

RAYMORE PLANNING AND ZONING COMMISSION AGENDA

Tuesday, February 7, 2023 - 6:00 p.m.

City Hall Council Chambers
100 Municipal Circle
Raymore, Missouri 64083

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Personal Appearances
5. Consent Agenda
 - a. Approval of Minutes from the January 17, 2023 meeting
6. Unfinished Business - None
7. New Business -
 - a. Case #23001 - Willowind Square - Lot 2
8. City Council Report
9. Staff Report
10. Public Comment
11. Commission Member Comment
12. Adjournment

Meeting Procedures

The following rules of conduct apply:

1. Public can only speak during the meeting under the following circumstances:
 - a. The citizen has made a formal request to the Development Services Department to make a personal appearance before the Planning Commission; or,
 - b. A public hearing has been called by the Chairman and the Chairman has asked if anyone from the public has comments on the application being considered; or
 - c. A citizen may speak under Public Comment at the end of the meeting.
2. When the public comments portion of the public hearing is opened, the Chairman will first invite any individuals that live within the City limits of Raymore to speak. Upon conclusion of the comments from City residents, the Chairman will invite any individuals who do not live within the City limits of Raymore to speak.
3. If you wish to speak to the Planning Commission, please proceed to the podium and state your name and address. Spelling of your last name would be appreciated.
4. Please turn off (or place on silent) any pagers or cellular phones.
5. Please do not talk on phones or with another person in the audience during the meeting.
6. Please no public displays, such as clapping, cheering, or comments when another person is speaking.
7. While you may not agree with what an individual is saying to the Planning Commission, please treat everyone with courtesy and respect during the meeting.

Every application before the Planning Commission will be reviewed as follows:

1. Chairman will read the case number from the agenda that is to be considered.
2. Applicants will present their request to the Planning Commission.
3. Staff will provide a staff report.
4. If the application requires a public hearing, Chairman will open the hearing and invite anyone to speak on the request.
5. Chairman will close the public hearing.
6. Planning Commission members can discuss the request amongst themselves, ask questions of the applicant or staff, and may respond to a question asked from the public.
7. Planning Commission members will vote on the request.

THE **PLANNING AND ZONING COMMISSION** OF THE CITY OF RAYMORE, MISSOURI, MET IN REGULAR SESSION **TUESDAY, JANUARY 17, 2023** IN THE COUNCIL ROOM AT RAYMORE CITY HALL, 100 MUNICIPAL CIRCLE, RAYMORE, MISSOURI WITH THE FOLLOWING COMMISSION MEMBERS PRESENT: ERIC BOWIE, JEREMY MANSUR, JIM PETERMANN, WILLIAM FAULKNER, MATTHEW WIGGINS, KELLY FIZER, TOM ENGERT, MARIO URQUILLA, AND MAYOR KRIS TURNBOW. ALSO PRESENT WAS DEVELOPMENT SERVICES DIRECTOR DAVID GRESS, CITY ATTORNEY JONATHAN ZERR, CITY PLANNER DYLAN EPPERT AND ADMINISTRATIVE ASSISTANT EMILY JORDAN.

1. **Call to Order** – Chairman Wiggins called the meeting to order at 6:00 p.m.

2. **Pledge of Allegiance**

3. **Roll Call** – Roll was taken and Chairman Wiggins declared a quorum present to conduct business.

4. **Personal Appearances** - none

5. **Consent Agenda**

a. **Approval of Minutes from the December 6, 2022 meeting**

Motion by Commissioner Faulkner, Seconded by Commissioner Fizer, to approve the Consent Agenda with three minor corrections to the minutes.

Vote on Motion:

Chairman Wiggins	Aye
Commissioner Faulkner	Aye
Commissioner Bowie	Aye
Commissioner Fizer	Aye
Commissioner Engert	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye
Mayor Turnbow	Aye

Motion passed 9-0-0.

