
- 006 (ADA) ACCESSIBLE PARKING STRIPING
- 007 (ADA) ACCESSIBLE PARKING SIGNAGE
- 008 CONCRETE SIDEWALK SECTION
- 009 PARKING BLOCK.
- 010 ROOF DRAIN CONNECTIONS.
- 011 SANITARY CLEAN OUT
- 012 ADA ACCESSIBLE CROSSWALK MARKINGS
- 013 TYPE "B" SIDEWALK RAMP (ADA COMPLIANT)
- 014 CONCRETE WASHOUT
- 015 DIRECTIONAL ARROWS
- THICKENED EDGE

#	PARKING STALL COUNT	=====	CONCRETE CURB & GUTTER
■	CONCRETE PAVEMENT, MED DUTY	=====	EXISTING SANITARY SERVICE
■	CONCRETE SIDEWALK	=====	PROPERTY LINE
■	ASPHALT PAVEMENT, MED DUTY	=====	ADJACENT PROPERTY LINE
○	EXISTING FIRE HYDRANT	-----	BUILDING SETBACK LINES
○	EXISTING LIGHT POLE	-----	ADA ACCESSIBLE ROUTE
—	EXISTING WATER MAIN	-----	DISTURBED AREA (APPROX 0.97 ACRES)
—	EXISTING UNDERGROUND ELECTRIC	-----	STREET CENTERLINE
—	EXISTING EASEMENT	-----	PROPOSED DOMESTIC WATER LINE
—	EXISTING SANITARY SEWER MAIN	-----	PROPOSED SANITARY SEWER SERVICE LINE
—	EXISTING WATER SERVICE	-----	PROPOSED GAS SERVICE LINE
—	EXISTING GAS SERVICE	-----	PROPOSED UNDERGROUND ELECTRIC
—	PROPOSED STORM SEWER	-----	PROJECT BENCHMARK



PANDA RESTAURANT GROUP INC.  
 1683 Walnut Grove Ave.  
 Rosemead, California 1770  
 Telephone: 626.799.9898  
 Facsimile: 626.372.8288

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**REVISIONS:**

NO.	CITY COMMENTS	DATE
1		10.20.16

**ISSUE DATE:**

1st	PLANNING	DATE
		09.30.16

DRAWN BY: JDO

PANDA PROJECT #: S8-17-D4987  
 ARCH PROJECT #: 16044.007

ENGINEER  
 LICENSE #

ARCHITECT:



**FOXWOOD AND DEAN PANDA EXPRESS**

Foxwood and Dean  
 1927 W. Foxwood Drive  
 Raymore, MO 64083

**SITE PLAN**

**C1.0**



Oct 20, 2016 - 9:00am - Plotted By: jay.cedell  
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PLANNING SUBMITTAL 09.30.16



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ARCHITECT:

**hckloverarchitect**  
 10955 LOWELL AVENUE, SUITE 700  
 OVERLAND PARK, KS 66210  
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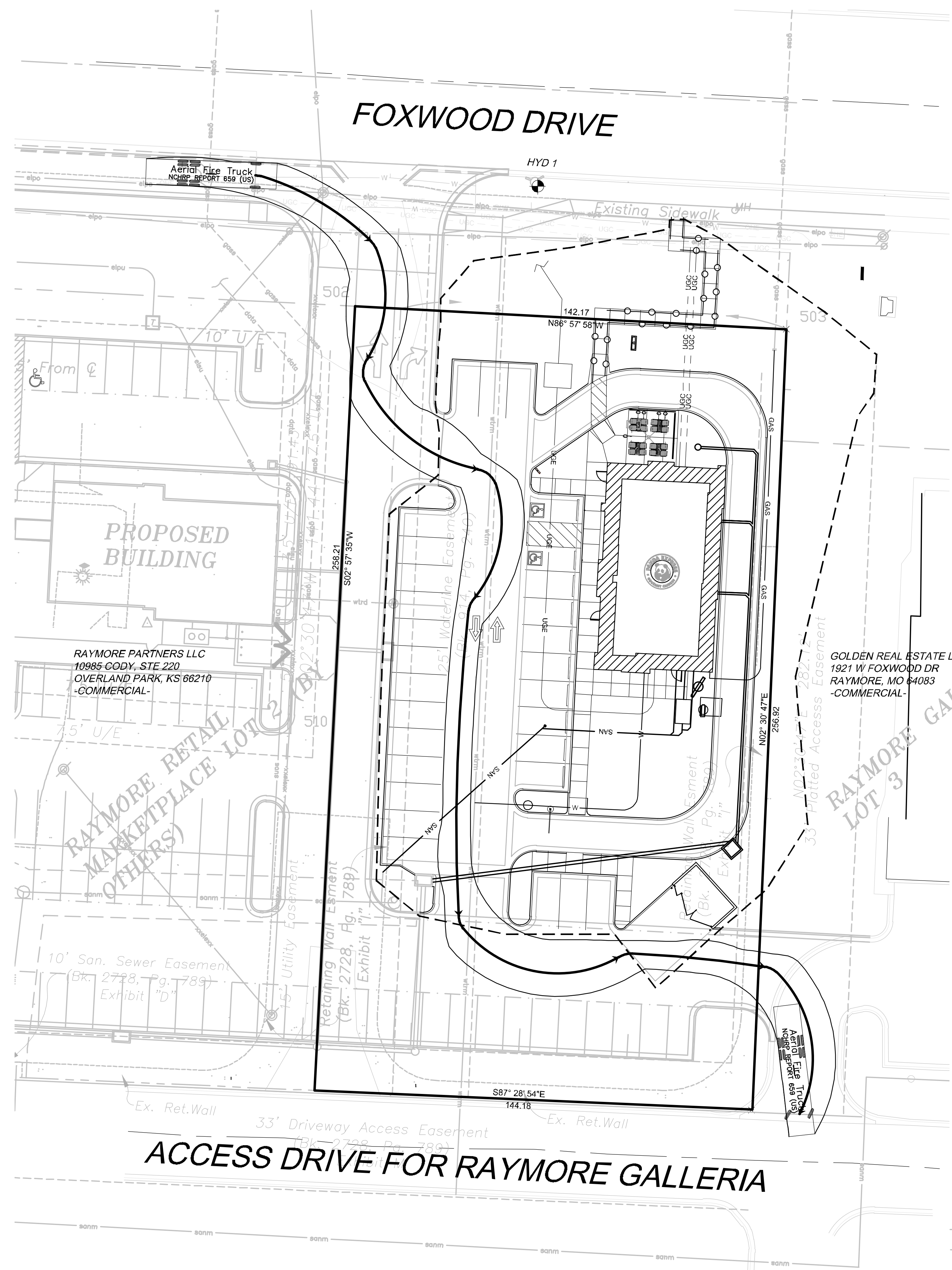
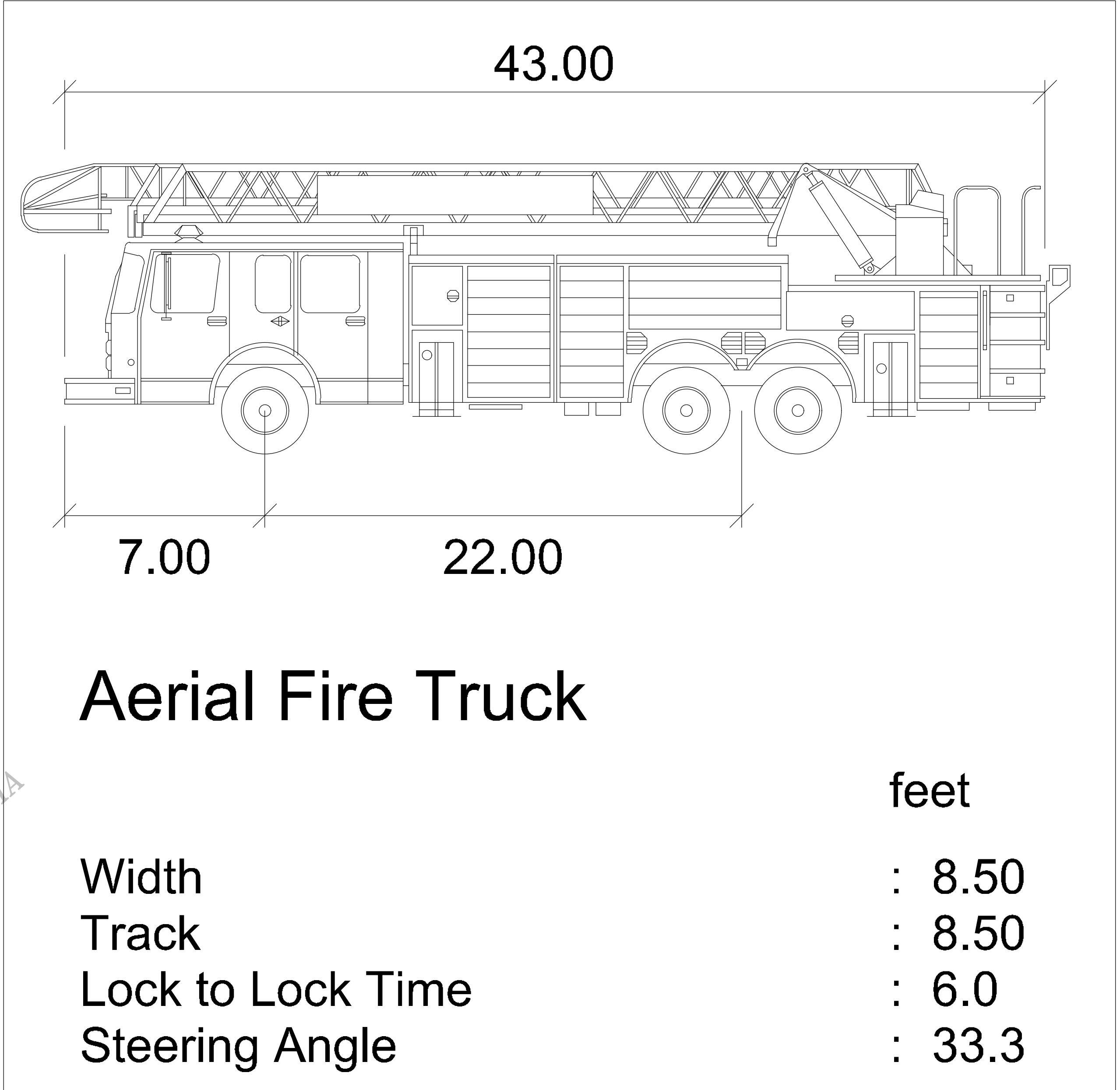
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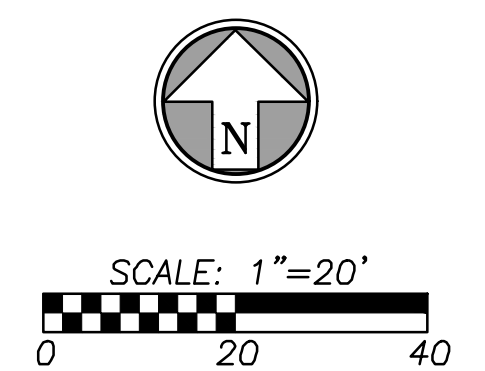
**FIRE EXHIBIT**

**C1.1**

PLANNING SUBMITTAL 09.30.16



#	PARKING STALL COUNT	=====	CONCRETE CURB & GUTTER
■	CONCRETE PAVEMENT, MED DUTY	-----	EXISTING SANITARY SERVICE
■	CONCRETE SIDEWALK	-----	PROPERTY LINE
■	ASPHALT PAVEMENT, MED DUTY	-----	ADJACENT PROPERTY LINE
○	EXISTING FIRE HYDRANT	-----	BUILDING SETBACK LINES
⊙	EXISTING LIGHT POLE	-----	ADA ACCESSIBLE ROUTE
-----	EXISTING WATER MAIN	-----	DISTURBED AREA (APPROX 0.97 ACRES)
-----	EXISTING UNDERGROUND ELECTRIC	-----	STREET CENTERLINE
-----	EXISTING EASEMENT	-----	PROPOSED DOMESTIC WATER LINE
-----	EXISTING SANITARY SEWER MAIN	-----	PROPOSED SANITARY SEWER SERVICE LINE
-----	EXISTING WATER SERVICE	-----	PROPOSED GAS SERVICE LINE
-----	EXISTING GAS SERVICE	-----	PROPOSED UNDERGROUND ELECTRIC
-----	PROPOSED STORM SEWER	⊙	PROJECT BENCHMARK



**BHC RHODES**  
 Civil Engineering • Surveying • Utilities  
 7101 College Blvd., Suite 400  
 Overland Park, Kansas 66210  
 p. (913) 663-1900 f. (913) 663-1633  
 BHC RHODES is a trademark of Brungarth Horowitz & Company, P.A.

Oct. 20, 2016 - 9:07am - Plotted By: jay.cedell



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ARCH PROJECT #: 16044.007

ENGINEER

LICENSE #

ARCHITECT:



10955 LOWELL AVENUE, SUITE 700  
OVERLAND PARK, KS 66210  
ph: 913.649.8181 • fx: 913.649.1275

FOXWOOD AND DEAN  
PANDA EXPRESS

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1927 W. Foxwood Drive  
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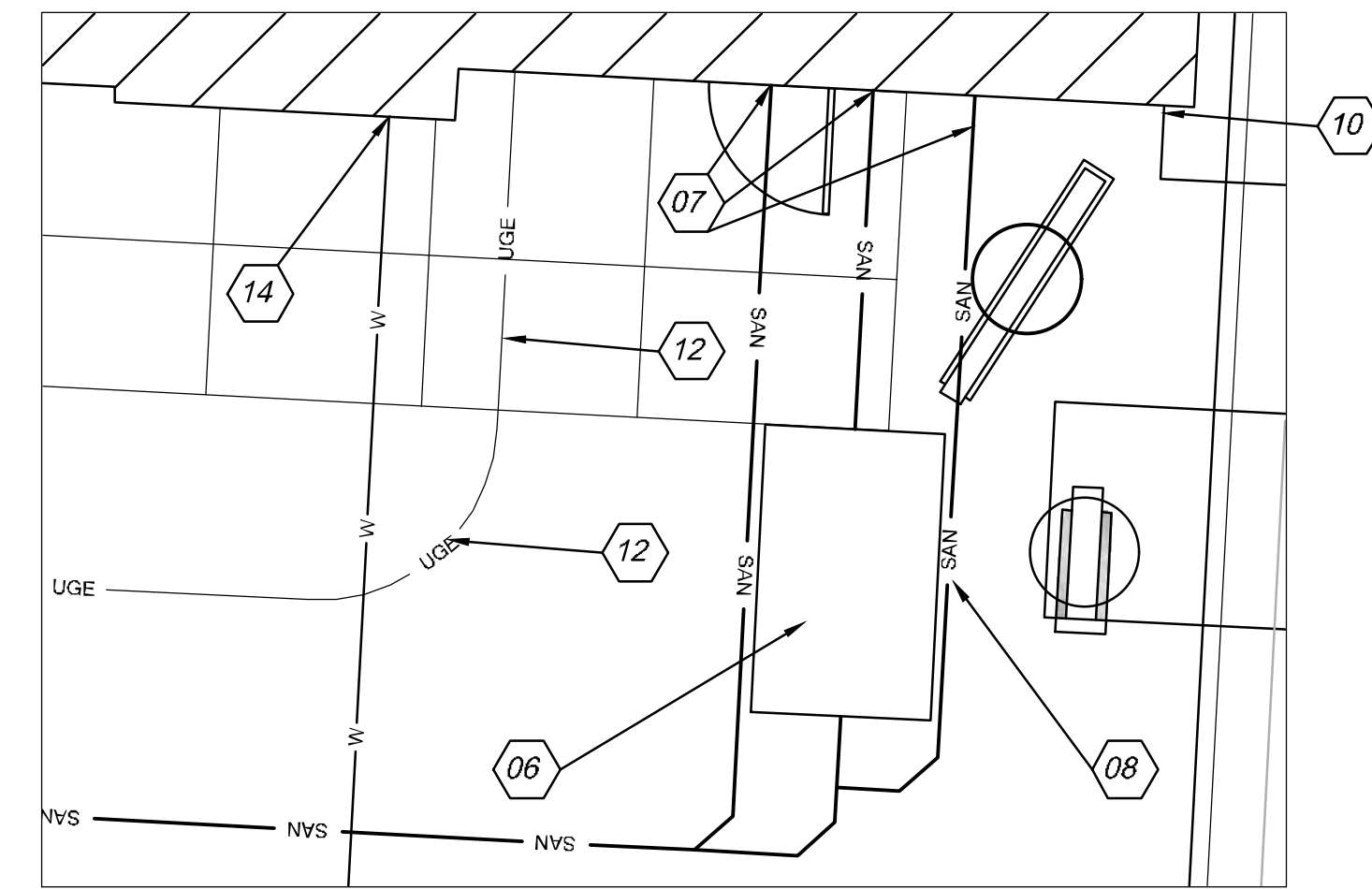
UTILITY PLAN

C2.0

PLANNING SUBMITTAL 09.30.16

CONSTRUCTION NOTES

- 01 CONNECT 4" PVC TO EXISTING SANITARY STUB WITH WYE. CONTRACTOR TO CONFIRM STUB FL AT 1088.20
- 02 INSTALL 4" OF SANITARY RISER. END FL 1092.34
- 03 INSTALL 66.50 LF OF 4" PVC SDR 26 AT 2.00% MINIMUM SLOPE. END FL 1093.67
- 04 INSTALL WYE AND CLEANOUT
- 05 INSTALL 45 LF OF 4" PVC SDR 26 AT 2.00% MINIMUM SLOPE. END FL 1094.57
- 06 INSTALL 1000 GALLON GREASE INTERCEPTOR. FL 1094.66
- 07 CONNECTION INTO BUILDING AT FL 1094.85
- 08 4" SANITARY VENT PIPE.
  
- 09 3" GAS SERVICE LINE. EXTENSION TO PROPERTY TO BE DONE BY OTHERS AND MGE WILL BE RESPONSIBLE FOR CONSTRUCTION OF SERVICE LINE.
- 10 PROPOSED GAS METER LOCATION
  
- 11 1 1/2" TYPE "K" COPPER FOR DOMESTIC WATER SERVICE LINE. ONE CONTINUOUS PIECE.
- 12 INSTALL WATER METER PER CITY OF RAYMORE SPECIFICATIONS
- 13 MAIN TO BE SADDLE TAPPED AND INSTALL CURBSTOP
- 14 RPZ TO BE INSIDE OF BUILDING.
  
- 15 ELECTRIC SERVICE CONNECTION. KCP&L IN PROCESS OF FINAL DESIGN.
- 16 PROPOSED TRANSFORMER PAD LOCATION. CONTRACTOR TO CONFIRM DESIGN WITH ELECTRIC UTILITY.
  
- 17 INSTALL 4' X 4' CURB INLET.
- 18 INSTALL 12" HDPE STORM PIPE.
- 19 INSTALL 8" HDPE STORM PIPE
- 20 EXISTING STORM STRUCTURE
- 21 NYLOPAST DRAIN BASIN
- 22 4" X 8" WYE WITH CLEANOUT FOR ROOF DRAIN CONNECTION
- 23 INSTALL FLEXSTORM INLET FILTERS.
  
- 24 INSTALL CONDUIT FOR TELEPHONE/DATA. COORDINATE WITH SERVICE PROVIDER FOR ROUTE.