6. **Unfinished Business** - none

7. **New Business** -

a. **Case #22007 - Edgewater 8th Plat**

City Planner Dylan Eppert gave an overview of the request for a Final Plat approval of Edgewater at Creekmoor 8th Plat, which is located on the east side of Edgewater 7th Plat, north and south of Hampstead Drive. The existing zoning is “PUD”, Planned Unit Development District, and the total tract size is 6.066 acres. The total number of lots is 12, with two common tracts, K and L. The Edgewater 7th Plat, located to the west, was approved by City Council in December 2019. Eastbrooke 3rd Plat, located to the south, was approved by City Council in November 2021. The Engineering Division indicated that the proposed final plat complies with the design standards of the City and recommends approval of the final plat. The original preliminary plat showed this development to be two-family, however the 7th Amendment to the MOU that was approved by the City Council in October 2022 nullified all remaining two-family lots to be designated as single family lots. The 7th Amendment also had some triggering events for the construction of 163rd Street. Any development that occurs east of the existing 20’ sanitary sewer line running parallel to the stream to the east of Westbrook at Creekmoor 14th plat, with

the exception of Eastbrooke at Creekmoor 3rd Plat. Staff recommends the Planning & Zoning Commission accept the staff proposed findings of fact and forward the case to the City Council with a recommendation of approval.

Commissioner Bowie had a question regarding finding of fact number one, and what would constitute a big enough change that the case would have to come back before the Commission.

Mr. Eppert noted that Staff has looked at the preliminary plat from when it was originally submitted and determined that the new submission is substantially the same, so the determination has already been made. Development Services Director David Gress noted that the changes that were deemed substantially different were made into Amendments to the existing MOU, which have already been addressed and approved prior to this plat being submitted.

Motion by Mayor Turnbow, Seconded by Commissioner Bowie, to accept Staff proposed findings of fact and forward Case #22007, Edgewater at Creekmoor 8th Final Plat, to the City Council with a recommendation of approval.

Vote on Motion:

Chairman Wiggins	Aye
Commissioner Faulkner	Aye
Commissioner Bowie	Aye
Commissioner Fizer	Aye
Commissioner Engert	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye
Mayor Turnbow	Aye

Motion passed 9-0-0.

b. Case #22008 - Edgewater at Creekmoor 9th Plat - Final Plat

Mr. Eppert gave the Staff Report for the Case, noting that a lot of the information for this Case is similar to the previous Case. The property location for this Case is to the east of the Proposed Edgewater 8th and north of Hampstead Drive. The total tract size is 5.528 acres with 11 lots and two common tracts, M & N. The Engineering Division indicated that the proposed final plat complies with the design standards of the City of Raymore and recommends approval of the final plat. Staff recommends that the Planning & Zoning Commission accept Staff proposed findings of fact and forward the Case to City Council with a recommendation of approval.

Motion by Commissioner Urquilla, Seconded by Commissioner Mansur, to accept Staff proposed findings of fact and forward Case #22008, Edgewater 9th Plat, to the City Council with a recommendation of approval.

Vote on Motion:

Chairman Wiggins	Aye
Commissioner Faulkner	Aye
Commissioner Bowie	Aye
Commissioner Fizer	Aye
Commissioner Engert	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye

Mayor Turnbow

Aye

Motion passed 9-0-0.

8. City Council Report

City Attorney Jonathan Zerr gave an overview of the one City Council meeting that has taken place since the Planning & Zoning Commission last met.

9. Staff Report

Mr. Eppert provided an overview of upcoming meetings and agenda items for the Commission, including the Joint Meeting with the City Council. Mr. Eppert also opened the opportunity for one of the Commissioners to visit Philadelphia in April to attend the APA conference that is held yearly. Mr. Gress noted that Blush Boot Camp has finished up their remodel and is open for business, as is the Eagles Community Outreach. The first round of Certificates of Occupancy have been granted to The Venue at The Good Ranch. The number of inspections nearly doubled from 2021 to 2022. Code Enforcement Officer Drayton Vogel pulled twice as many signs in 2022, and had 200 more cases than in 2021. GIS Coordinator Heather Eisenbarth and Building Official Jon Woerner both shared a 20 year anniversary with the City of Raymore.

Chairman Wiggins asked where the Lot 2 application was proposing their new structure in Willowind, and asked where the Eagles building was.

Mr. Eppert said Lot 2 is just to the east of the new bank in what is currently a parking lot. Mr. Gress noted that the Eagles have moved right next to Bing Coffee to the north, and that they don't have any permanent signage up yet.

Commissioner Bowie voiced that his preference for the Joint Meeting with City Council would be to start at 6pm.

10. Public Comment

City Attorney Jonathan Zerr welcomed his wife to the meeting.