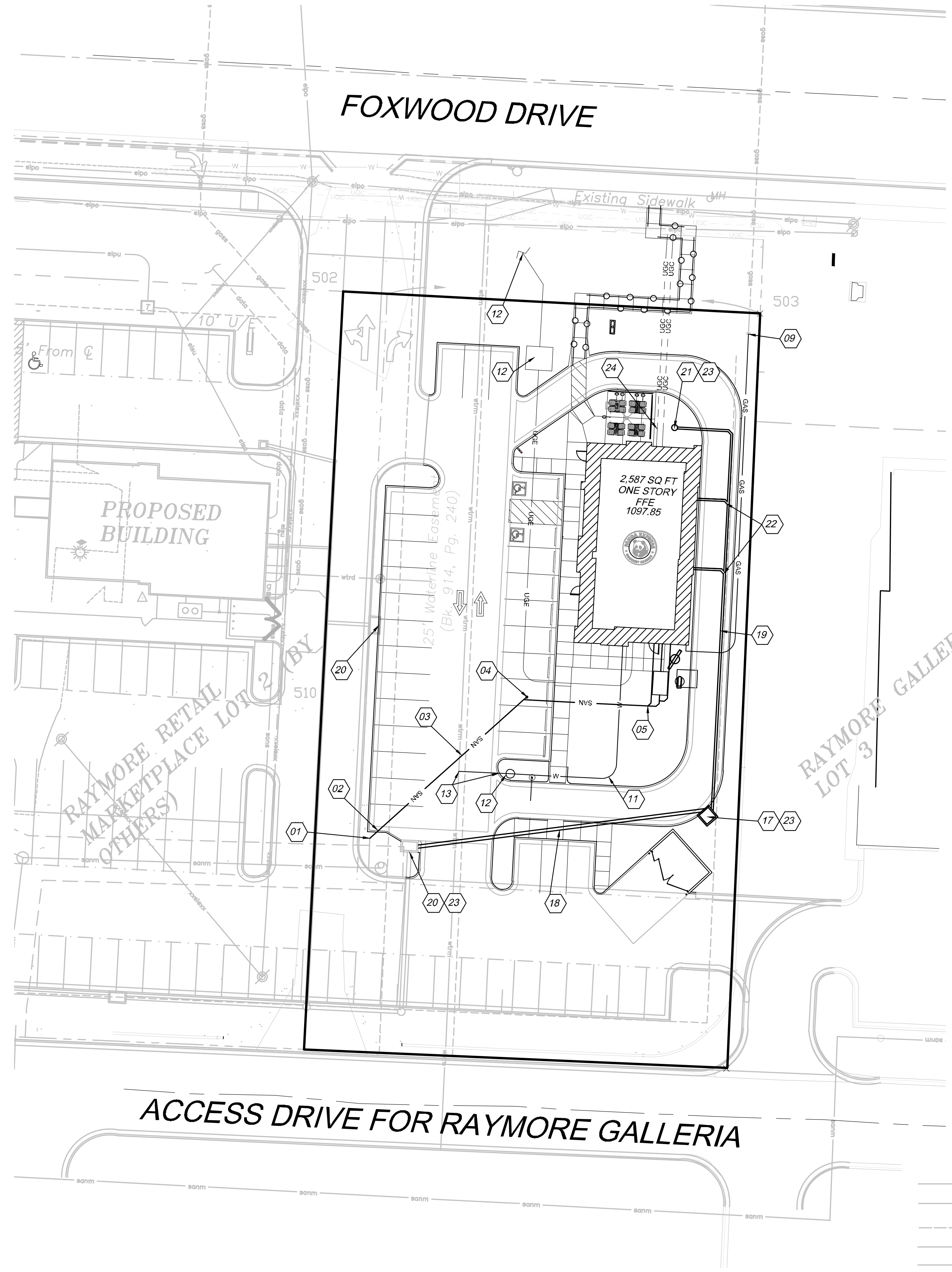
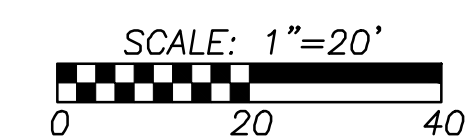
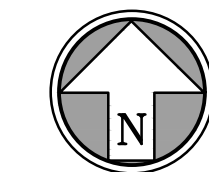


DRIVE THRU DETAIL

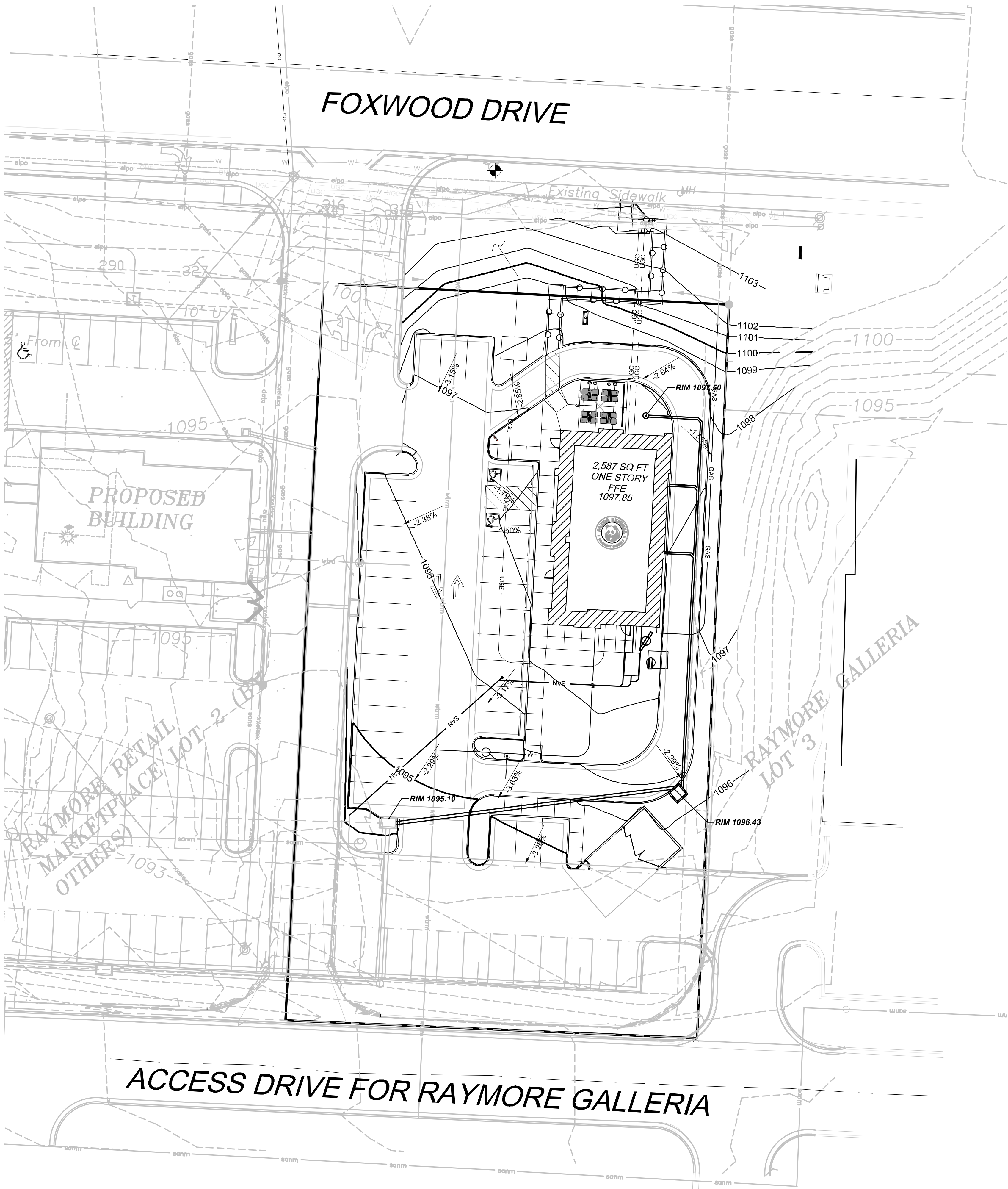
GENERAL UTILITY NOTES

1. UTILITY CONSTRUCTION SHALL COMPLY WITH THE STANDARD SPECIFICATIONS, CODES, AND DETAILS OF THE CITY OF RAYMORE AND UTILITY PROVIDERS.
2. THE INFORMATION SHOWN ON THESE PLANS CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION AND FOR MAKING HIS OWN VERIFICATION AS TO TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
3. ANY EXISTING AND/OR TEMPORARY STORM SEWER PIPES AND BOX CULVERTS TO BE ABANDONED IN PLACE SHALL BE COMPLETELY FILLED USING FLOWABLE FILL (LOW STRENGTH MIXTURE) IN ACCORDANCE WITH CITY OR STATE STANDARD SPECIFICATIONS.
4. IF DURING THE COURSE OF CONTRACTOR COORDINATION WITH ELECTRIC, GAS, OR ANY OTHER UTILITY THE NEED FOR AN EASEMENT IS REQUESTED CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
5. STUB ALL CONNECTIONS TO WITHIN 5' OF THE BUILDING. CONNECTION INTO THE BUILDING BY MECHANICAL/PLUMBING CONTRACTOR.

#	PARKING STALL COUNT	=====	CONCRETE CURB & GUTTER
■	CONCRETE PAVEMENT, MED DUTY	-----	EXISTING SANITARY SERVICE
■	CONCRETE SIDEWALK	=====	PROPERTY LINE
■	ASPHALT PAVEMENT, MED DUTY	-----	ADJACENT PROPERTY LINE
○	EXISTING FIRE HYDRANT	-----	BUILDING SETBACK LINES
○	EXISTING LIGHT POLE	-----	ADA ACCESSIBLE ROUTE
-----	EXISTING WATER MAIN	-----	DISTURBED AREA (APPROX 0.97 ACRES)
-----	EXISTING UNDERGROUND ELECTRIC	-----	STREET CENTERLINE
-----	EXISTING EASEMENT	-----	PROPOSED DOMESTIC WATER LINE
-----	EXISTING SANITARY SEWER MAIN	-----	PROPOSED SANITARY SEWER SERVICE LINE
-----	EXISTING WATER SERVICE	-----	PROPOSED GAS SERVICE LINE
-----	EXISTING GAS SERVICE	-----	PROPOSED UNDERGROUND ELECTRIC
-----	PROPOSED STORM SEWER	-----	PROJECT BENCHMARK



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**GRADING NOTES**

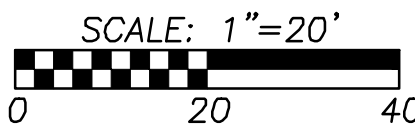
1. GRADING MATERIALS AND PROCEDURES SHALL BE IN ACCORDANCE WITH CITY OF RAYMORE ENGINEERING TECHNICAL SPECIFICATIONS. ANY REQUIREMENTS SET FORTH IN THE PLANS THAT ARE IN CONFLICT WITH ANY CITY, COUNTY, OR ANY OTHER APPLICABLE JURISDICTION'S SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. FILL MATERIALS REQUIRED FOR THIS PROJECT AND PLACEMENT OF THOSE MATERIALS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE CITY OF RAYMORE TECHNICAL SPECIFICATIONS.
3. FILL MATERIALS SHALL NOT BE PLACED ON FROZEN SOIL, ORGANIC MATERIALS, OR SOFT SUBGRADE.
4. SUBGRADE IN EXCAVATED AREAS UNDER PROPOSED PAVEMENT SHALL BE SCARIFIED AND PROPERLY COMPACTED AND MOISTURE CONDITIONED.
5. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF FILL MATERIALS. CONTRACTOR SHALL OBTAIN THE ACCEPTANCE OF THE ON-SITE GEOTECHNICAL REPRESENTATIVE FOR THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
6. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GROUND ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, BUILDING PADS, TOPSOIL, ETC WHEN GRADING THE SITE.
7. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED (GREEN SPACES) SHALL BE FINISH GRADED WITH A MINIMUM OF SIX INCHES OF TOPSOIL.
8. ALL EXCAVATION AND EMBANKMENTS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF RAYMORE ENGINEERING TECHNICAL SPECIFICATIONS.
9. PRIOR TO PLACING ANY CONCRETE OR ASPHALT PAVEMENT THE CONTRACTOR SHALL PERFORM A PROOF ROLL OF THE PAVEMENT SUB-GRADE WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK. THE PROOF ROLL SHALL BE CONDUCTED IN THE PRESENCE OF THE ENGINEER AND/OR THE ON-SITE GEOTECHNICAL REPRESENTATIVE. AREAS THAT DISPLAY RUTTING OR PUMPING THAT ARE UNSATISFACTORY TO THE ENGINEER SHALL BE RE-WORKED AND A FOLLOW-UP PROOF ROLL SHALL BE CONDUCTED PRIOR TO ACCEPTANCE OF THE SUB-GRADE FOR PAVING. THE CONTRACTOR MAY, AT ITS OWN EXPENSE, STABILIZE THE SUB-GRADE USING CLASS C FLY ASH OR QUICKLIME OR SIMILAR MATERIAL, SUBJECT TO THE APPROVAL OF THE ENGINEER.
10. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
11. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREON.
12. ALL AREAS ALONG ACCESSIBLE ROUTE SHOWN ON THIS PAGE SHALL COMPLY WITH 2010 ADA STANDARDS.
13. PAVEMENT ELEVATIONS TO BE 6" (.5') BELOW TOP OF CURB ELEVATION (TC) UNLESS OTHERWISE NOTED.
14. CONTRACTOR RESPONSIBLE FOR FIELD VERIFYING ALL PROPOSED GRADES ENSURE POSITIVE DRAINAGE BOTH WITH PROPOSED IMPROVEMENTS AND SURROUNDING EXISTING CONDITIONS. IF ISSUE ARISES ENGINEER TO BE NOTIFIED IMMEDIATELY.

**VERTICAL BENCHMARK**

BENCHMARK DATUM IS NAVD 88:  
 CUT "+\*" IN SOUTH EAST FLANGE BOLT OF FIRE  
 HYDRANT.  
 ELEVATION 1106.26

**LEGEND**

	PROPOSED PROPERTY LINE		PROPOSED SANITARY SEWER SERVICE LINE
	ADJACENT PROPERTY LINE		PROPOSED GAS SERVICE LINE
	FINISH GRADE 5' CONTOURS		PROPOSED UNDERGROUND ELECTRIC
	EXISTING GRADE 5' CONTOURS		PROJECT BENCHMARK
	EXISTING GRADE 1' CONTOURS		PROPOSED TOP OF CURB ELEVATION
	2% MAX SLOPE IN ANY DIRECTION		PROPOSED TOP OF SIDEWALK ELEVATION
	EXISTING WATER MAIN		PROPOSED TOP OF PAVEMENT ELEVATION
	EXISTING UNDERGROUND ELECTRIC		PROPOSED RESULTANT PAVEMENT SLOPE
	EXISTING EASEMENT		
	EXISTING SANITARY SEWER MAIN		
	EXISTING DOMESTIC WATER LINE		
	PROPOSED SANITARY SEWER SERVICE LINE		
	PROPOSED STORM SEWER		
	PROPOSED GAS SERVICE LINE		
	PROPOSED UNDERGROUND ELECTRIC		
	PROPOSED DOMESTIC WATER LINE		



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REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

1st	PLANNING	09.30.16

DRAWN BY: JDO  
 PANDA PROJECT #: S8-17-D4987  
 ARCH PROJECT #: 16044.007

ENGINEER LICENSE #  
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**FOXWOOD AND DEAN PANDA EXPRESS**  
 Foxwood and Dean  
 1927 W. Foxwood Drive  
 Raymore, MO 64083

**SITE GRADING PLAN**  
**C3.0**  
 PLANNING SUBMITTAL 09.30.16

**BHC RHODES**  
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EROSION AND SEDIMENT CONTROL GENERAL NOTES

- PRIOR TO LAND DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL:
  - DELINEATE THE OUTER LIMITS OF ANY NATURAL STREAM CORRIDOR DESIGNATED WITH CONSTRUCTION FENCING.
  - CONSTRUCT A STABILIZED ENTRANCE/PARKING/DELIVERY AREA.
  - INSTALL PERIMETER CONTROLS AND REQUEST THE INSPECTION OF THE PRE-CONSTRUCTION EROSION AND SEDIMENT CONTROL MEASURES DESIGNATED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. LAND DISTURBANCE WORK SHALL NOT PROCEED UNTIL THERE IS A SATISFACTORY INSPECTION.
  - IDENTIFY THE LIMITS OF CONSTRUCTION ON THE GROUND WITH EASILY RECOGNIZABLE INDICATIONS SUCH AS CONSTRUCTION STAKING, CONSTRUCTION FENCING, AND PLACEMENT OF PHYSICAL BARRIERS OR OTHER MEANS ACCEPTABLE TO THE INSPECTOR AND IN CONFORMANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE FEDERAL CLEAN WATER ACT, MISSOURI DEPARTMENT OF NATURAL RESOURCES, AND NPDES STORMWATER RUNOFF FROM CONSTRUCTION SITES GENERAL PERMIT, INCLUDING BUT NOT LIMITED TO:
  - THE CONTRACTOR SHALL SEED, MULCH, OR OTHERWISE STABILIZE ANY DISTURBED AREA WHERE THE LAND DISTURBANCE ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS.
  - THE CONTRACTOR SHALL PERFORM INSPECTIONS OF EROSION AND SEDIMENT CONTROL MEASURES AT THE FOLLOWING MINIMUM INTERVALS:
    - DURING ACTIVE CONSTRUCTION PHASES - AT LEAST ONCE PER WEEK
    - DURING PERIODS OF INACTIVITY - AT LEAST ONCE PER MONTH
    - AFTER EACH RAINFALL EVENT OF 1/2 INCH OR MORE - WITHIN 24 HOURS OF THE RAIN EVENT
  - THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG INCLUDING THE INSPECTOR'S NAME, DATE OF INSPECTION, OBSERVATIONS AS TO THE EFFECTIVENESS OF THE EROSION AND SEDIMENT CONTROL MEASURES, ACTIONS NECESSARY TO CORRECT DEFICIENCIES, WHEN THE DEFICIENCIES WERE CORRECTED, AND THE SIGNATURE OF THE PERSON PERFORMING THE INSPECTION. THE INSPECTION LOG SHALL BE AVAILABLE FOR REVIEW BY THE REGULATORY AUTHORITY.
  - THE CONTRACTOR SHALL HAVE THE EROSION AND SEDIMENT CONTROL PLAN ROUTINELY UPDATED TO SHOW ALL CHANGES AND AMENDMENTS TO THE PLAN. A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE AND MADE AVAILABLE FOR REVIEW BY THE REGULATORY AUTHORITY.
- PERMANENT SEEDING SHALL BE INSTALLED AFTER COMPLETION OF FINAL GRADING EXCEPT WHEN SEEDING WILL OCCUR OUTSIDE OF THE ACCEPTABLE SEEDING SEASON. WHEN TEMPORARY SEEDING IS INSTALLED, PERMANENT SEEDING SHALL BE INSTALLED AT THE NEXT SEEDING SEASON. TEMPORARY SEEDING SHALL NOT BE USED AS A STABILIZATION MEASURE FOR A PERIOD EXCEEDING 12 MONTHS. THE PERMIT WILL NOT BE CLOSED UNTIL PERMANENT SEEDING HAS BEEN ESTABLISHED TO A MINIMUM OF 70% DENSITY OVER THE ENTIRE DISTURBED AREA.
- THE CONTRACTOR SHALL MAINTAIN INSTALLED EROSION AND SEDIMENT CONTROL DEVICES IN A MANNER THAT PRESERVES THEIR EFFECTIVENESS FOR PREVENTING SEDIMENT FROM LEAVING THE SITE OR ENTERING A SENSITIVE AREA SUCH AS A NATURAL STREAM CORRIDOR, AREAS OF THE SITE INTENDED TO BE LEFT UNDISTURBED, A STORM SEWER, OR AN ON-SITE DRAINAGE CHANNEL.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING EROSION AND SEDIMENT CONTROL FOR THE DURATION OF A PROJECT. IF THE CITY DETERMINES THAT THE BMPs IN PLACE DO NOT PROVIDE ADEQUATE EROSION AND SEDIMENT CONTROL AT ANY TIME DURING THE PROJECT, THE CONTRACTOR SHALL INSTALL ADDITIONAL OR ALTERNATE MEASURES THAT PROVIDE EFFECTIVE CONTROL.
- CONCRETE WASH OR RINSE WATER FROM CONCRETE MIXING EQUIPMENT, TOOLS AND/OR READY-MIX TRUCKS, TOOLS, ETC. MAY NOT BE DISCHARGED INTO OR BE ALLOWED TO RUN DIRECTLY INTO ANY EXISTING WATER BODY OR STORM INLET. ONE OR MORE LOCATIONS FOR CONCRETE WASH OUT WILL BE DESIGNATED ON SITE, SUCH THAT DISCHARGES DURING CONCRETE WASHOUT WILL BE CONTAINED IN A SMALL AREA WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE.
- CHEMICALS OR MATERIALS CAPABLE OF CAUSING POLLUTION MAY ONLY BE STORED ONSITE IN THEIR ORIGINAL CONTAINER. MATERIALS STORED OUTSIDE MUST BE IN CLOSED AND SEALED WATER-PROOF CONTAINERS AND LOCATED OUTSIDE OF DRAINAGE WAYS OR AREAS SUBJECT TO FLOODING. LOCKS AND OTHER MEANS TO PREVENT OR REDUCE VANDALISM SHALL BE USED. SPILLS WILL BE REPORTED AS REQUIRED BY LAW AND IMMEDIATE ACTIONS TAKEN TO CONTAIN THEM.
- SILT FENCES AND EROSION CONTROL BMPs WHICH ARE SHOWN ALONG THE BACK OF CURB MUST BE INSTALLED WITHIN TWO WEEKS OF CURB BACKFILL AND PRIOR TO PLACEMENT OF BASE ASPHALT. EXACT LOCATIONS OF THESE EROSION CONTROL METHODS MAY BE FIELD ADJUSTED TO MINIMIZE CONFLICTS WITH UTILITY CONSTRUCTION; HOWEVER, ANTICIPATED DISTURBANCE BY UTILITY CONSTRUCTION SHALL NOT DELAY INSTALLATION.
- PRIVATE EROSION & SEDIMENT CONTROL INSPECTIONS ARE REQUIRED IN ACCORDANCE WITH NPDES SCHEDULE AND REQUIREMENTS. AFTER INSPECTIONS, PROVIDE THE CITY OF RAYMORE WITH REPORTS AND DOCUMENTATION.
- CONTRACTOR TO COMPLETE CITY OF RAYMORE GRADING PERMIT