11. Commission Member Comment

Commissioner Bowie thanked staff, and asked about Johnny's Tavern.

Commissioner Mansur thanked staff, and complimented the environment the City has for its employees.

Commissioner Petermann had no comments for the evening.

Commissioner Faulkner thanked staff.

Commissioner Fizer noted that there is a new public art piece on Foxridge Drive, and recommended the APA trip as a great learning opportunity.

Commissioner Engert thanked staff.

Commissioner Urquilla thanked staff, and wished everyone a Happy New Year.

Chairman Wiggins thanked the staff and noted that he will be unable to attend the February 7th meeting. Also mentioned was a large number of flags across from Dairy Queen and was curious what was going on.

Mr. Gress noted that there is a potential applicant for that land, but they are still in the due diligence process.

Mayor Turnbow spoke about the Landfill opposition meeting, as well as the Urban Outfitters/Nuuly occupation of the VanTrust building 2.

12. Adjournment

Motion by Commissioner Urquilla, Seconded by Commissioner Fizer, to adjourn the January 17, 2023 Planning and Zoning Commission meeting.

Vote on Motion:

Chairman Wiggins	Aye
Commissioner Faulkner	Aye
Commissioner Bowie	Aye
Commissioner Fizer	Aye
Commissioner Petermann	Aye
Commissioner Engert	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye
Mayor Turnbow	Aye

Motion passed 9-0-0.

The January 17, 2023 meeting adjourned at 6:25 p.m.

Respectfully submitted,

Emily Jordan



To: Planning and Zoning Commission
From: Dylan M. Eppert, City Planner
Date: February 7, 2023
Re: Case #23001 - Willowind Square, Lot 2 - Site Plan

GENERAL INFORMATION

Applicant: Julie Margetich
Covenant Group LLC
2044 California Ave.
Corona, CA 92881

Property Owner: Raymore Associates, LLC
7217 W. 110th St.
Overland Park, KS 66210

Requested Action: Site plan approval for Willowind Square, Lot 2

Property Location: 1310 W. Foxwood Dr.

Aerial Photograph:



Property Photographs:



(View looking north from 58 Hwy)



(View looking south toward 58 Hwy)



(View looking west towards Community America Credit Union)



(View looking southeast towards Dairy Queen)

Existing Zoning: "C-2" General Commercial District

Existing Surrounding Uses: **North:** C-2 (Willowind Shopping Center)
South: C-3 (undeveloped land)
East: C-2 (Community America Credit Union)
West: C-2 (Willowind Shopping Center)

Total Tract Size: 0.689 Acres

Subdivision Plat: Willowind Square Lot 2

Growth Management Plan: The Future Land Use Plan Map contained in the Growth Management Plan identifies this property as appropriate for Commercial development.

Major Street Plan: The Major Thoroughfare Plan Map contained in the Growth Management Plan has 58 Hwy classified as a Major Arterial.

Advertisement: City Ordinance does not require advertisement for Site Plans.

Public Hearing: City Ordinance does not require a public hearing for Site Plans.

PROPOSAL

Outline of Requested Action: The applicant seeks to obtain site plan approval for a 6,300 square foot multi-tenant building consisting of a dental office, retail and quick serve restaurant with a drive-thru.

SITE PLAN REQUIREMENTS AND STANDARDS

In order for the applicant to accomplish the aforementioned action, they must meet the provisions of the Unified Development Code. Chapter 470 of the Unified Development Code outlines the requirements and actions that need to be taken in order to site plan property, specifically Section 470.160.

Section 470.160 Site Plan Review

A. Purpose

The City of Raymore recognizes that the nature of land development creates the potential for traffic congestion, overcrowding, adverse visual and environmental impacts, and health problems. The City strives to promote growth in Raymore while stabilizing the established residential character of the area. Site plan review regulates the development of structures and sites in a manner that takes into consideration the following considerations:

1. the balancing of landowners' rights to use their land, with the corresponding rights of neighboring landowners, residents and the general public, to live without undue

disturbances (e.g., noise, smoke, vibration, fumes, dust, odor, glare, stormwater runoff, etc.);

2. the convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent areas or roads;
3. the adequacy of waste disposal methods and protection from pollution of surface or ground water;
4. the protection of historic and environmental features on the site under review and in adjacent areas;
5. the stability of the built environment, particularly residential neighborhoods, by promoting urban development which is compatible with clearly identified natural resources; and
6. the adequacy of provisions for resulting additional system demands which may be imposed by the development upon roads and streets, water supply and storage, storm sewerage, and sanitary sewerage and wastewater treatment and the consistency of the development with the City's Growth Management Plan.

B. Applicability

1. All applications for building permits for developments in the multi-family, commercial and industrial zoning districts are subject to site plan review in accordance with this section. All nonresidential uses in residential districts require site plan review.
2. No building permit will be issued without being granted site plan approval when it is required by this subsection.

C. Application

Applications for site plan review may be obtained from the Development Services Director. The application must be completed in its entirety in accordance with Section 470.010C and filed with the Development Services Director. The applicant must submit copies in accordance with the submission schedule regularly adopted by the Planning and Zoning Commission.

D. Procedure

1. Development Services Director Action
 - a. All site plans will be reviewed by the Development Services Director.
 - b. The Development Services Director has the authority to take final action (approve, conditionally approve or deny) on applications for:
 - (1) developments that have an approved site plan on file where the application proposes to expand the existing use by less than 10 percent or 5,000 square feet, whichever is less; or
 - (2) developments that have an approved site plan on file where the application proposes to modify signage, parking, landscaping or other minor feature and the proposed modifications will be in compliance with all requirements of this Code.

- c. The Development Services Director must complete the review within 20 days of receiving a complete application.

2. Planning and Zoning Commission Action

With the exception of those cases identified in paragraph 1 above, all other applications for site plan review will be reviewed by the Development Services Director, and forwarded to the Planning and Zoning Commission for review and action. The Commission has the authority to take final action, and may approve, approve with conditions or disapprove the application.

3. Conditions of Approval

In approving a site plan, the Planning and Zoning Commission or, when applicable the Development Services Director, may impose reasonable conditions, safeguards and restrictions upon the applicant and the premises.

E. Findings of Fact

1. In order to be approved, the Development Services Director or Planning and Zoning Commission must find that the following conditions are met:
 - a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;
 - b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;
 - c. the proposed use is allowed in the district in which it is located;
 - d. vehicular ingress and egress to and from the site, and circulation within the site provides provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;
 - e. the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;
 - f. the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services;
 - g. open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;
 - h. the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;
 - i. provides adequate parking for the use, including logical and safe parking and circulation;

- j. provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates; and
- k. includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.

F. Effect of Approval

If the Planning and Zoning Commission or, when applicable, the Development Services Director approves a site plan, it will be considered permission to prepare and submit a building permit application that complies with the approved site plan and conditions of approval.

G. Appeals

1. The applicant may appeal the decision of the Development Services Director to the Planning and Zoning Commission.
 - a. The applicant must notify the Development Services Director of their intent to appeal within 10 days of the date of decision from the Development Services Director.
 - b. The Development Services Director will schedule the appeal for the next regularly scheduled Planning and Zoning Commission meeting which is no sooner than 15 days from the date the intent to appeal was filed.
 - c. The applicant must provide an additional 15 review copies of the drawings and the additional required fee along with the intent to appeal.
2. The applicant may appeal the decision of the Planning and Zoning Commission to the City Council.
 - a. The applicant must notify the Development Services Director of their intent to appeal, in writing, within 10 days of the date of the Planning and Zoning Commission meeting when the application was considered.
 - b. The Development Services Director will schedule the appeal for the next regularly scheduled City Council meeting provided it is at least 15 days from the date the intent to appeal was filed.
 - c. The applicant will provide an additional 15 review copies of the drawings along with the intent to appeal.

PREVIOUS ACTIONS ON THE PROPERTY

1. The original plat for the Willowind Shopping Center, which includes the subject property, was approved by the City Council on July 10, 1989. It included Lots 1-3, the subject property being identified as Lot 2.

2. On November 17, 2020, the Planning Commission voted to approve the site plan for the Community America Credit Union, located directly south of the subject property. A building permit was issued for the project on September 23, 2021.
3. On October 10, 2022, the City Council voted to approve the rezoning designation from "PO" Professional Office District to "C-2" General Commercial District for 1296 through 1298 W. Foxwood Drive, located north of the subject property, within the shopping center.