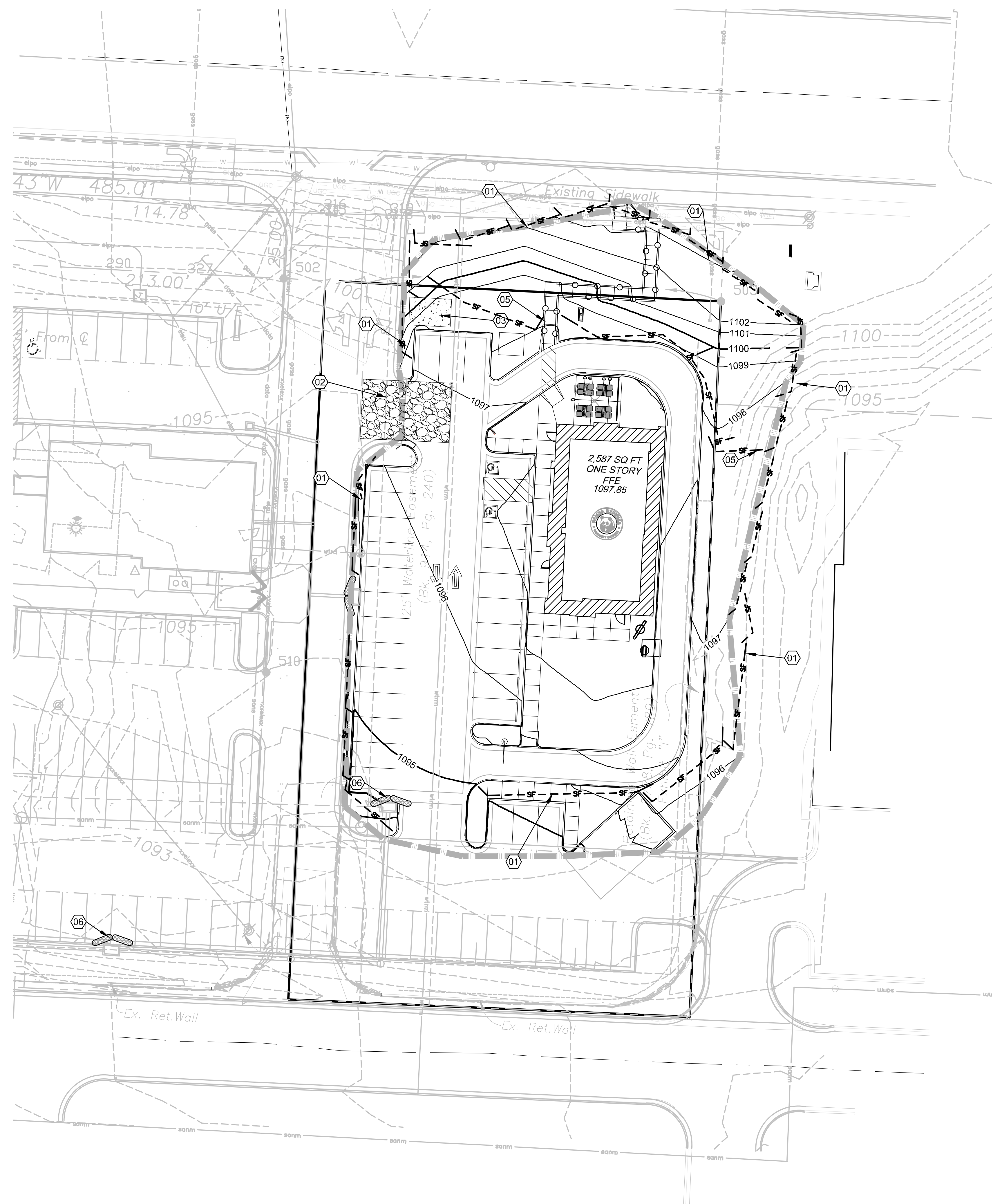
EROSION/SEDIMENT CONTROL STAGING CHART				
PROJECT STAGE	BMP PLAN REF. NO.	BMP DESCRIPTION	REMOVE AFTER STAGE:	NOTES:
A - PLACE BMP'S PRIOR TO LAND DISTURBANCE.	01	PERIMETER SILT FENCE	D	PLACE AS SHOWN ON PLAN
	02	CONSTRUCTION ENTRANCE & STAGING AREA	D	PLACE AS SHOWN ON PLAN
	03	CONCRETE WASH-OUT	C	PLACE AS SHOWN ON PLAN
	04	EXISTING INLET PROTECTION	D	INSTALL FILTER BAGS ON EXISTING INLETS
B - AFTER STRIPPING, GRUBBING, & MASS GRADING	05	INTERIOR SILT FENCE	D	PLACE AS SHOWN ON PLAN
C - AFTER UTILITY STORM SEWER CONSTRUCTION	06	STORM INLET PROTECTION	D	PLACE AS SHOWN ON PLAN
D - FINAL GRADING, PAVING & LANDSCAPING		FINAL SEEDING, SOD AND LANDSCAPING	N/A	SILT FENCING & INLET PROTECT MAY BE REMOVED ONCE SEED & SODDED AREAS ARE ESTABLISHED ON 80% OF SITE.

- LEGEND**
- 934 — PROPOSED CONTOUR
  - 934 - - - EXISTING CONTOUR
  - - - sf — SEDIMENT FENCE
  - ▬▬▬▬ — DISTURBED AREA (0.98 AC)
  - ⊂ — INLET FILTER BAGS
  - ▨ — CONSTRUCTION ENTRANCE
  - ▨ — CONCRETE WASHOUT

**LEGEND**

- SHEET C8.1 CONCRETE WASHOUT DETAIL 013
- SHEET C8.2 TEMPORARY CONSTRUCTION ENTRANCE DETAIL 017
- SILT FENCE DETAIL 018
- AREA INLET ROCK BAG PROTECTION DETAIL 019
- CURB INLET ROCK BAG PROTECTION DETAIL 020

SCALE: 1"=20'



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REVISIONS:

NO.	CITY COMMENTS	DATE
1		10.20.16

ISSUE DATE:

1st	PLANNING	DATE
		09.30.16

DRAWN BY: JDO  
 PANDA PROJECT #: S8-17-D4987  
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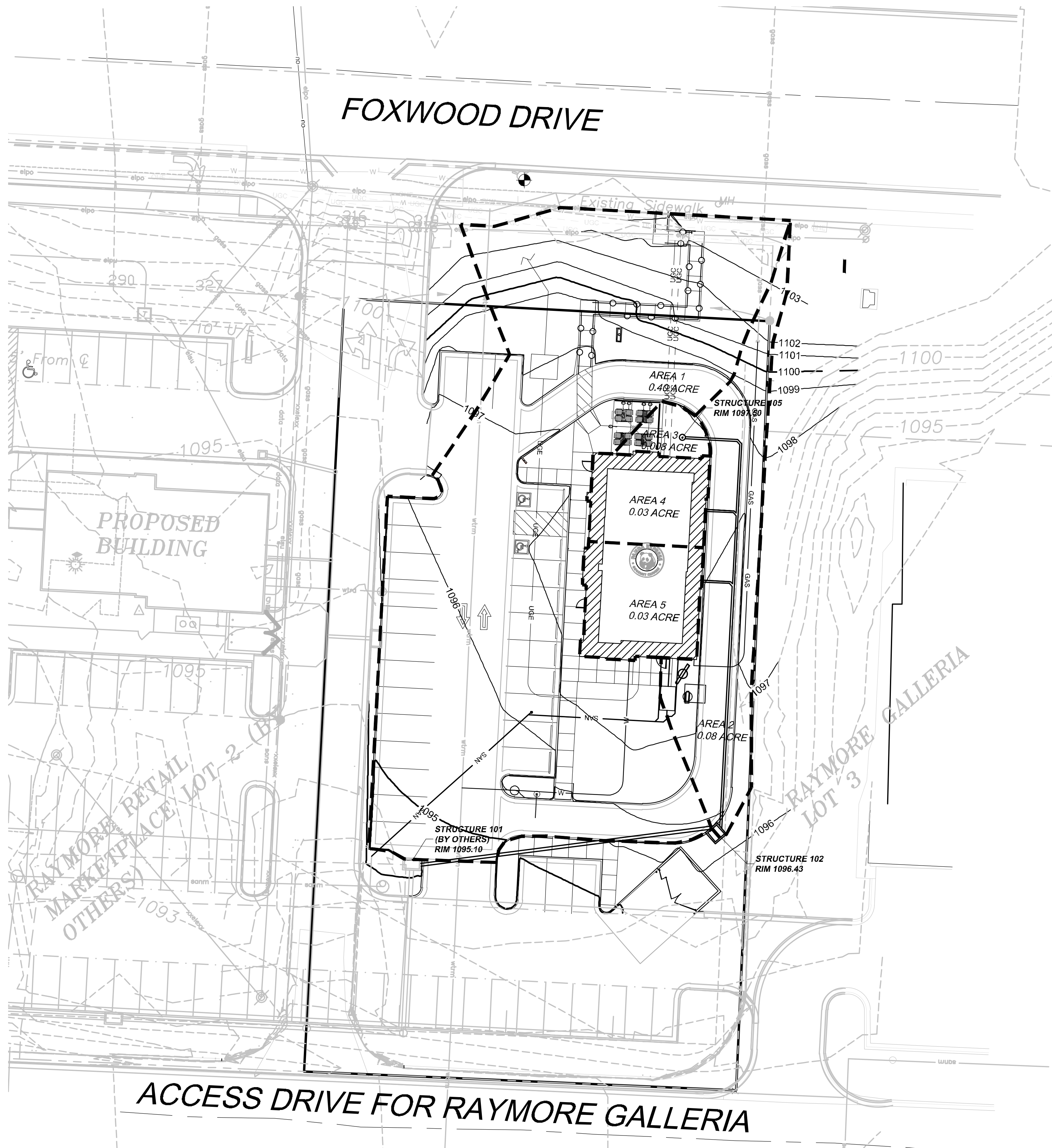
FOXWOOD AND DEAN  
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 Foxwood and Dean  
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**EROSION CONTROL**  
**C4.0**

**BHC RHODES**  
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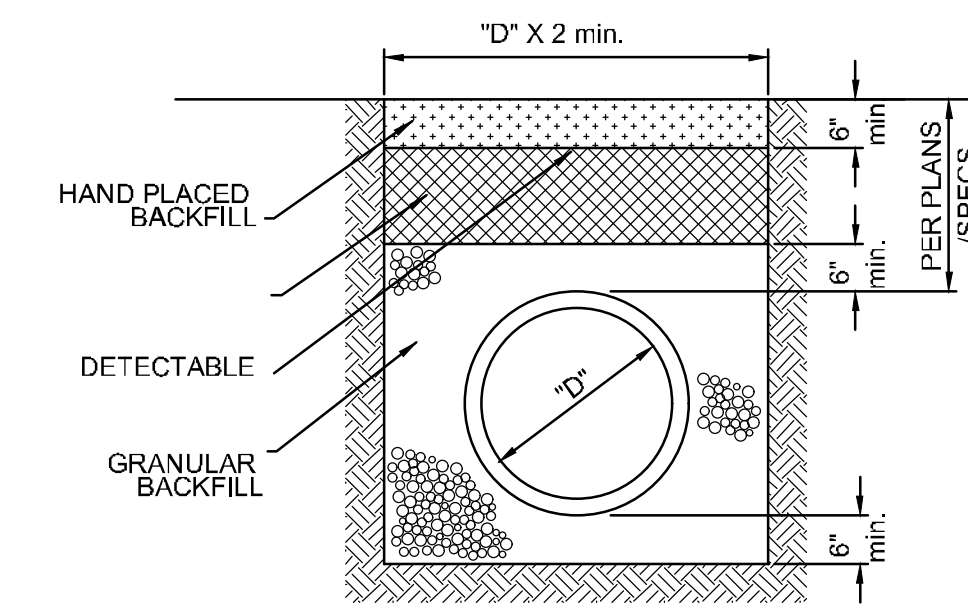
PLANNING SUBMITTAL 09.30.16



**STORM NOTES**

- PROJECT IS A PART OF A LARGER DEVELOPMENT WITH REGIONAL REGIONAL DETENTION, THUS ON SITE CONTROLS ARE NOT REQUIRED.
- REGIONAL DETENTION IS LOCATED IN SOUTHWEST CORNER OF RAYMORE MARKETPLACE DEVELOPMENT.
- ALL STORM CONSTRUCTION TO BE DONE IN ACCORDANCE WITH CITY OF RAYMORE SPECIFICATIONS.
- ROOF DRAINS TO BE PIPED INTO STORM LINE 100 AT APPROXIMATE LOCATIONS SHOWN.
- PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE OR TO THE END OF END SECTION. ALL PIPES SHALL BE FIELD STAKED TO THE INSIDE WALL FACE OF THE STRUCTURE.
- ALL PIPE SHALL BE PLACED IN TRENCH CONDITIONS. PLACE A MINIMUM OF 2 FEET OF FILL OVER PROPOSED PIPE BEFORE TRENCHING AND PIPE INSTALLATION. PROPOSED FILL SHALL BE PLACED IN ACCORDANCE WITH PROJECT REQUIREMENTS.
- UTILITY LINES AND STRUCTURES IN FILL AREAS BELOW PIPE GRADE SHALL NOT BE CONSTRUCTED UNTIL ALL CONSOLIDATION OF THE FILL IS COMPLETE AND SO APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER.
- THE DIMENSIONS FOR ALL STRUCTURE ARE FROM INSIDE FACE OF STRUCTURE TO INSIDE FACE OF STRUCTURE
- ALL CURB INLETS AND OTHER STRUCTURE SET AT LOW POINTS ARE TO BE SET LEVEL. ALL OTHER CURB INLETS ARE TO BE SET WITH THE GRADE OF THE TOP OF CURB OR PAVEMENT.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED CONCRETE INVERT FROM INVERT IN TO INVERT OUT.
- THE LIDS OF ALL PRECAST STRUCTURES SHALL BE GROUTED TO THE TOP OF THE WALLS
- NORTHING AND EASTINGS SHOWN ARE CENTER OF STRUCTURE OR TO END OF END SECTION.
- THE FIRST DIMENSION SHOWN IS THE "L" DIMENSION AND THE SECOND IS THE "W" DIMENSION ON RECTANGULAR STRUCTURES. SEE DETAILS.
- ALL HDPE PIPE SHALL BE ADS N-12, OR APPROVED EQUAL, MEETING AASHTO M294, TYPE S OR ASTM F2306. THE PIPE SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. PIPE JOINTS SHALL BE JOINTED USING A BELL & SPIGOT JOINT MEETING AASHTO M252, AASHTO M294 OR ASTM F2306. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212 AND GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. GASKETS SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE WRAP TO ENSURE THE GASKET IS FREE FROM DEBRIS. A JOINT LUBRICANT SUPPLIED BY THE MANUFACTURER SHALL BE USED ON THE GASKET AND BELL DURING ASSEMBLY.
- FITTINGS FOR PLASTIC PIPE SHALL CONFORM TO AASHTO M252, AASHTO M294, OR ASTM F230.6 ALL WYES SHALL BE DUAL WALL WYES CONSISTENT WITH THE ADS N-12 PIPE WATERTIGHT CONNECTIONS.

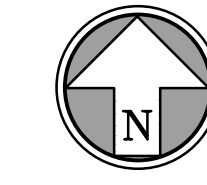
**BACKFILL DETAIL**



CLASS B  
(FLEXIBLE OR SEMI-FLEXIBLE PIPE)

**LEGEND**

- PROPOSED PROPERTY LINE
- ADJACENT PROPERTY LINE
- 980 — FINISH GRADE 5' CONTOURS
- 980 — FINISH GRADE 1' CONTOURS
- 980 — EXISTING GRADE 5' CONTOURS
- 980 — EXISTING GRADE 1' CONTOURS
- 2% MAX SLOPE IN ANY DIRECTION
- W — EXISTING WATER MAIN
- UGE — EXISTING UNDERGROUND ELECTRIC
- SS — EXISTING EASEMENT
- SS — EXISTING SANITARY SEWER MAIN
- SS — EXISTING STORM SEWER MAIN
- GAS — EXISTING GAS MAIN
- W — PROPOSED DOMESTIC WATER LINE
- SS — PROPOSED SANITARY SEWER SERVICE LINE
- SS — PROPOSED STORM SEWER
- GAS — PROPOSED GAS SERVICE LINE
- UGE — PROPOSED UNDERGROUND ELECTRIC
- W — PROPOSED SWALE
- W — PROPOSED DOMESTIC WATER LINE
- SS — PROPOSED SANITARY SEWER SERVICE LINE
- GAS — PROPOSED GAS SERVICE LINE
- UGE — PROPOSED UNDERGROUND ELECTRIC
- X.X.% — PROPOSED RESULTANT PAVEMENT SLOPE
- — PROJECT BENCHMARK
- TC XXX.XX — PROPOSED TOP OF CURB ELEVATION
- TS XXX.XX — PROPOSED TOP OF SIDEWALK ELEVATION
- TP XXX.XX — PROPOSED TOP OF PAVEMENT ELEVATION



Runoff Calculations												Pipe Properties														
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	To	Intensity	Runoff To Inlet	Cumul. Runoff	Pipe Cap.	Pipe Vel.	Up Piped Inlets	Up Piped Inlets	Up Area (acres)	Up CxA	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top	HGL Elev.
101	0.40	0.74	0.55	0.41	6.0	9.93	3.67	5.14	8.57	6.98	0.00	0.00	0.00	0.00	101	101	PEP	0.012	15	10.00	1.50	0.50	1089.05	1088.90	1089.10	1089.19
102	0.08	0.73	0.15	0.12	5.7	10.06	0.73	1.48	3.86	4.91	0.00	0.00	0.00	0.00	102	102	PEP	0.012	12	98.30	1.00	0.50	1090.53	1089.55	1089.43	1089.15
103	0.03	0.90	0.07	0.06	5.3	10.20	0.34	0.76	1.31	3.75	0.00	0.00	0.00	0.00	103	102	PEP	0.012	8	81.33	1.00	0.50	1091.85	1091.03	1087.83	1082.34
104	0.03	0.90	0.04	0.03	5.2	10.24	0.35	0.42	1.31	3.75	0.00	0.00	0.00	0.00	104	103	PEP	0.012	8	23.83	1.00	0.50	1092.58	1092.35	1087.83	1083.01
105	0.01	0.70	0.01	0.01	5.0	10.32	0.07	0.07	1.31	3.75	0.00	0.00	0.00	0.00	105	104	PEP	0.012	8	43.10	1.00	N/A	1093.51	1093.08	1087.50	1083.72