ENGINEERING DIVISION COMMENTS

The Engineering Division of Public Works has reviewed the application and determined that it complies with all of the applicable requirements of City Code.

STAFF COMMENTS

1. **Development Standards:** The development standards applicable to the property are as follows:

C-2	
Minimum Lot Area	
per lot	-
per dwelling unit	2,000 sq.ft.
Minimum Lot Width (ft.)	
100	
Minimum Lot Depth (ft.)	
100	
Yards, Minimum (ft.)	
Front	30
rear	20
side	10
Maximum Building Height (feet)	
80	
Maximum Building Coverage (%)	
40	

2. **Special Use Conditions:** There are special use conditions outlined for Drive-Thru Facilities, as shown below. The proposed site plan does meet the conditions as required.

L. Drive-through Facilities

1. General

Drive-through facilities are permitted as indicated in the use table in Section 410.020.

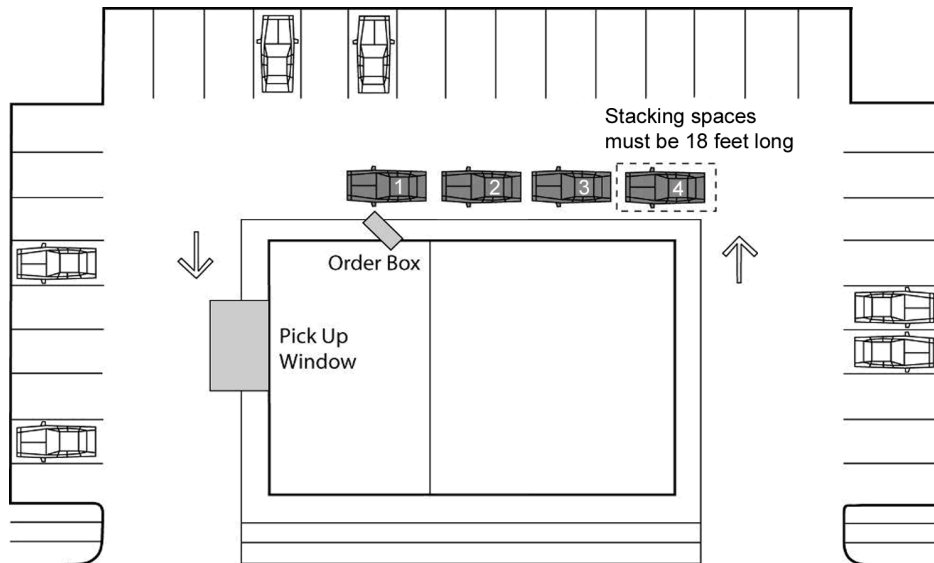
2. Vehicle Stacking Areas

- a. Each drive-through facility must provide the minimum vehicle stacking spaces as follows:

The following requirements shall be followed in determining the minimum stacking length per lane:

Use	Stacking Requirement
Financial Institution	
- teller lane	3
- ATM	3
Car Wash	
- automatic service	4
Restaurant	4 behind menu board
Pharmacy	2
Other uses	To be determined by the Director

- b. Vehicle stacking spaces include the space at the menu board, order box or service window.
- c. Each vehicle stacking space shall be 18 feet long by 9 feet wide.
- d. Each vehicle stacking lane shall be separate from any access aisle, loading space, or parking space.
- e. No vehicle stacking lane shall conflict with any vehicle entrance or exit, vehicle access way or pedestrian crosswalk.
- f. The Commission has the authority to allow a deviation to the stacking requirement based upon a study submitted by a traffic engineer which provides evidence to allow the reduction of these stacking requirements.



3. Adjacent to Residential Districts

- a. Drive-through facilities, including stacking areas, must be separated from residentially-zoned property by at least 40 feet.
- b. Speaker systems used in conjunction with drive-through facilities must be designed so that they are not audible at the property line abutting residentially-zoned property.