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REVISIONS:

NO.	CITY COMMENTS	DATE
1		10.20.16

ISSUE DATE:

1st	PLANNING	09.30.16
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DRAWN BY: JDO  
PANDA PROJECT #: S8-17-D4987  
ARCH PROJECT #: 16044.007

ENGINEER LICENSE #  
ARCHITECT:  
**hckloverarchitect**  
10955 LOWELL AVENUE, SUITE 700  
OVERLAND PARK, KS 66210  
ph: 913.649.8181 • fx: 913.649.1275

**FOXWOOD AND DEAN PANDA EXPRESS**  
Foxwood and Dean  
1927 W. Foxwood Drive  
Raymore, MO 64083

**DRAINAGE MAP**  
**C5.0**  
PLANNING SUBMITTAL 09.30.16

**LANDSCAPING NOTES**

- ALL DISTURBED AREAS SHALL BE SODDED WITH TURF-TYPE TALL FESCUE SOD WITH A MINIMUM OF THREE CULTIVARS.
- ALL LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 6-INCH DEPTH OF TOPSOIL COMPACTED TO 85% DENSITY AT OPTIMUM MOISTURE CONTENT.
- THE ENTIRE SURFACE TO BE LANDSCAPED SHOULD BE REASONABLE SMOOTH AND FREE FROM STONES, ROOTS OR OTHER DEBRIS.
- SOD SHALL BE MACHINE STRIPPED AT A UNIFORM SOIL THICKNESS OF APPROXIMATELY ONE INCH (PLUS OR MINUS 1/4-INCH). THE MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, AND SHALL BE DETERMINED AT THE TIME OF CUTTING IN THE FIELD. PRECAUTIONS SHALL BE TAKEN TO PREVENT DRYING AND HEATING. SOD DAMAGED BY HEAT AND DRY CONDITIONS, AND SOD CUT MORE THAN 18 HOURS BEFORE BEING INCORPORATED INTO THE WORK SHALL NOT BE USED.
- HANDLING OF SOD SHALL BE DONE IN A MANNER THAT WILL PREVENT TEARING, BREAKING, DRYING AND OTHER DAMAGE. PROTECT EXPOSED ROOTS FROM DEHYDRATION. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
- MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE INSTALLING SOD. FERTILIZE, HARROW OR RAKE FERTILIZER IN THE TOP 1-1/2-INCHES OR TOPSOIL, AT A UNIFORM RATE.
- FERTILIZER SHALL BE 20-10-5 COMMERCIAL FERTILIZER OF THE GRADE, TYPE, AND FORM SPECIFIED AND SHALL COMPLY WITH THE RULES OF THE STATE DEPT. OF AGRICULTURE. FERTILIZER SHALL BE IDENTIFIED ACCORDING TO THE PERCENT N,P,K IN THAT ORDER.
- SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING THE FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF FOUR INCHES.
- A MINIMUM OF ONE MALE HOLLY WILL BE PLANTED IN EACH BED OR AS EVERY THIRD PLANT DEPENDING ON BED SIZE.
- ALL PLANTING BEDS WILL BE PREPARED WITH POLYPROPYLENE LANDSCAPE FABRIC BEFORE PLANT MATERIAL IS INSTALLED. ROCK MULCH TO BE PLACED OVER POLYPROPYLENE LANDSCAPE FABRIC AT A DEPTH OF 2" - 4".
- LANDSCAPE FABRIC SHOULD BE INSTALLED FLAT WITH ALL "FOLDS" EITHER PINNED DOWN WITH 4" LANDSCAPE PINS, OVERLAP ADJOINING SHEETS A MINIMUM OF 2". 4" STEEL LANDSCAPE STAPLES TO BE USED TO PIN DOWN THE CORNERS BEFORE ROCK MULCH IS INSTALLED.
- CONTRACTOR SHALL PROVIDE FULL MAINTENANCE FOR NEWLY LANDSCAPED AREAS FOR A PERIOD OF 60 DAYS AFTER THE DATE OF FINAL ACCEPTANCE. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVE-COLORED, VIABLE TURF AND LANDSCAPED AREA MUST BE ESTABLISHED. THE LANDSCAPED AREAS SHALL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS AND SURFACE IRREGULARITIES.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ROCK MULCH SAMPLE TO OWNER FOR APPROVAL.

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
	3	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple FOR PLANTING SPECIFICATIONS SEE DETAIL 1 & 2, SHEET L1.1	B & B	2.5' cal
	3	Nyssa sylvatica 'Tupelo Tower' TM / Black Gum FOR PLANTING SPECIFICATIONS SEE DETAILS 1 & 2, SHEET L1.1	B & B	2.5' cal
	3	Quercus x warei 'Regal Prince' / Regal Prince Oak FOR PLANTING SPECIFICATIONS SEE DETAIL 1 & 2, SHEET L1.1	B & B	2.5' cal
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	
	17	Abelia x grandiflora 'Kaleidoscope' / Glossy Abelia FOR PLANTING SPECIFICATIONS SEE DETAIL 3 & 4, SHEET L1.1	5 gal	
	36	Euonymus alatus 'Odom' TM / Little Moses Dwarf Burning Bush FOR PLANTING SPECIFICATIONS SEE DETAIL 3 & 4, SHEET L1.1	5 gal	
	4	Ilex verticillata / Winterberry FOR PLANTING SPECIFICATIONS SEE DETAIL 3 & 4, SHEET L1.1	5 gal	
	2	Ilex verticillata 'Male' / Male Winterberry FOR PLANTING SPECIFICATIONS SEE DETAIL 3 & 4, SHEET L1.1	5 gal	
	25	Ilex vomitoria 'Nana' / Dwarf Yaupon FOR PLANTING SPECIFICATIONS SEE DETAIL 3 & 4, SHEET L1.1	5 gal	
	7	Viburnum trilobum 'Bailey Compact' / Bailey's Compact American Cranberry Bush FOR PLANTING SPECIFICATIONS SEE DETAIL 3 & 4, SHEET L1.1	5 gal	
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	
	6,695 sq	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue PLACE LANDSCAPE EDGING WHERE GRASS ADJOINS PLANTING BEDS, SEE DETAIL 5 SHEET L1.1 FOR SPECIFICATIONS	sod	
MULCH	QTY	COMMON NAME	SIZE	DEPTH
	22 cu. yd.	Buffalo River Rock PLACE LANDSCAPE EDGING AROUND BED PERIMETER, SEE DETAIL 5 SHEET L1.1 FOR SPECIFICATIONS	1"-3" stones	3" deep

**SITE DATA**

TOTAL SITE AREA:	36,892 SQ FT (±0.84 ACRES)
PARKING SPACES:	29
GREEN SPACE REQUIRED:	7,378 SQ FT (20%)
GREEN SPACE PROVIDED:	8,976 SQ FT (23.9%)

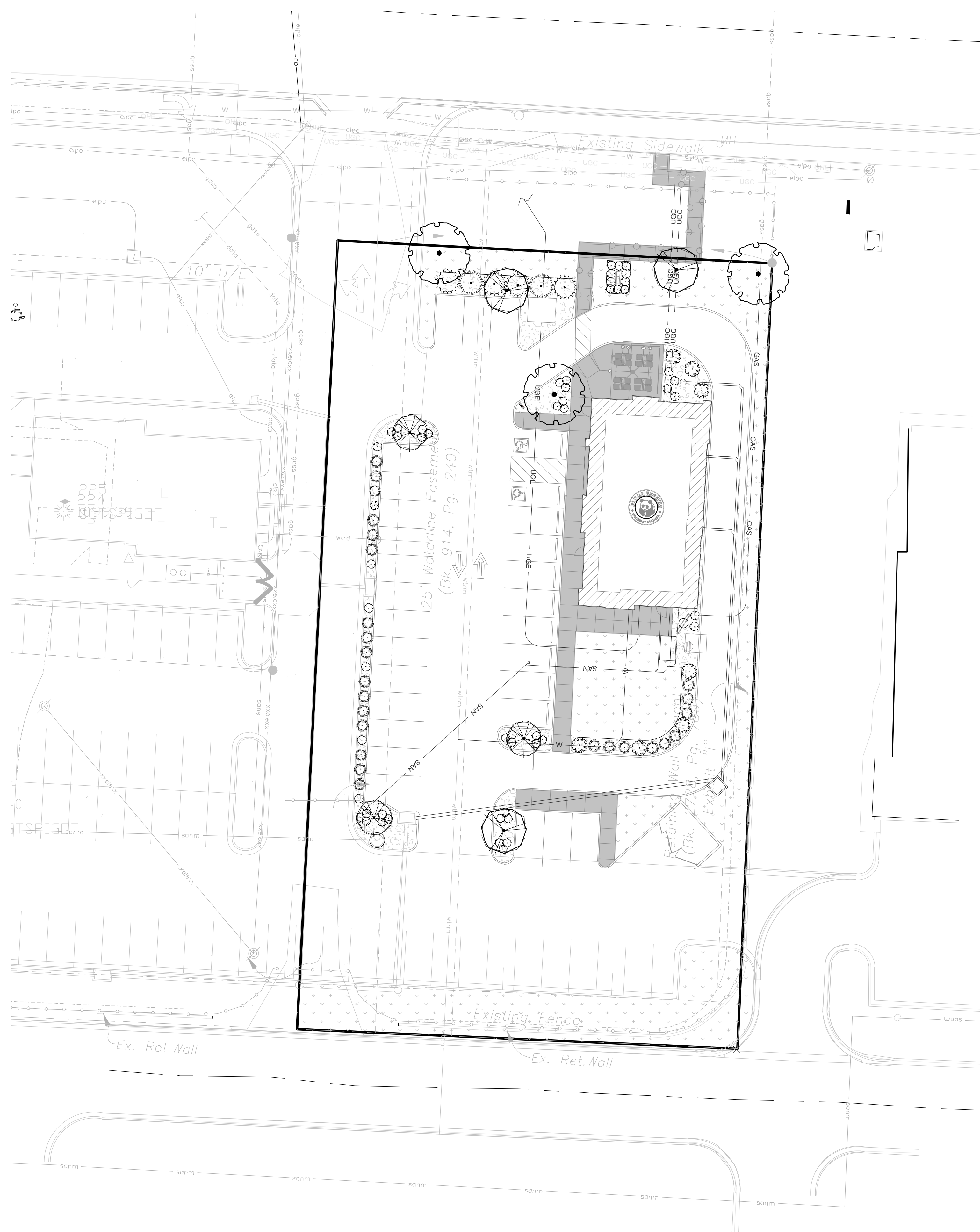
	REQUIRED	PROVIDED
<b>STREET TREES</b>		
1 TREE / 50' LF	2.28	3
<b>INTERIOR PARKING LANDSCAPING</b>		
1 ISLAND / 10 SPACES	2.9	5
1 SHADE TREE / ISLAND	5	5
3 SHRUBS / ISLAND	15	35

	REQUIRED	PROVIDED
<b>PERIMETER PARKING LANDSCAPING</b>		
1 TREE / 40' LF	1	1
BUFFER PLANTINGS	0	6

	REQUIRED	PROVIDED
<b>FOUNDATION PLANTING</b>		
PLANTINGS @ 5' OC	43.2	44

	REQUIRED	PROVIDED
<b>MONUMENT SIGN</b>		
PLANTINGS @ 3' OC	4.22	6

**PANDA EXPRESS LANDSCAPE PLAN**



PANDA RESTAURANT GROUP INC.

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1st PLANNING 09.30.16

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ENGINEER LICENSE #

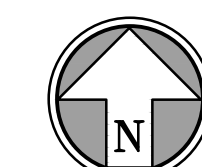
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**FOXWOOD AND DEAN  
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SCALE: 1"=50'  
0 50 100

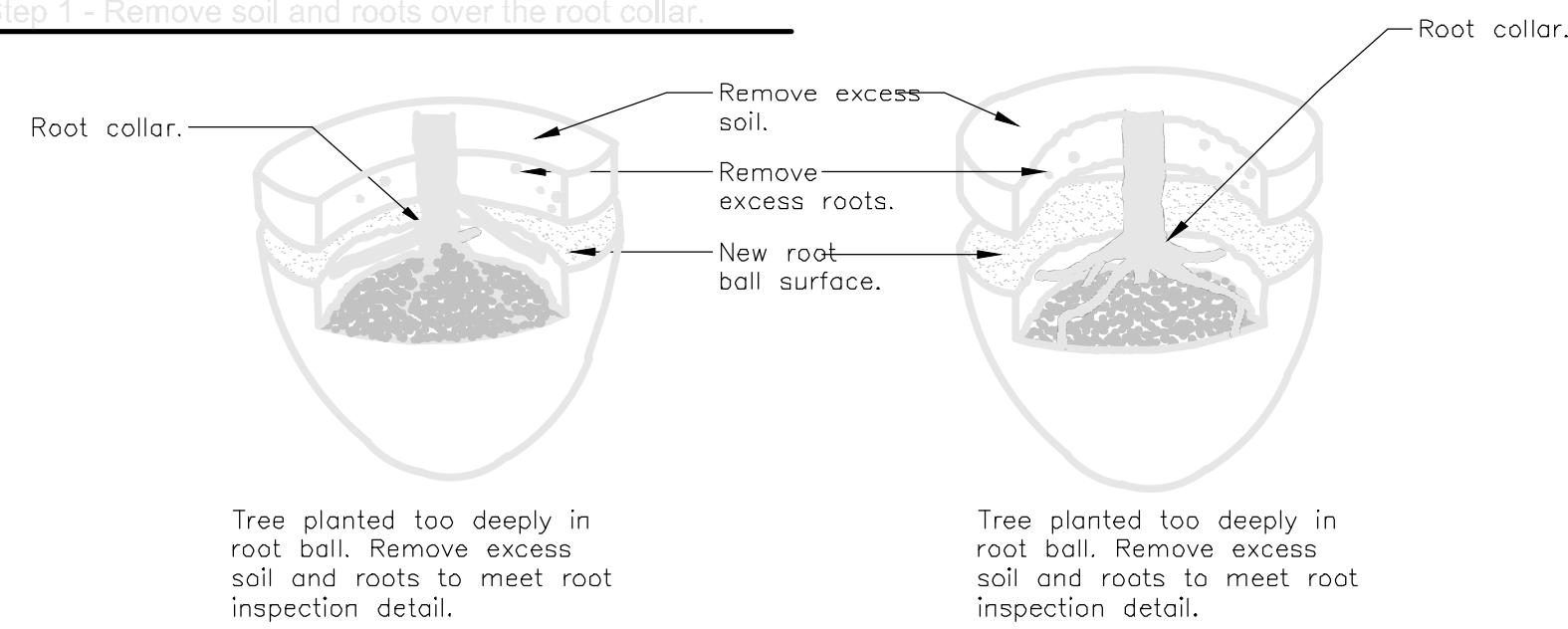


7101 College Blvd., Suite 400  
Overland Park, Kansas 66210  
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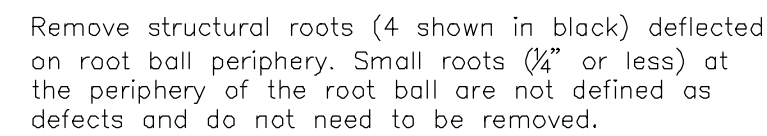
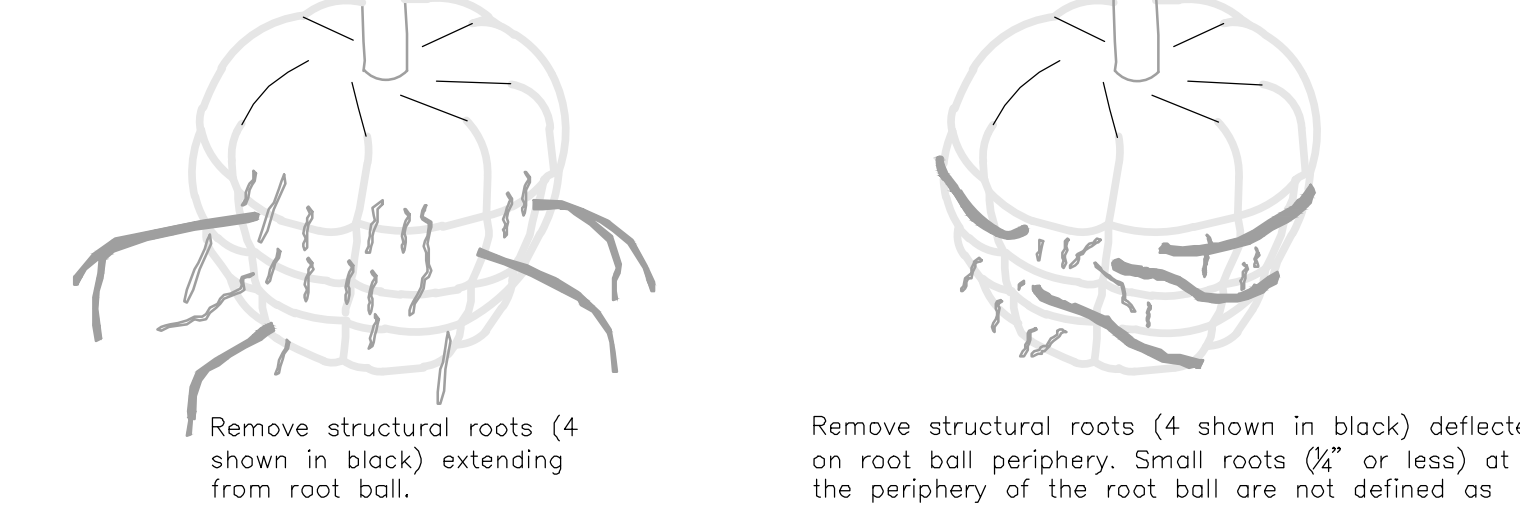
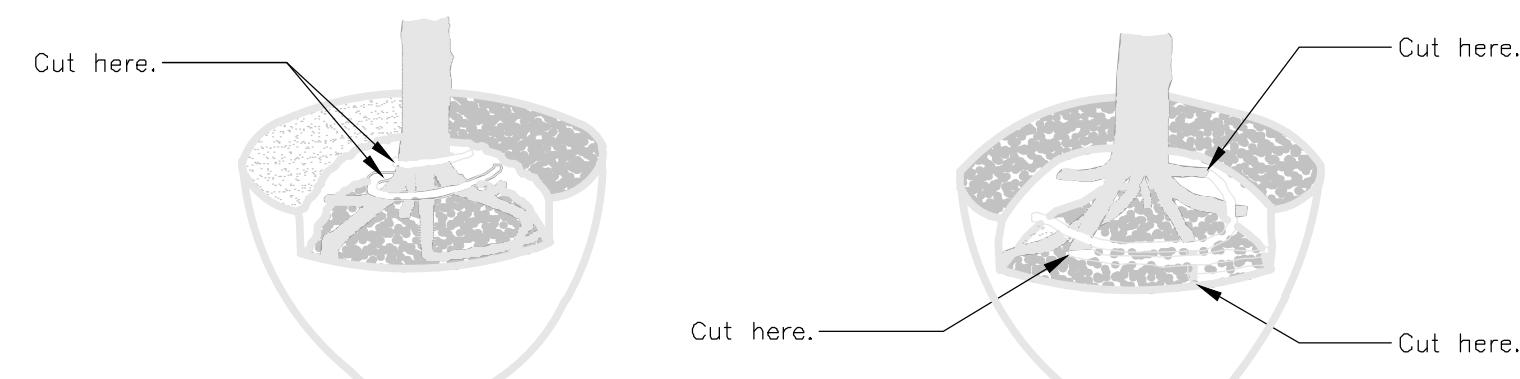
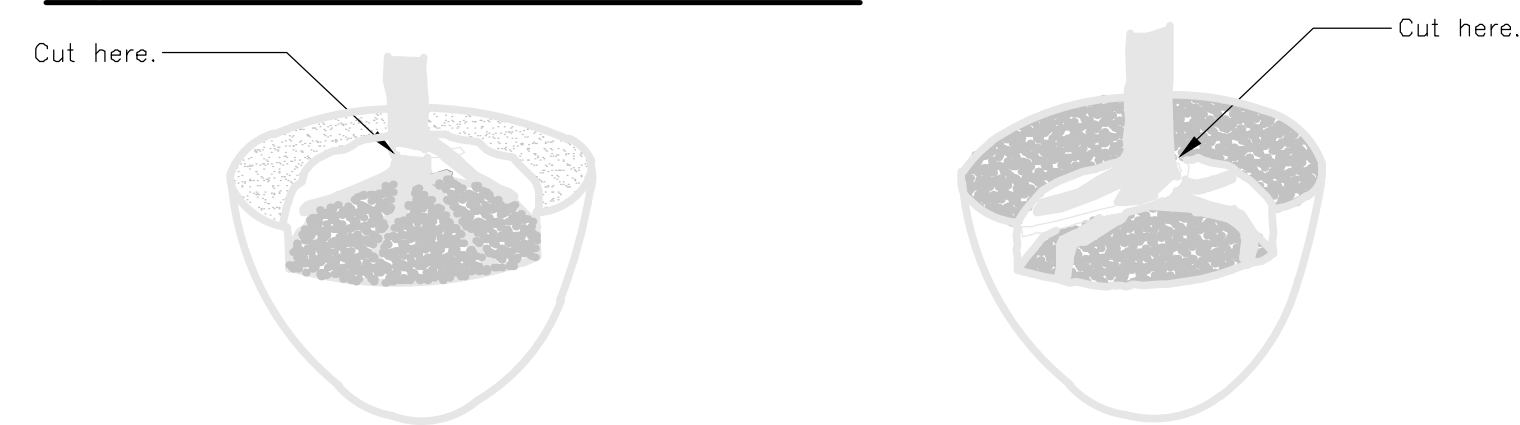
**L1.0**



Step 1 - Remove soil and roots over the root collar.



Step 2 - Remove defects.

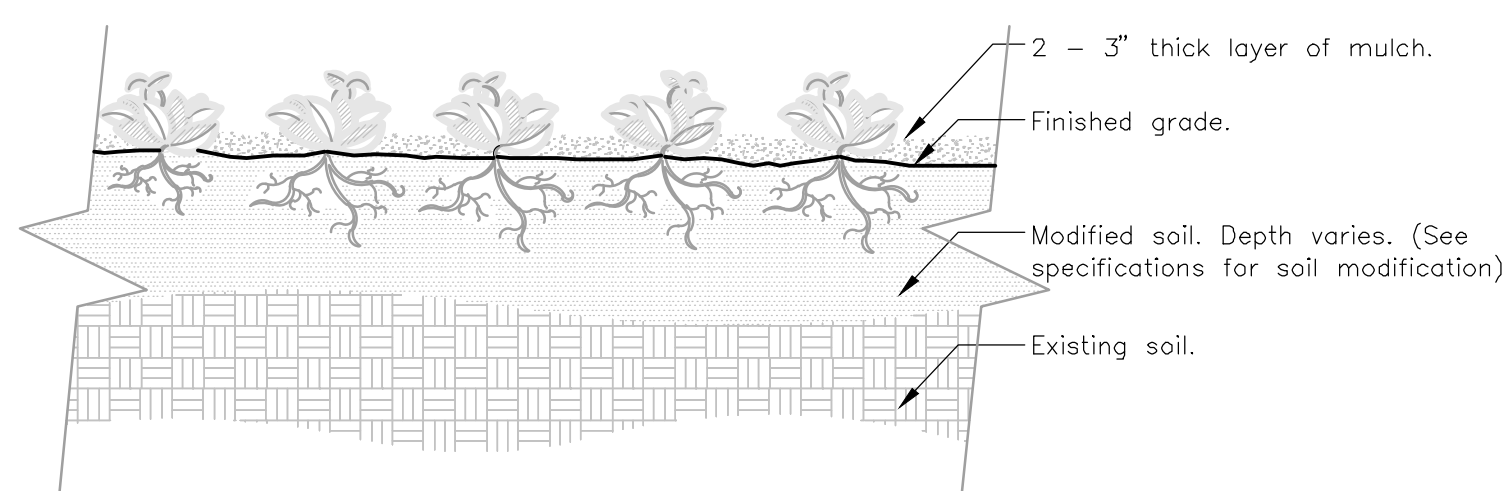


Notes:

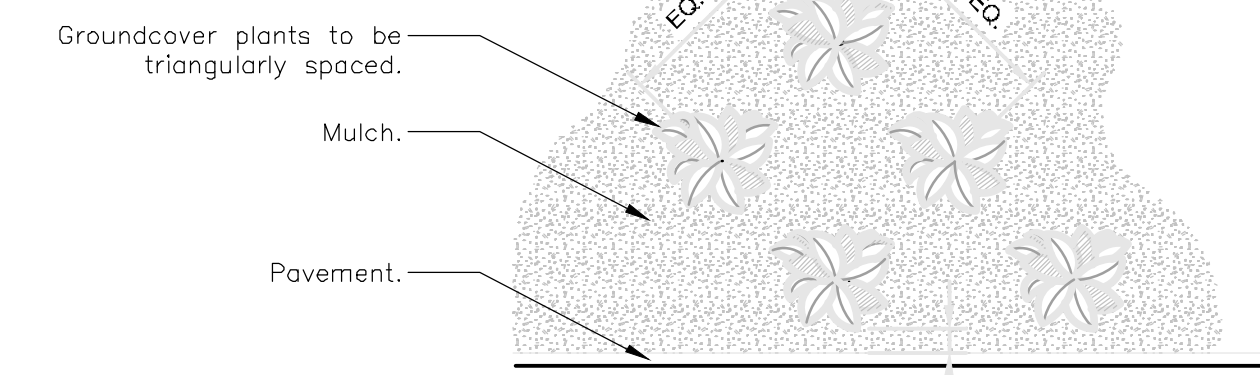
- 1- All trees shown are rejectable unless they undergo recommended correction.
- 2- First step 1, then step 2. Adjust hole depth to allow for the removal of excess soil and roots over the root collar.
- 3- Roots and soil may be removed during the correction process; substrate/soil shall be replaced after the correction has been completed.
- 4- Trees shall pass root observations detail following correction.

1 ROOT CORRECTION DETAIL - BALLED AND BURLAPPED  
NOT TO SCALE

URBAN TREE FOUNDATION © 2014



SECTION VIEW

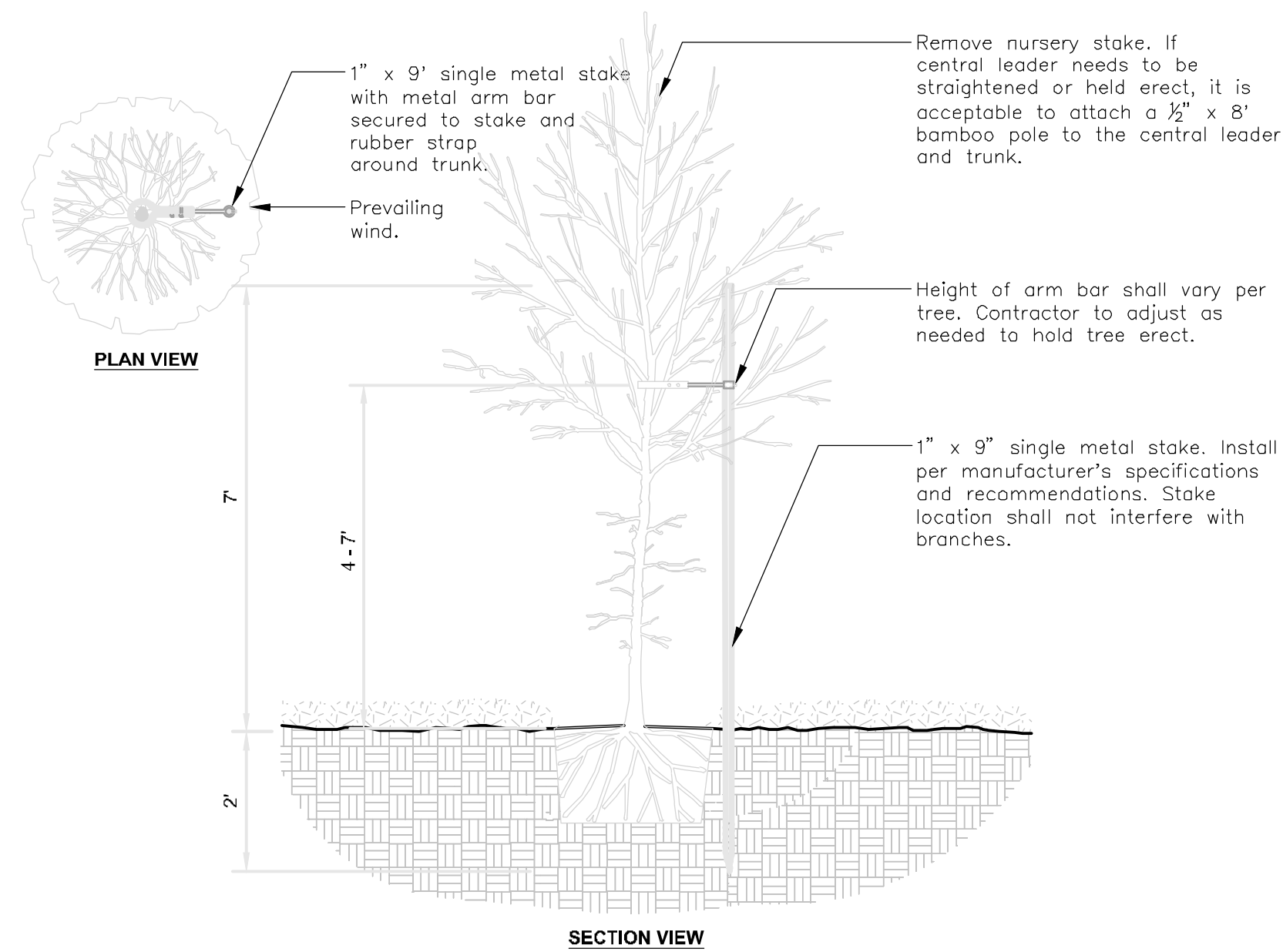


PLAN

- Notes:
- 1- See planting legend for groundcover species, size, and spacing dimension.
  - 2- Small roots (1/4" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periphery can be removed at the time of planting. (See root ball shaving container detail).
  - 3- Settle soil around root ball of each groundcover prior to mulching.

4 GROUNDCOVER  
NOT TO SCALE

URBAN TREE FOUNDATION © 2014

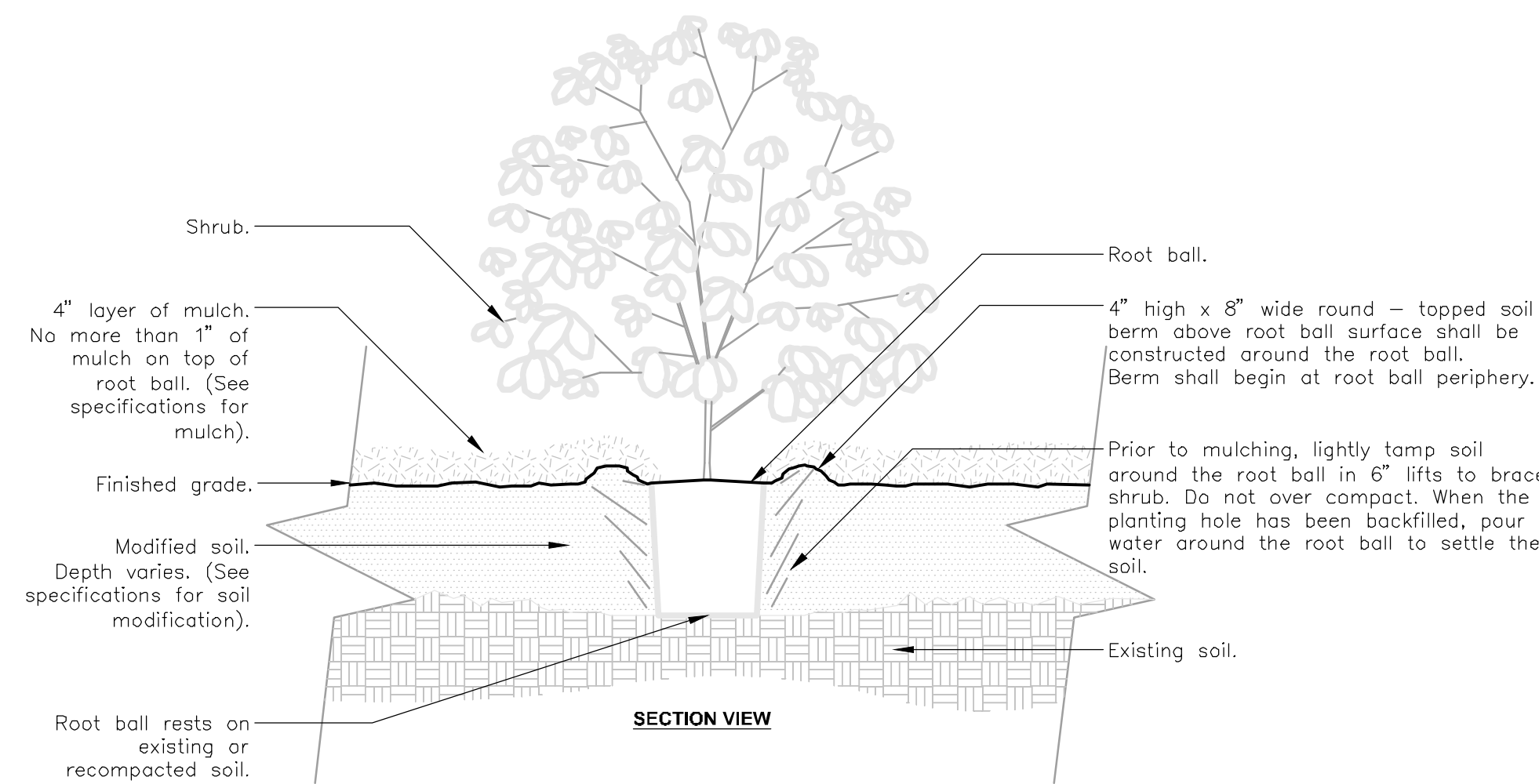


PLAN VIEW

SECTION VIEW

2 TREE STAKING - SINGLE METAL STAKE  
NOT TO SCALE

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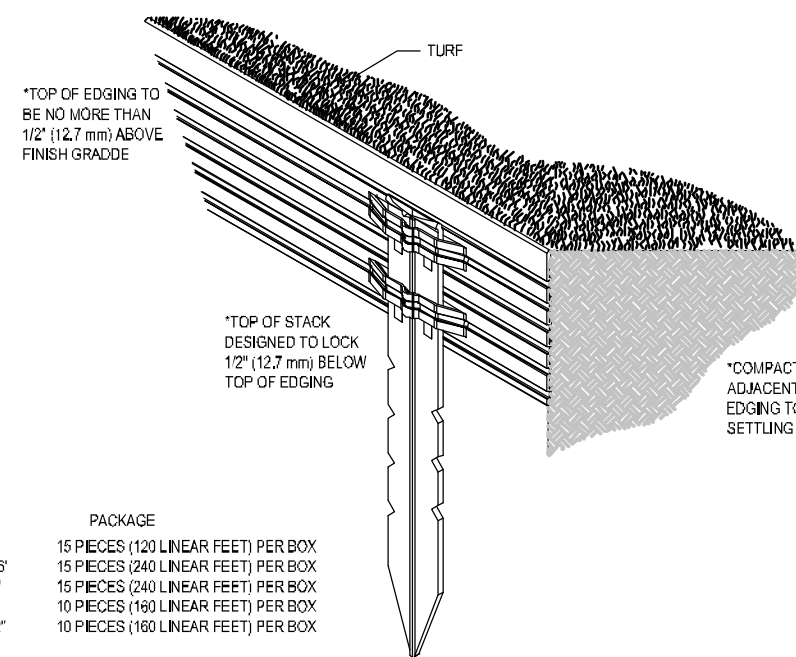


SECTION VIEW

- Notes:
- 1- Shrubs shall be of quality prescribed in the root observations detail and specifications.
  - 2- See specifications for further requirements related to this detail.

3 SHRUB - MODIFIED SOIL  
NOT TO SCALE

URBAN TREE FOUNDATION © 2014



PRODUCT	SIZE	PACKAGE
SURE-LOC CRISPEDE	18" X 4"	10 PIECES (10 LINEAR FEET) PER BOX
SURE-LOC CRISPEDE	18" X 4" X 1/2"	10 PIECES (10 LINEAR FEET) PER BOX
SURE-LOC CRISPEDE	18" X 5 1/2"	10 PIECES (10 LINEAR FEET) PER BOX
SURE-LOC SUREEDGE	3/8" X 4"	10 PIECES (10 LINEAR FEET) PER BOX
SURE-LOC SUREEDGE	3/8" X 5 1/2"	10 PIECES (10 LINEAR FEET) PER BOX

- NOTES:
- 1- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - 2- DO NOT SCALE DRAWINGS.
  - 3- CONTRACTOR'S NOTE FOR PRODUCT AND PURCHASING INFORMATION VISIT [www.CDCalib.com/Info](http://www.CDCalib.com/Info) REFERENCE NUMBER 26-008

SURE-LOC ALUMINUM EDGING CORPORATION  
494 EAST 64TH ST  
HOLLAND, MI 49423  
TOLL FREE: 1-800-787-3652  
PHONE: (616) 392-3209  
FAX: (616) 392-5134  
[www.surelocedging.com](http://www.surelocedging.com)

5 ALUMINUM LANDSCAPE EDGING  
NOT TO SCALE

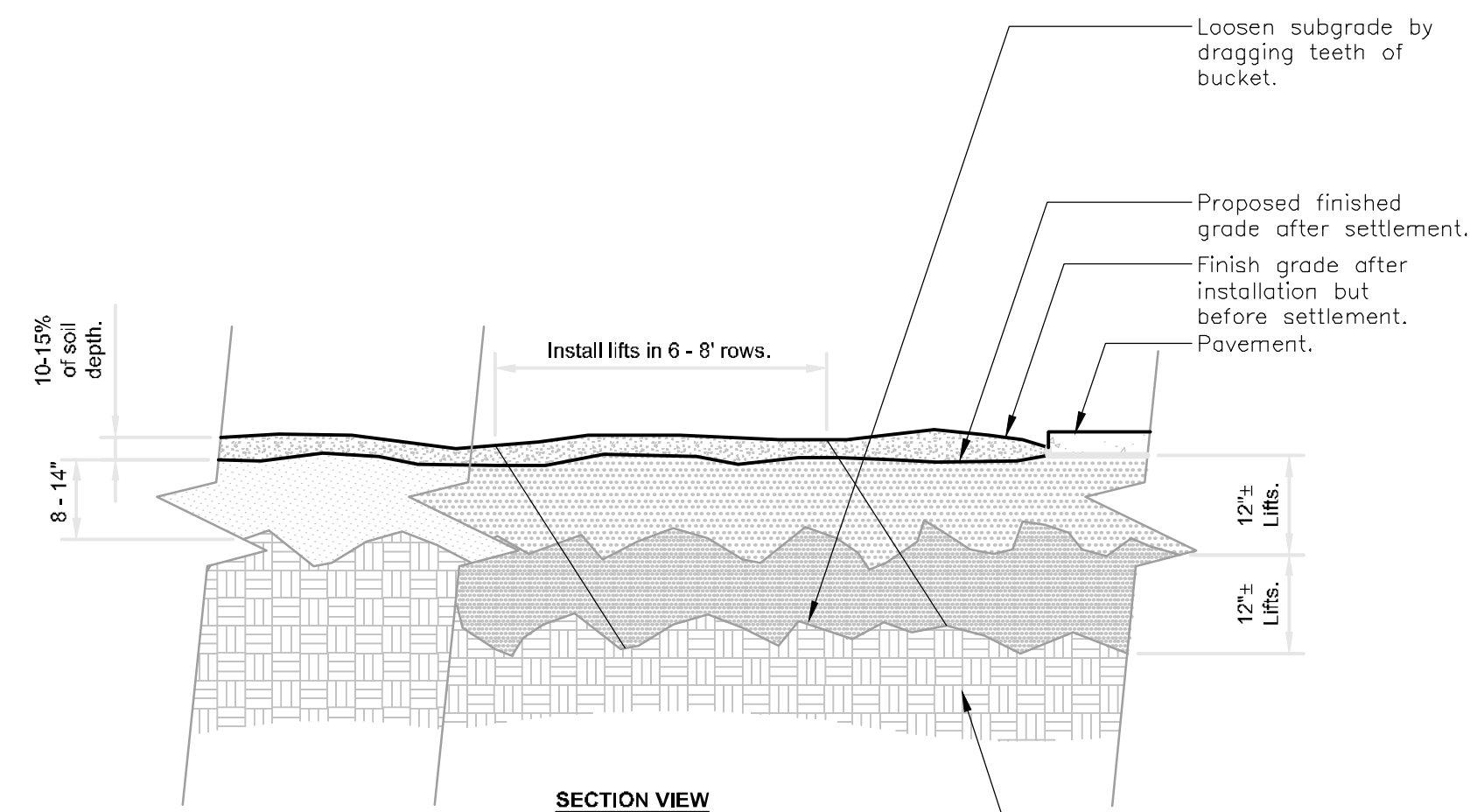
DETAIL-FILE

6 MODIFIED EXISTING SOIL - INSTALLED PLANTING MIX  
1/2" = 1'-0"

URBAN TREE FOUNDATION © 2014  
OPEN SOURCE. FREE TO USE

P-CO-PAN-GENP-14

- Notes:
- 1- Means and methods of soil compaction shall be determined at time of soil mock up.
  - 2- Soil compaction after installation shall be 75 - 250 PSI at soil moisture between field capacity and wilting point.
  - 3- For soil depths see planting soil specifications.
  - 4- See planting soil specification for additional requirements.