3. **Parking:** A multi-tenant commercial building that is proposed to have a Dental Office, Retail use and an Eating Establishment must comply with the following parking standard:

Use	Minimum Parking Spaces Required
COMMERCIAL USES	
Medical or Dental Clinic	1 per 600 Sq Ft.
Retail	1 per 300 Sq Ft.
Eating and Drinking Establishment	1 per 4 seats or 1 per 50 Sq Ft whichever is greater

- Dental Office (3200 sq ft) = 5.33 rounds up to 6 spaces
- Retail (1500 sq ft) = 5 spaces
- Eating and Drinking Establishment (1600 sq ft) half of the space for customer service area(estimated) = 16 spaces

The proposed site plan is in compliance with the parking standards for the City of Raymore by providing the 31 parking spaces, where only 27 spaces are required. The site plan also provides the required number of accessible parking spaces. A total of 2 accessible spaces are required and 2 spaces are provided.

Parking for this project is unique in the fact that the retail and quick serve uses are not finalized on the total square footage needed for each tenant. However, parking for an Eating and Drinking Establishment is more restrictive than tha of a general retail use. The applicant has stated that a max of 50% of the space would be used for customer service areas regarding the Eating and Drinking Establishment with drive-thru. Staff will be able to review once tenants are finalized and building permits have been submitted to ensure parking requirements have been met.

4. Landscaping

Twenty percent (20%) of the lot is required to be reserved for landscaped area. Street trees are not required for the proposed project as there is a large sanitary sewer line that runs along 58 Hwy, in addition to other utility conflicts. A total of twenty percent (20%) of the site is provided with landscaping.

No screening is required for this proposed project as the property is surrounded on the North, East and West side by the existing Willowind shopping center which is

the same zoning classification. To the south is zoned C-3 but is separated by 58 Highway.

The required trees and shrubs in the parking lot landscaped islands are provided.

Landscaping is required around any future monument sign, which will be reviewed by City staff.

5. Building Design:

The proposed building is in compliance with the building design standards contained in Section 440.010 listed below.

Section 440.010 Building Design Standards

C. Building Materials

1. Masonry Construction

A minimum of 50 percent of front and side facades shall consist of materials described by this sub-section.

- a. Masonry construction shall include all masonry construction which is composed of solid, cavity, faced or veneered-wall construction, or similar materials approved by the Planning and Zoning Commission.
- b. Stone materials used for masonry construction may consist of granite, sandstone, slate, limestone, marble or other hard and durable all-weather stone. Ashlar, cut stone and dimensioned stone construction techniques are acceptable.
- c. Brick material used for masonry construction shall be composed of hard-fired (kiln-fired), all weather common brick or other all-weather common brick or all-weather-facing brick.
- d. Concrete finish or precast concrete panel (tilt wall) construction shall be exposed or aggregate, hammered, sandblasted or other finish as approved by the Planning and Zoning Commission.
- e. Stucco or approved gypsum concrete/plaster materials are also permitted.

2. Glass Walls

Glass walls shall include glass-curtain walls or glass-block construction. A glass-curtain wall shall be defined as an exterior wall which carries no floor or roof loads and which may consist of a combination of metal, glass and other surfacing materials supported in a metal frame.

3. Metal Walls

- a. The use of metal siding is permitted only in industrial districts and only for side and rear façades. The materials used on the front façade shall be incorporated into any façade visible from a public street to break up the monotony of those facades.

- b. The use of corrugated panels, with a depth of less than three-quarter inch or a thickness less than U.S. Standard 26 gauge is prohibited.
- c. The use of unpainted metal panels, excluding panels made from copper, weathering steel, or stainless steel, is prohibited. The color finish of metal panels and exposed fasteners shall have extended durability with high resistance to fade and chalk.
- d. Corrugated metal facades shall be complemented with masonry, whether brick, stone, stucco or split-face block. Architectural metal panels may be an acceptable substitute for masonry. Appropriate landscaping shall be used to complement and enhance a building's design, color and material.

- 6. **Pedestrian Access:** Pedestrian Access to the building has been provided. A sidewalk will be required to be constructed from the existing sidewalk along 58 Hwy towards the entrance of the multi-tenant building as well as a striped pedestrian crossing.
- 7. **Signage:** Sign permits are required prior to installation of any sign. If a monument sign is proposed in the future the monument sign must be in compliance with the UDC including the landscaping requirement.
- 8. **Fire District Review:** The site plan was reviewed by the South Metropolitan Fire Protection District. A truck turning movement plan was submitted as required.

The South Metropolitan Fire Protection District requires the issuance of a building permit from the district. This permit is in addition to the building permit issued by the City of Raymore.