SECTION VIEW

PLANTING NOTES

1. LOCATION OF ALL EXISTING UTILITIES NEEDS TO BE DONE BEFORE COMMENCING WORK.
2. THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
  - A. CREEPING GROUNDCOVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
  - B. ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
  - C. ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
  - D. ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
3. MULCH ALL PLANTING BED AREAS TO A MINIMUM DEPTH OF 3". MULCH INDIVIDUAL TREES TO A MINIMUM DEPTH OF 4".
4. NOTE: IF PLANTS ARE NOT LABELED - THEY ARE EXISTING AND SHALL REMAIN.
5. ALL LANDSCAPED AREAS IN ROW SHALL BE SODDED AND IRRIGATED UNLESS OTHERWISE SPECIFIED.

MATERIALS:

1. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF DISEASE AND INSECTS AS PER AAN STANDARDS.
2. SHREDDED BARK MULCH INSTALLED AT TREES SHALL BE FINELY CHIPPED AND SHREDDED HARDWOOD CHIPS, CONSISTING OF PURE WOOD PRODUCTS AND FREE OF ALL OTHER FOREIGN SUBSTANCES. PINE BARK COMPOST MULCH INSTALLED AT PLANTING BED AREAS SHALL BE FREE OF ALL OTHER FOREIGN SUBSTANCES.

INSTALLATION:

1. ALL COMPACTED SOIL AND ROLL SPLIT WITHIN THE AREA TO BE LANDSCAPED SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN TWO (2) FEET AND SHALL BE BACKFILLED WITH TOPSOIL.
2. ALL PLANTING BEDS SHALL BE AMENDED WITH 1 CUBIC YARD OF PEAT MOSS PER 1,000 SQUARE FEET. TILL PEAT MOSS INTO SOIL TO A 6" DEPTH. A 10-10-10 FERTILIZER SHALL BE SPREAD OVER ALL PLANTING AREAS PRIOR TO PLANTING, AT A RATE OF 50 POUNDS PER 2,000 SQUARE FEET.
3. AFTER PLANTS HAVE BEEN INSTALLED, ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE PRIOR TO MULCH APPLICATION.
4. PLANT PIT BACKFILL FOR TREES AND SHRUBS SHALL BE 50% PEAT OR WELL COMPOSTED MANURE AND 50% TOPSOIL.
5. TREES PLANTED IN LANDSCAPED PLANTING AREAS SHALL BE SITUATED A MINIMUM OF THREE (3) FEET FROM ANY CURB.
6. PLANT MATERIAL SHALL BE MAINTAINED AND GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED AT LANDSCAPE CONTRACTOR'S EXPENSE.
7. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE, AT WHICH POINT THE ONE YEAR GUARANTEE BEGINS.



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1st PERMIT 10.07.16

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ARCH PROJECT #: 16044.007



ENGINEER LICENSE #

ARCHITECT:



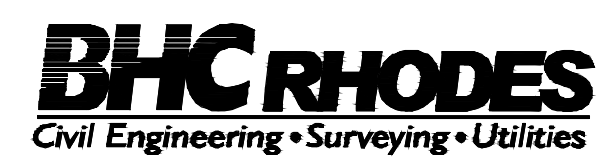
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FOXWOOD AND DEAN  
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LANDSCAPE DETAILS

L1.1



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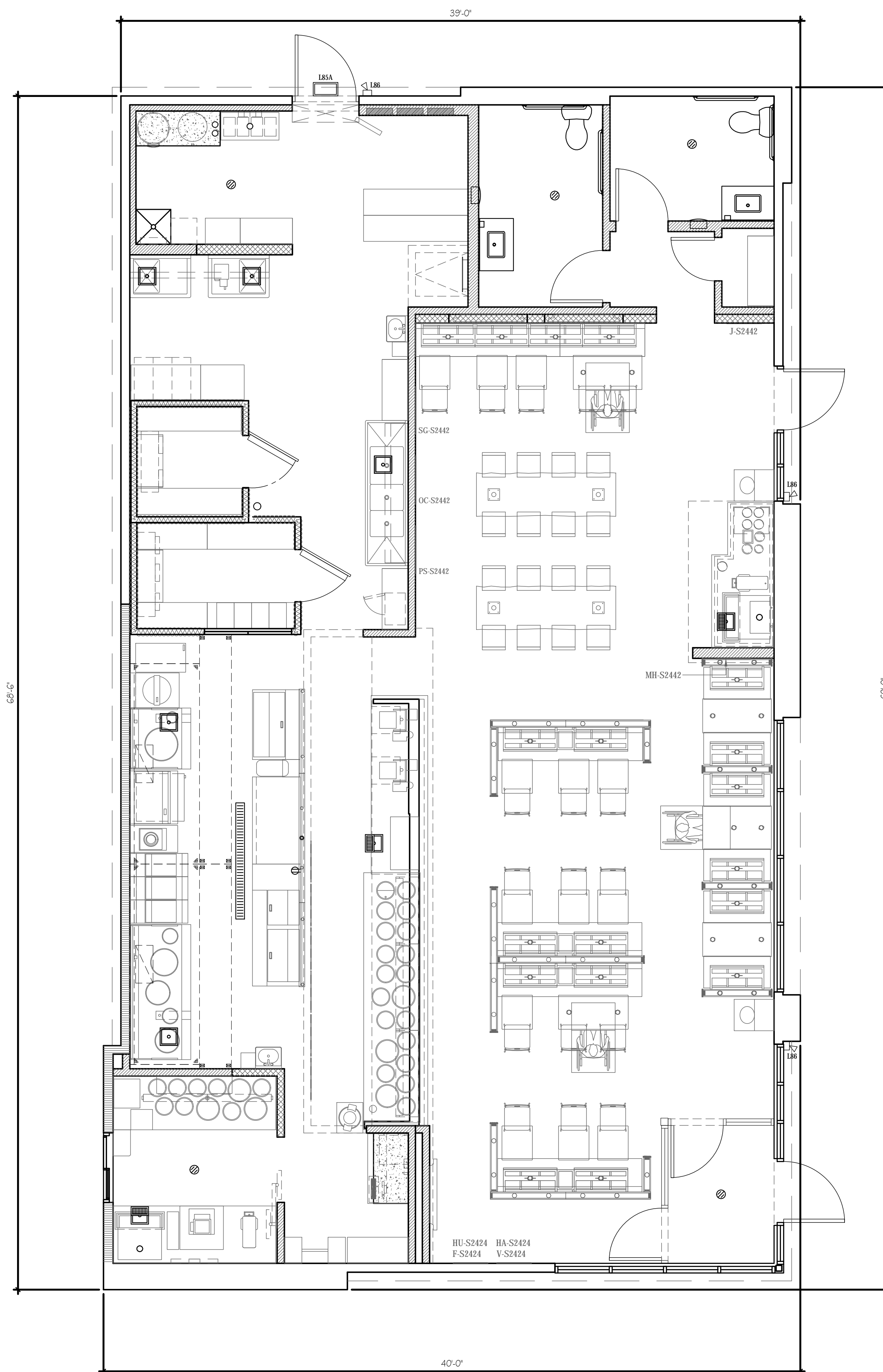
**klöverarchitects**  
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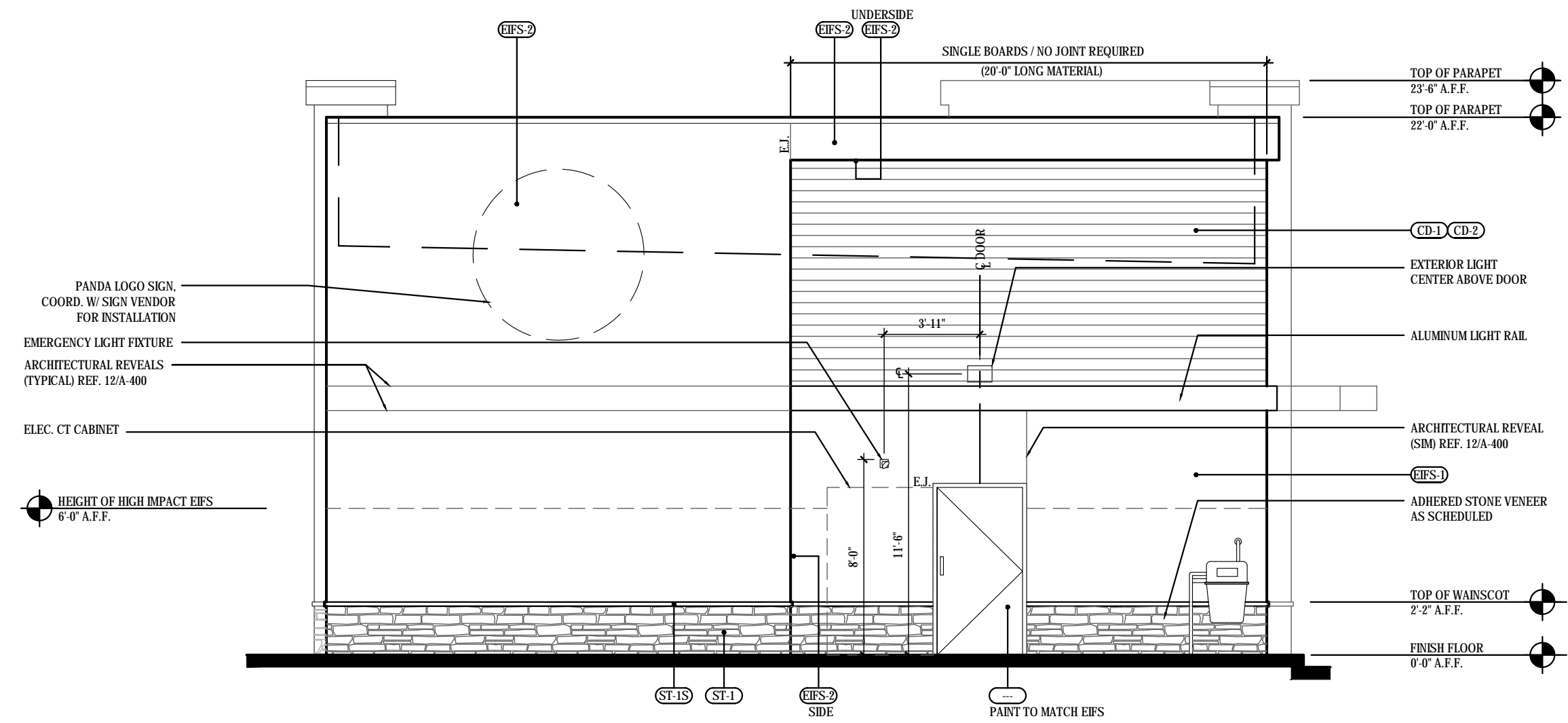
A-100

FLOOR PLAN

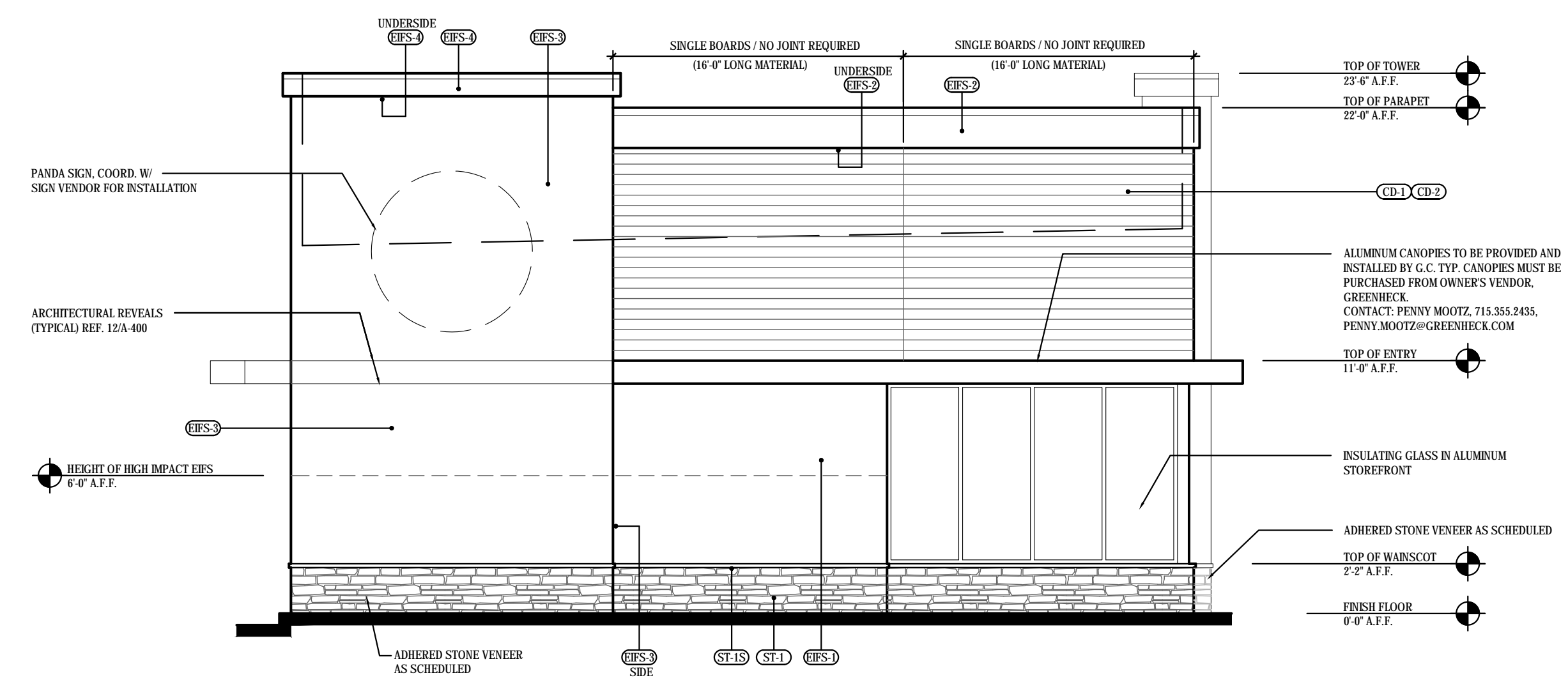


FLOOR PLAN  
SCALE: 1/4" = 1'-0"

PLANNING SUBMITTAL 09.30.16

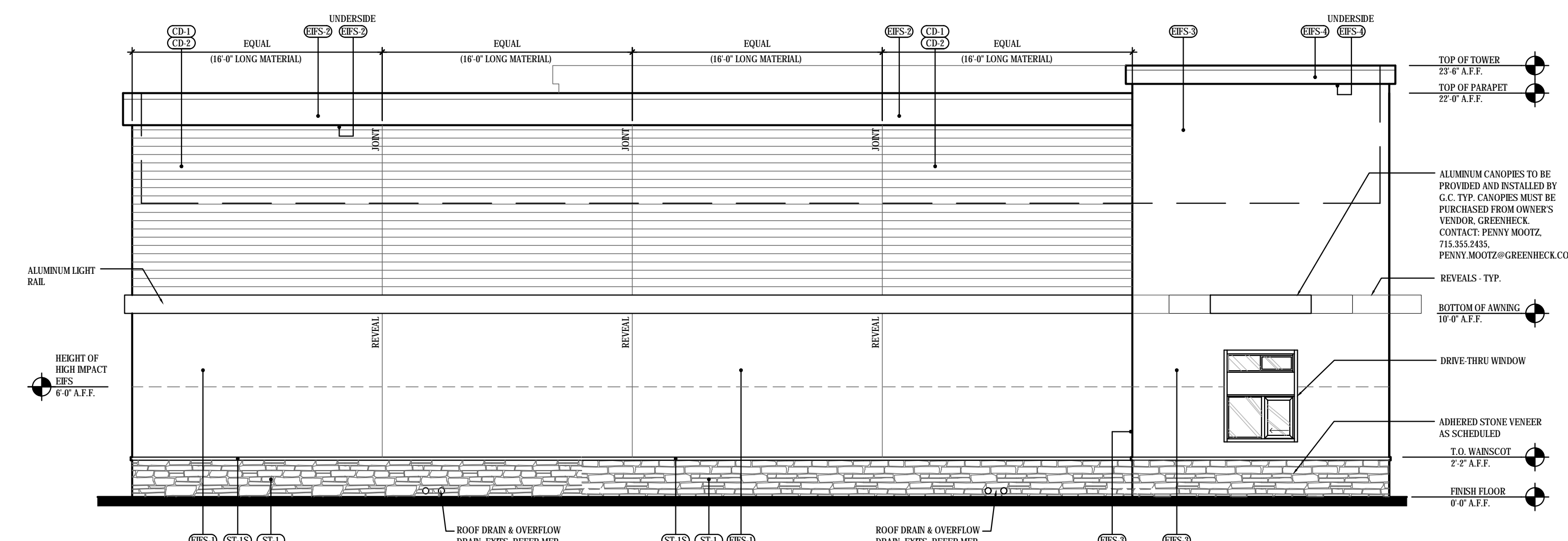


**SOUTH ELEVATION** ⑫  
SCALE: 1/4" = 1'-0"

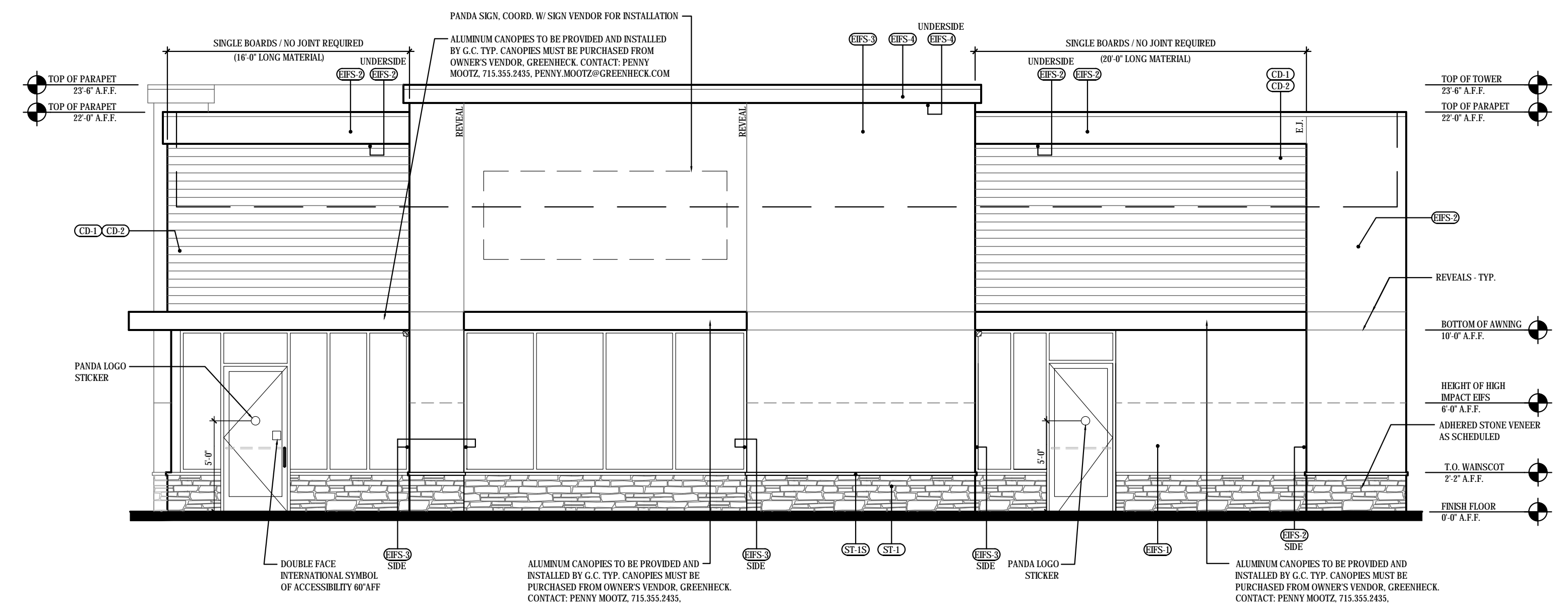


**NORTH ELEVATION** ③  
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE					
NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
EFS-1	STO	STOTHERM ESSENCE SYSTEM	SW 6148 WOOL SKEIN	FINE	BUILDING BODY
EFS-2	STO	STOTHERM ESSENCE SYSTEM	SW 7548 PORTICO	FINE	BUILDING BODY / PARAPET
EFS-3	STO	STOTHERM ESSENCE SYSTEM	SW 2849 WESTCHESTER GRAY	FINE	BUILDING TOWER
EFS-4	STO	STOTHERM ESSENCE SYSTEM	SW 7069 IRON ORE	FINE	TOWER CORNICE
CD-1	FIBERON	HORIZON	IPE	60% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE)	COMPOSITE DECKING - CONTACT: BILL ROSS 704-756-1980 EMAIL: Bill@fiberondecking.com
CD-2	FIBERON	HORIZON	TUDOR BROWN	40% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE)	COMPOSITE DECKING - CONTACT: BILL ROSS 704-756-1980 EMAIL: Bill@fiberondecking.com
P114	SHERWIN-WILLIAMS	SW 7069	IRON ORE	A100 SATIN, LATEX	ALUM. AWNINGS/CANOPY (PRE-FINISHED)
ST-15	CREATIVE MINES	-	BLACK TEA	FLAMED	STONE CAP - CONTACT: ALLISON DILLARD 949-355-3840
ST-1	CREATIVE MINES	-	NIRVANA 120/121	CRAFT SPLIT MODULAR	WAINSCOT - DRY STACK / TIGHT JOINT - CONTACT: ALLISON DILLARD 949-355-3840



**EAST ELEVATION** ②  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION** ①  
SCALE: 1/4" = 1'-0"



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**A-200**  
EXTERIOR ELEVATIONS

PLANNING SUBMITTAL 09.30.16



SOUTH ELEVATION 12  
SCALE: NTS



NORTH ELEVATION 3  
SCALE: NTS



EAST ELEVATION 2  
SCALE: NTS



WEST ELEVATION 1  
SCALE: NTS



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ARCHITECT:

**kloverarchitects**  
INCORPORATED  
10965 LOWELL AVENUE, SUITE 700  
OVERLAND PARK, KS 66210  
ph: 913.649.8181 • fx: 913.649.1275

FOXWOOD AND DEAN  
PANDA EXPRESS

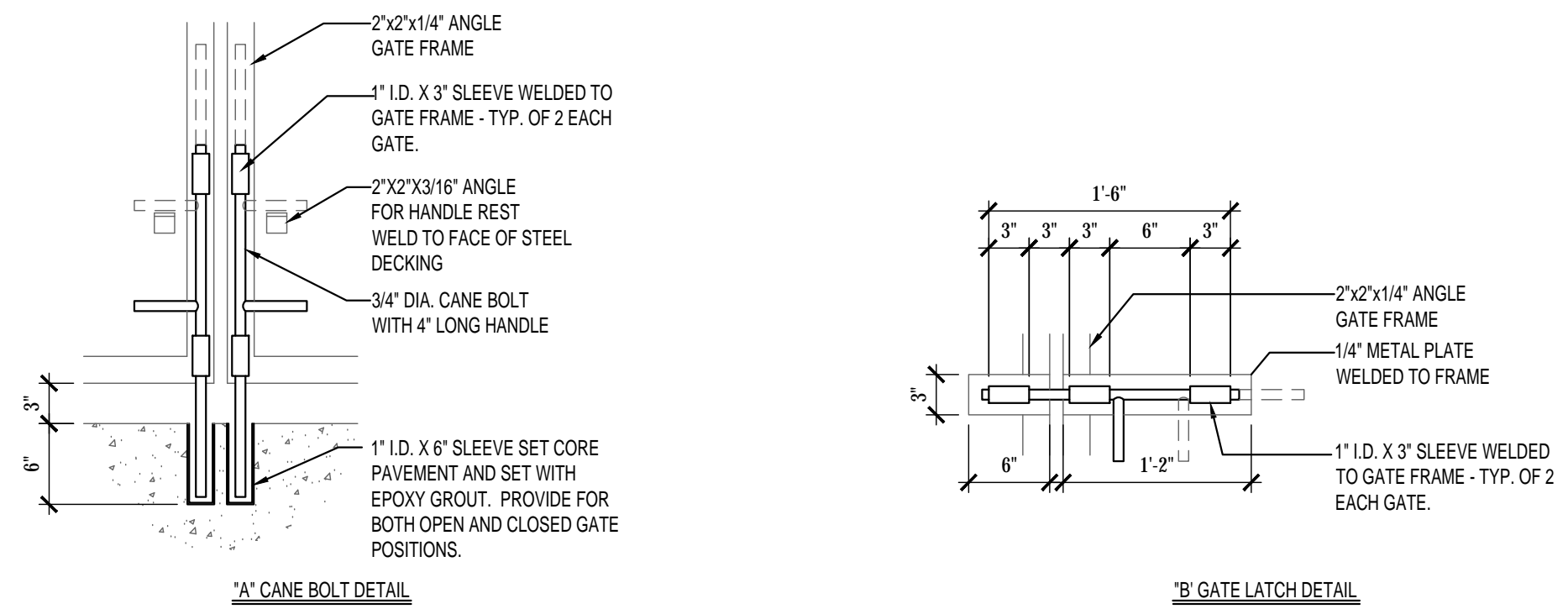
Foxwood and Dean  
1927 W. Foxwood Drive  
Raymore, MO 64083

A-201

COLOR ELEVATIONS

NOT USED 16

Scale= NTS A-407



DUMPSTER GATE LATCH DETAILS 15

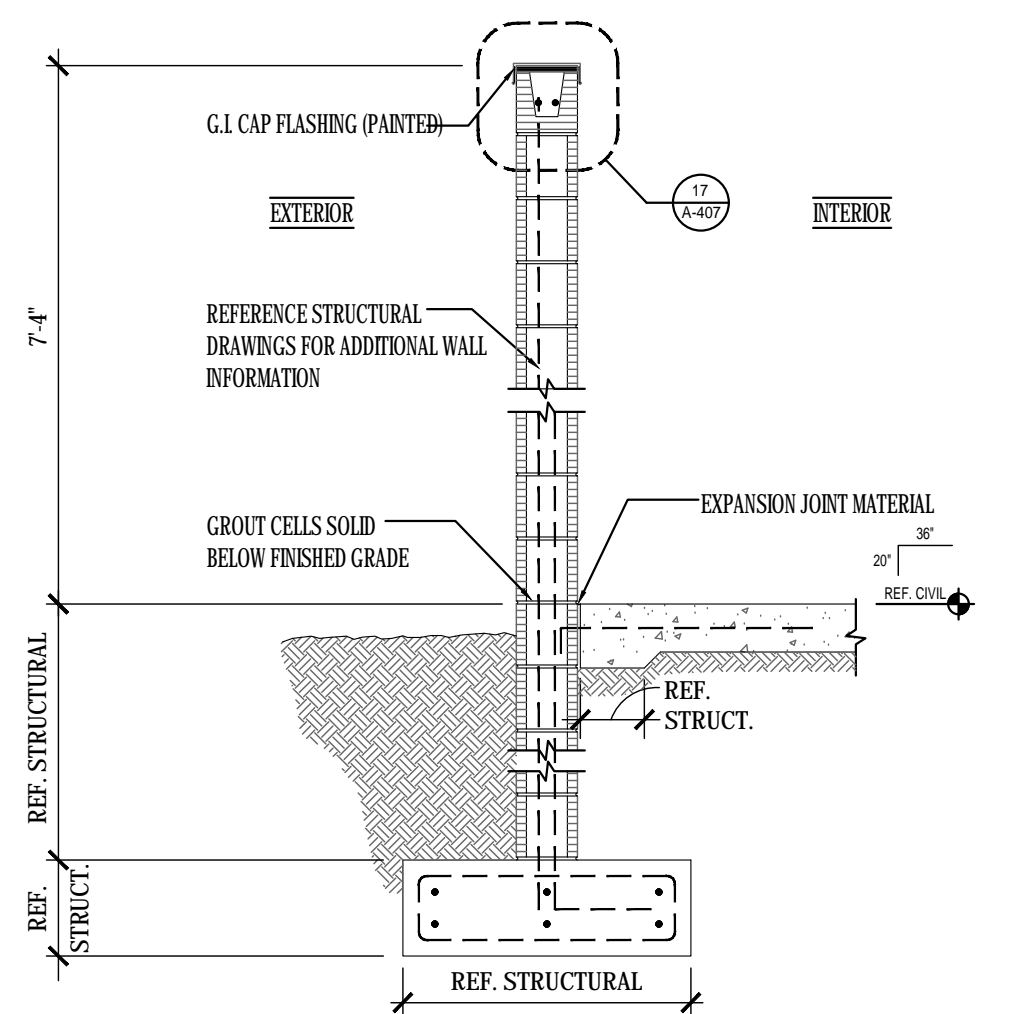
Scale= NTS A-407

NOT USED 11

Scale= NTS A-407

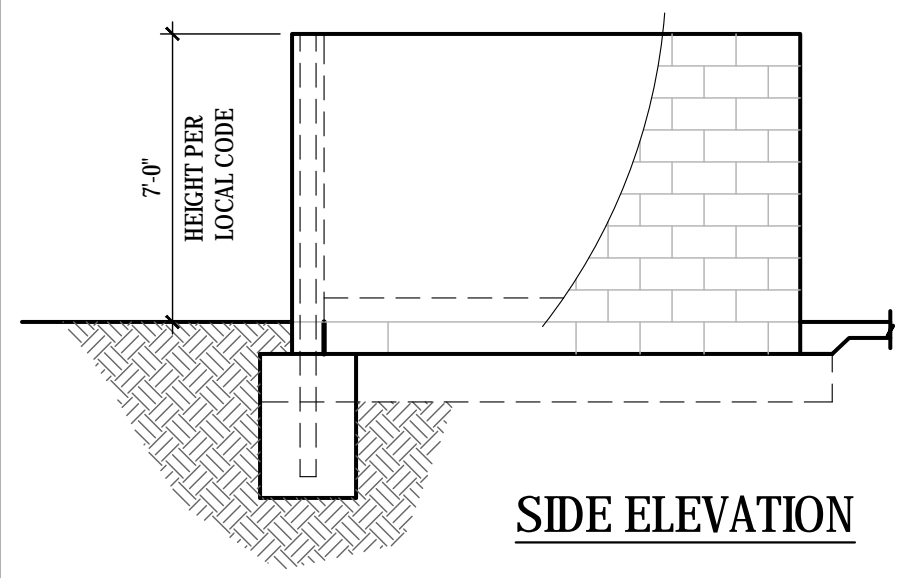
TRASH ENCLOSURE WALL SECTION 8

Scale= 1/2" = 1'-0" A-407



SIDE ELEVATION 4

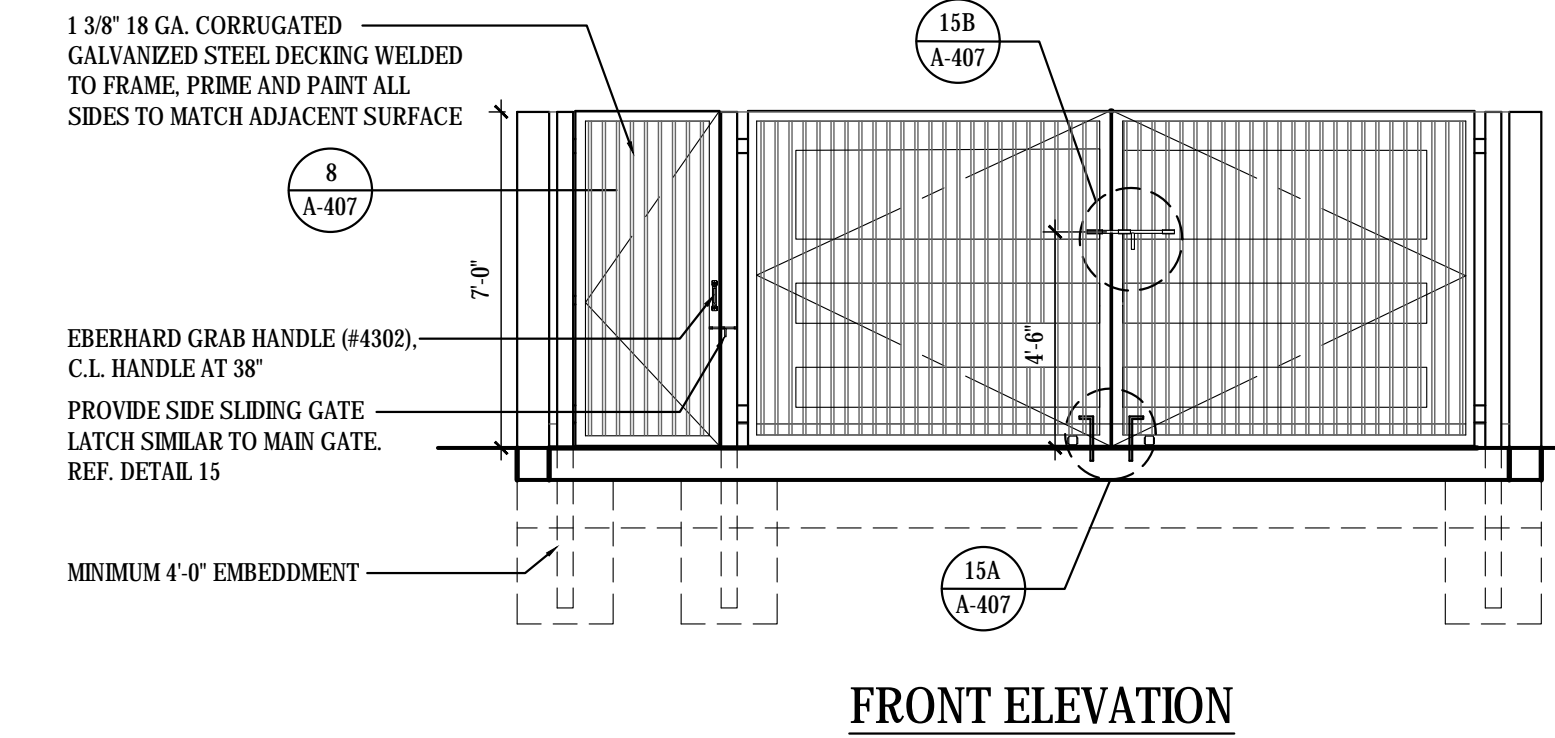
Scale= 1/4" = 1'-0" A-407



NOTE:  
THE TRASH ENCLOSURE IS TO MATCH THE COLOR, TEXTURE AND DESIGN OF THE BUILDING.  
INTERIOR WALLS AND FLOOR OF DUMPSTER AREA MUST BE SMOOTH, CLEANABLE AND SEALED WITH AN APPROVED EPOXY CEMENT SEALER.

FRONT ELEVATION 2

Scale= 1/4" = 1'-0" A-407



NOTE:  
THE TRASH ENCLOSURE EXTERIOR CMU WALLS TO HAVE ERS FINISH TO MATCH BUILDING TEXTURE - SEE: A-200  
TRASH ENCLOSURE WALLS AND GATE COLOR SHALL MATCH (EPS-D)  
INTERIOR WALLS TO BE FINISHED WITH A GLOSSY HEAVY DUTY BLOCK FILLER PAINT. COLOR TO MATCH EXTERIOR. SHERWIN WILLIAMS OR EQUAL.

NOTE: CONTRACTOR TO SUPPLY & INSTALL ALL HINGES, GATE LATCHES, CANE BOLTS, ETC. AS INDICATED.  
NOTE: ANY DIAGONAL SUPPORT FOR GATES SHALL BE INSTALLED ON THE INSIDE OF ENCLOSURE. THIS SHALL NOT BE VISIBLE ON THE OUTSIDE OF THE GATE.



PANDA RESTAURANT GROUP INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

1st PLANNING 09.30.16

DRAWN BY: VTL

PANDA PROJECT #: S8-17-D4987

ARCH PROJECT #: 16044.007

ARCHITECT:



**FOXWOOD AND DEAN  
PANDA EXPRESS**

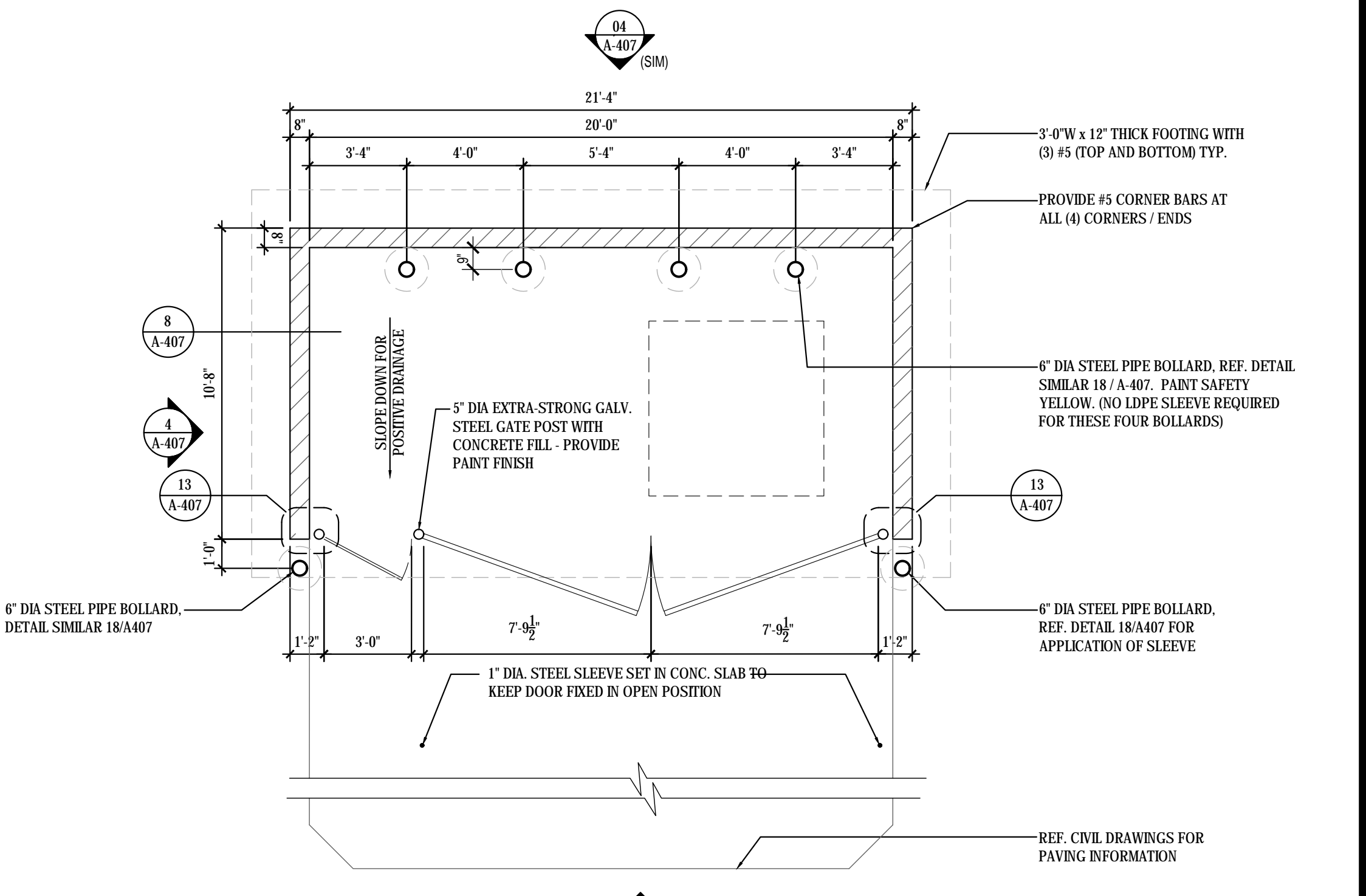
Foxwood and Dean  
1927 W. Foxwood Drive  
Raymore, MO 64083

A-407

TRASH ENCLOSURE DETAILS

TRASH ENCLOSURE 1

Scale= 1/4" = 1'-0" A-407

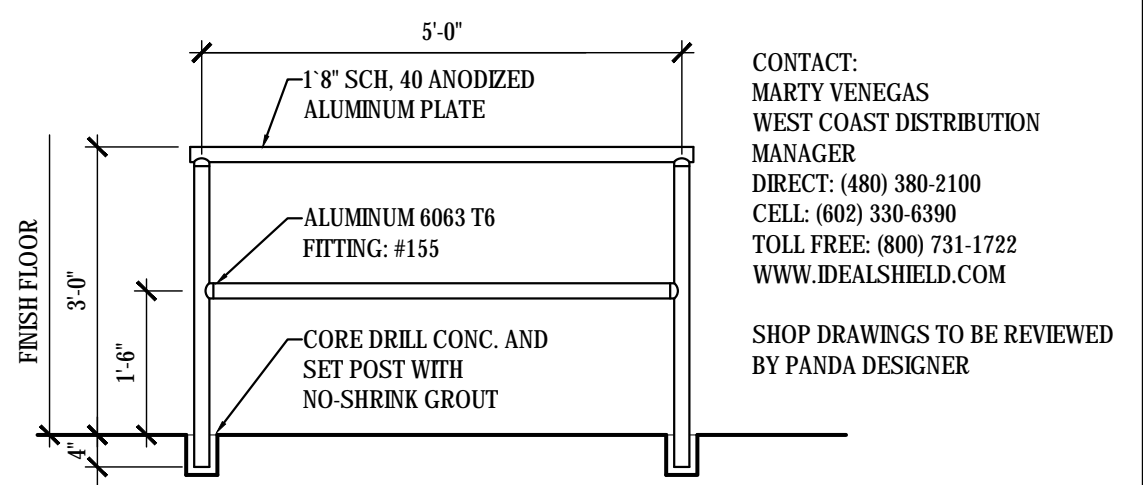


NOTE:  
FLOOR OF DUMPSTER AREA MUST BE SMOOTH, CLEANABLE AND SEALED WITH (AQUA MR SEALER'S CHOICE GOLD) CEMENT SEALER.

REF. CIVIL DRAWINGS FOR PAVING INFORMATION

NOT USED 10

Scale: A-407



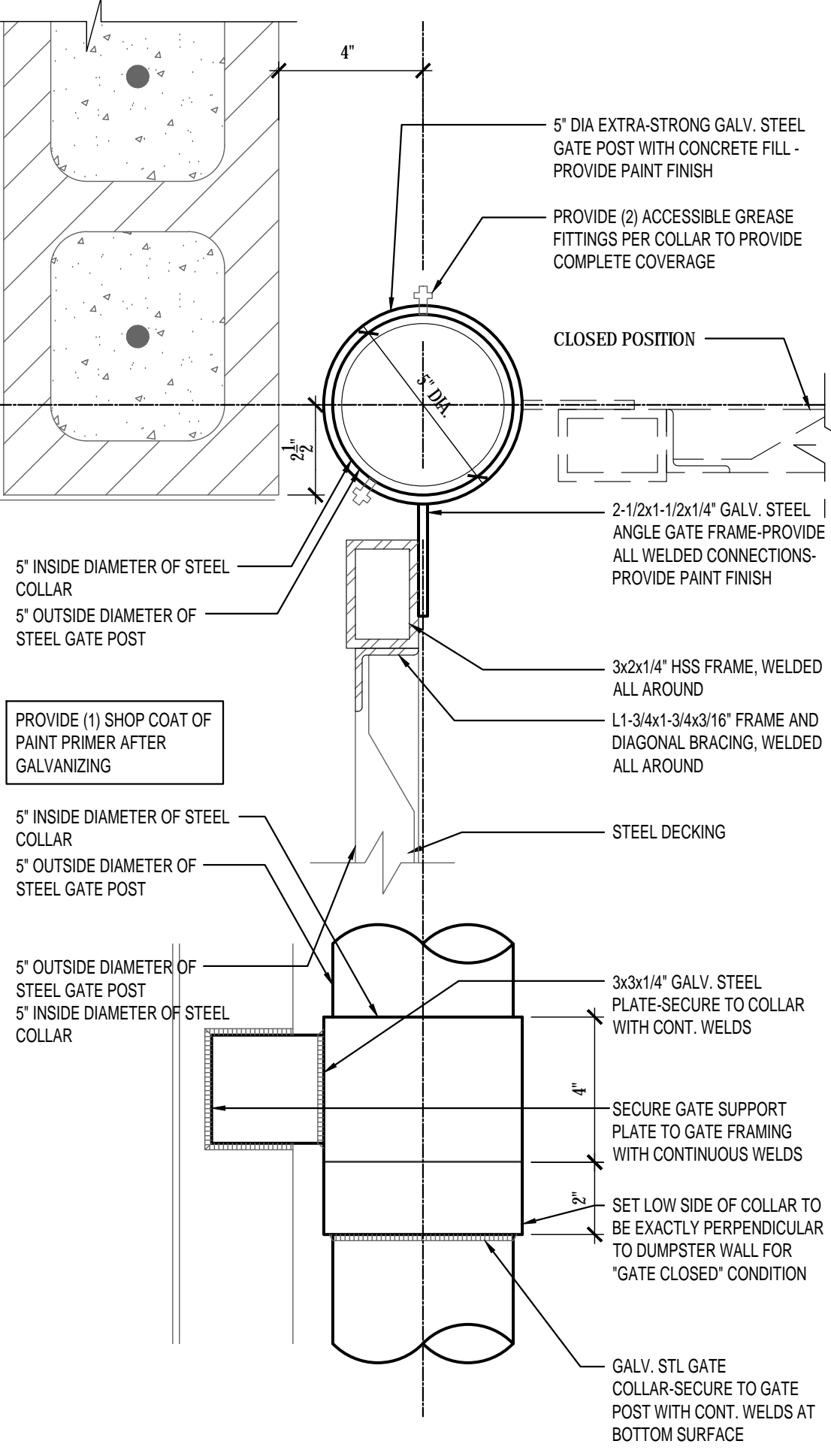
CONTACT:  
MARTY VENEGAS  
WEST COAST DISTRIBUTION  
MANAGER  
DIRECT: (480) 380-2100  
CELL: (602) 330-6390  
TOLL FREE: (800) 731-1722  
WWW.IDEALSHIELD.COM

SHOP DRAWINGS TO BE REVIEWED BY PANDA DESIGNER

APPLICABLE RAILING AREAS:  
1. PATIO IS ADJACENT TO DRIVE AISLE OR DRIVE THRU LANE WITHOUT ANY LANDSCAPE BUFFER.  
2. PATIO AREA AND ADJACENT GRADES ARE MORE THAN 6" DIFFERENCE IN HEIGHT.  
3. PROJECT THAT REQUIRES ADA ACCESSIBLE RAMP AND RAILING.

RAILING ELEVATION 9

Scale: 1/2" = 1'-0" A-405

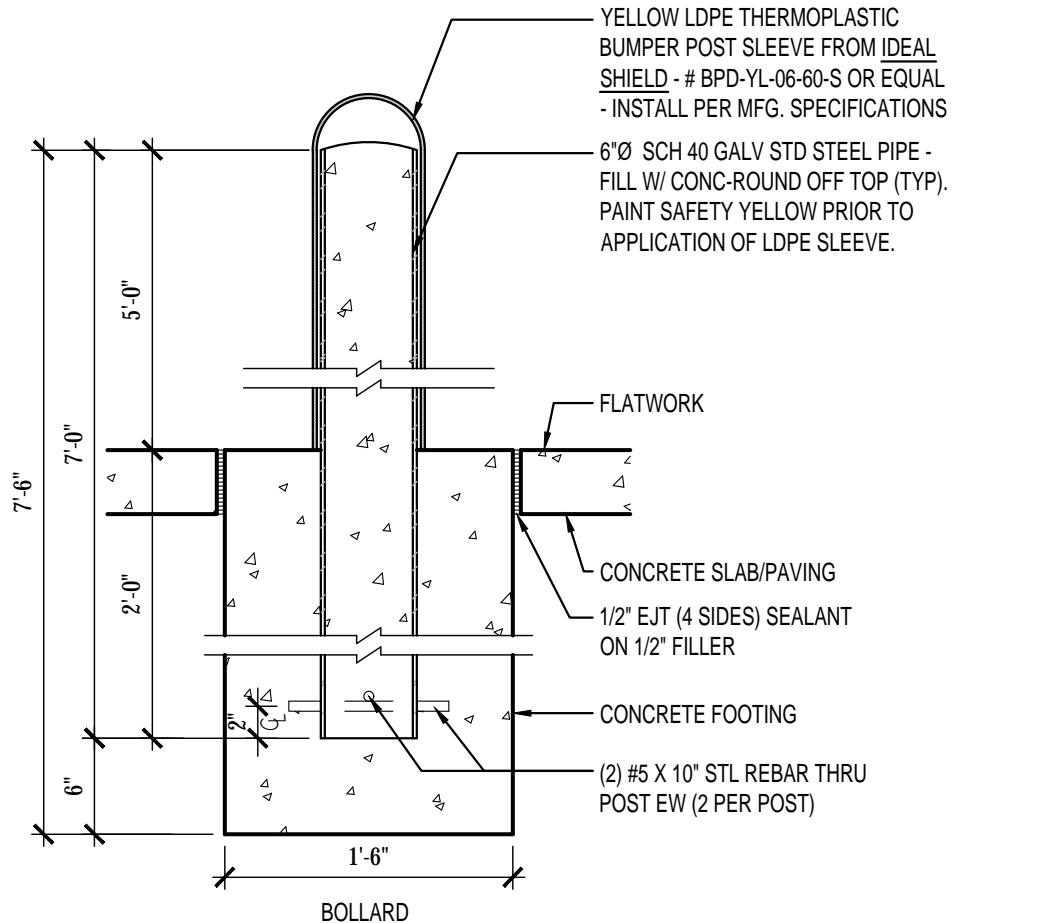


HINGE DETAIL 13

Scale= 3" = 1'-0" A-407

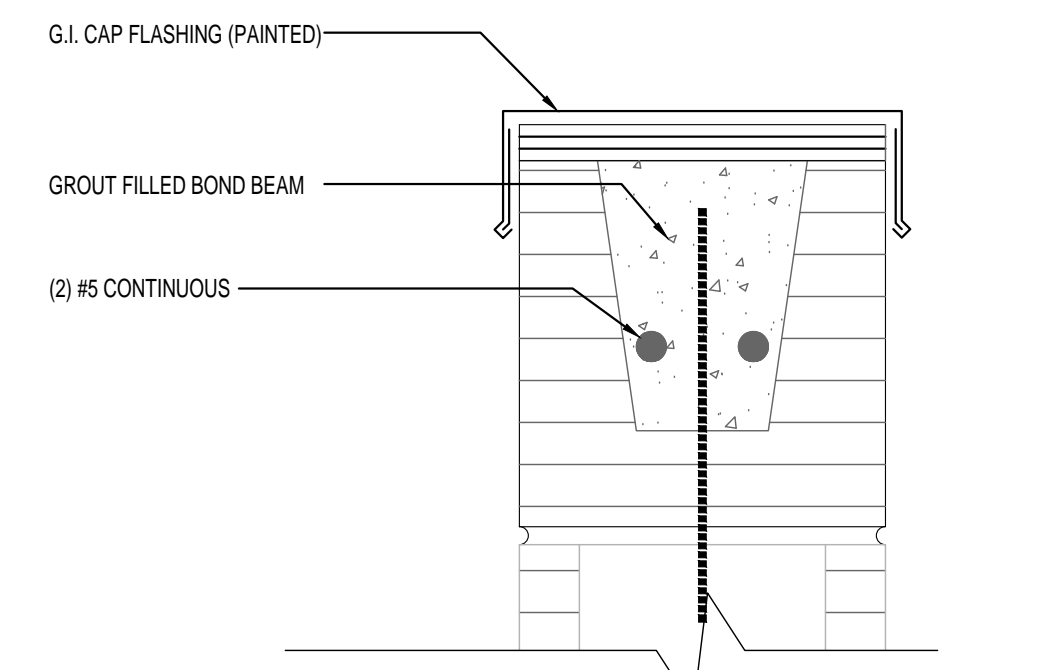
BOLLARD / POST BASE 18

Scale= 1" = 1'-0" A-407



DUMPSTER CAP DETAIL 17

Scale= 3" = 1'-0" A-407



PLANNING SUBMITTAL 09.30.16



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REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

ISSUE NO.	DESCRIPTION	DATE
1ST	PLANNING	09.30.16

DRAWN BY: VTL

PANDA PROJECT #: S8-17-D4987  
 ARCH PROJECT #: 16044.007

FOR REFERENCE ONLY

ARCHITECT:



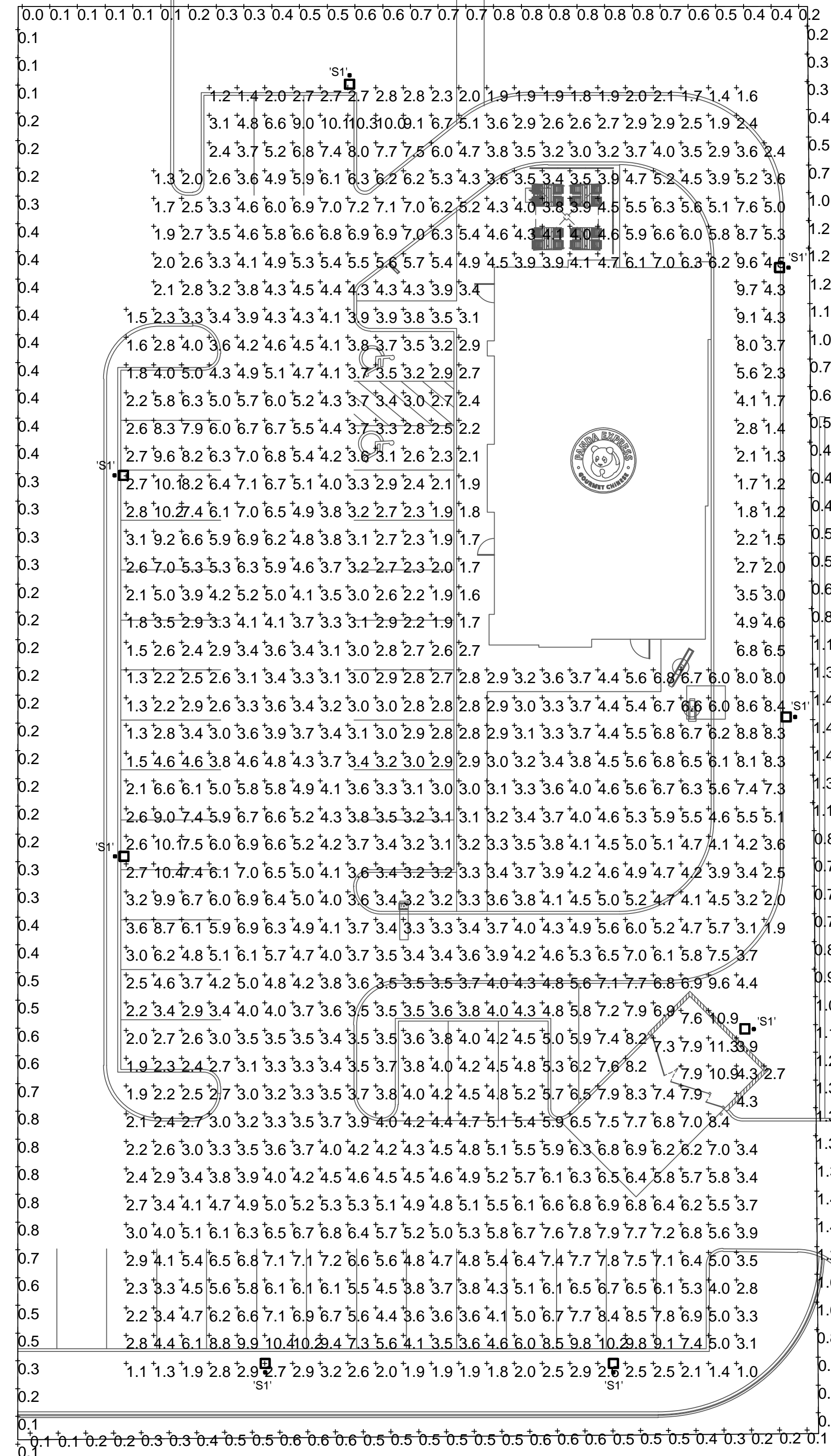
PANDA EXPRESS

FOXWOOD AND DEAN  
 1927 W. FOXWOOD DRIVE  
 RAYMORE, MO 64083

E-106

SITE PHOTOMETRIC PLAN

PLANNING SUBMITTAL 09.30.16



NOTES:  
 1) MOUNTING HEIGHT OF 22'-0"  
 POLE HEIGHT: 20'-0"  
 POLE BASE: 2'-0"  
 2) CALCULATIONS TAKEN AT GROUND LEVEL.  
 3) CONTACT VILLA LIGHTING - JEFF CLAUSS: 314-531-2600 (jeff.clauss@villalighting.com)

CALC. SUMMARY - PAVED SURFACE						
CALC TYPE	UNITS	AVG	MAX	MIN	AVG / MIN	MAX / MIN
ILLUMINANCE	Fc	4.5	10.4	1.0	4.5 : 1	10.4 : 1

NOTE: AFTER HOURS DIMMED ILLUMINANCE LEVELS ARE APPROX. 1/2 OF THE ABOVE VALUES.

CALC. SUMMARY - PROPERTY LINE						
CALC TYPE	UNITS	AVG	MAX	MIN	AVG / MIN	MAX / MIN
ILLUMINANCE	Fc	0.6	1.4	0.0	N/A	N/A

NOTE: AFTER HOURS DIMMED ILLUMINANCE LEVELS ARE APPROX. 1/2 OF THE ABOVE VALUES.

PANDA SITE LIGHTING DESIGN CRITERIA		2
NO SCALE		E-106

ALL SITE LIGHTING ARE PROVIDED AND INSTALLED BY GC.  
 GC. TO PURCHASE FIXTURE THRU PANDA APPROVED LIGHTING VENDOR.

LIGHTING FIXTURE SCHEDULE			
FIXTURE TAG	MANUFACTURER and CATALOG NUMBER	VOLTS VA	LAMP INFO. and REMARKS
'S1'	LSI INDUSTRIES VILLA LIGHTING-XGBM-FT-LED-HO-NW-HSS	288.8	LED 17359.83 Lumens Per Lamp

SITE LIGHTING FIXTURE SCHEDULE		3
NO SCALE		E-106

SITE PHOTOMETRIC PLAN		1
1/16" = 1'-0"		E-106

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