- 9. **Stormwater Management:** The subject property is an existing parking lot with no additional impervious surface proposed, in fact additional vegetation/landscaping is going to be installed. No on-site stormwater facility is required as part of this proposal. The applicant is required to install Stormwater BMPs for the treatment of stormwater runoff however.
- 10. **Site Lighting:** The proposed site lighting plan is in compliance with the outdoor lighting performance standards of the City.
- 11. **Trash Enclosure:** The exterior of the trash enclosure will be constructed of CMU or similar materials as the main building. The enclosure is located on the northeast corner of the site. The enclosure gates will be made out of Metal or similar material.
- 12. **Screening of Mechanical Equipment:** All electrical and mechanical equipment located adjacent to the building shall be screened from view from adjacent properties and any adjacent street. Accessory utility facilities that are in excess of

3 ½ feet shall be screened. The landscape plan does not show any screening around the equipment. This requirement will be monitored when the equipment is installed to determine the applicability of the requirement.

- 13. Site Access:** Access to the site will be provided off of 58 Hwy. A shared access agreement has been reached with the adjacent property owners (both Community America Credit Union and Willowind Shopping Center). Secondary access points can either be from Peace Dr. (local rd.) or Foxridge Dr. (Major Collector).

STAFF PROPOSED FINDINGS OF FACT

Section 470.160 of the Unified Development Code states that the Planning and Zoning Commission and the City Council must make findings of fact taking into consideration the following:

- a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;**

The site plan does comply with all applicable standards of the Unified Development Code and all other applicable City ordinances and policies.

- b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;**

The site plan does not conflict with any of the adopted master plans of the City or the purpose and intent of the Unified Development Code.

- c. the proposed use is allowed in the district in which it is located;**

There are three (3) proposed uses: Dental Office, Retail and a Eating and Drinking Establishment with drive-thru. All proposed uses are either permitted by right or permitted by right with special conditions (see under staff comments, section # 2). Uses in general, other than those that have been shown on the site plan, will be allowed in accordance with Chapter 410 of the Unified Development Code.

- d. vehicular ingress and egress to and from the site, and circulation within the site provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;**

Vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of vehicles. Access to the site is off 58 Hwy, an existing major arterial road. Access easements have been provided to ensure the safe flow of vehicular traffic between adjoining parcels within the shopping center.

- e. **the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;**

The site plan does provide for safe, efficient and convenient movement of pedestrians. Sidewalks are provided to allow pedestrians access to the site from 58 Hwy.

- f. **the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services;**

The placement of the building in the middle of the lot does allow for efficient use of the land and minimizes potential adverse impacts on existing and planned municipal infrastructure and services.

- g. **open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;**

Various (5-6) mature trees exist on the site, which were planted in such a way that to serve as parking lot landscaping for the entire Willowind Center. They do not, however, serve the proposed layout of the site, and thus will be removed where needed. New parking lot landscaping has been provided to offset the loss of these trees.

- h. **the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;**

The current condition of the site is an existing parking lot that has parking lot islands with landscaping. The middle parking lot island will be completely removed as part of site work. There are minor alterations to the existing topography of the lot that will be made for this project. There are no natural watercourses on the site.

- i. **provides adequate parking for the use, including logical and safe parking and circulation;**

Parking for the use meets the minimum requirement and is provided in a logical manner. Circulation through the site accommodates the proposed use.

- j. **provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates; and**

Adequate landscaping is provided for the site. There is no screening required as part of this project.

- k. **includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.**

The proposed site is located within an existing commercial shopping center. The site illumination has been designed and located to minimize adverse impacts on adjacent properties.

REVIEW OF INFORMATION AND SCHEDULE

Action

Site Plan Review

Planning Commission

February 7, 2023

STAFF RECOMMENDATION

The staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and approve Case #23001 Willowind Square Lot 2 - Site Plan subject to the following eleven (11) conditions:

Prior to commencement of any land disturbance activities:

1. State of Missouri and City of Raymore land disturbance permits shall be obtained prior to the commencement of any site grading or land disturbance activities.
2. All erosion control measures identified on the site disturbance plan and required by the land disturbance permit must be installed prior to grading and these measures must be maintained until the requirements of the SWPPP are satisfied.

Prior to installation of any public improvements:

3. The public infrastructure plans must be approved by the City and a permit issued for installation of public improvements.

Prior to issuance of a Building Permit

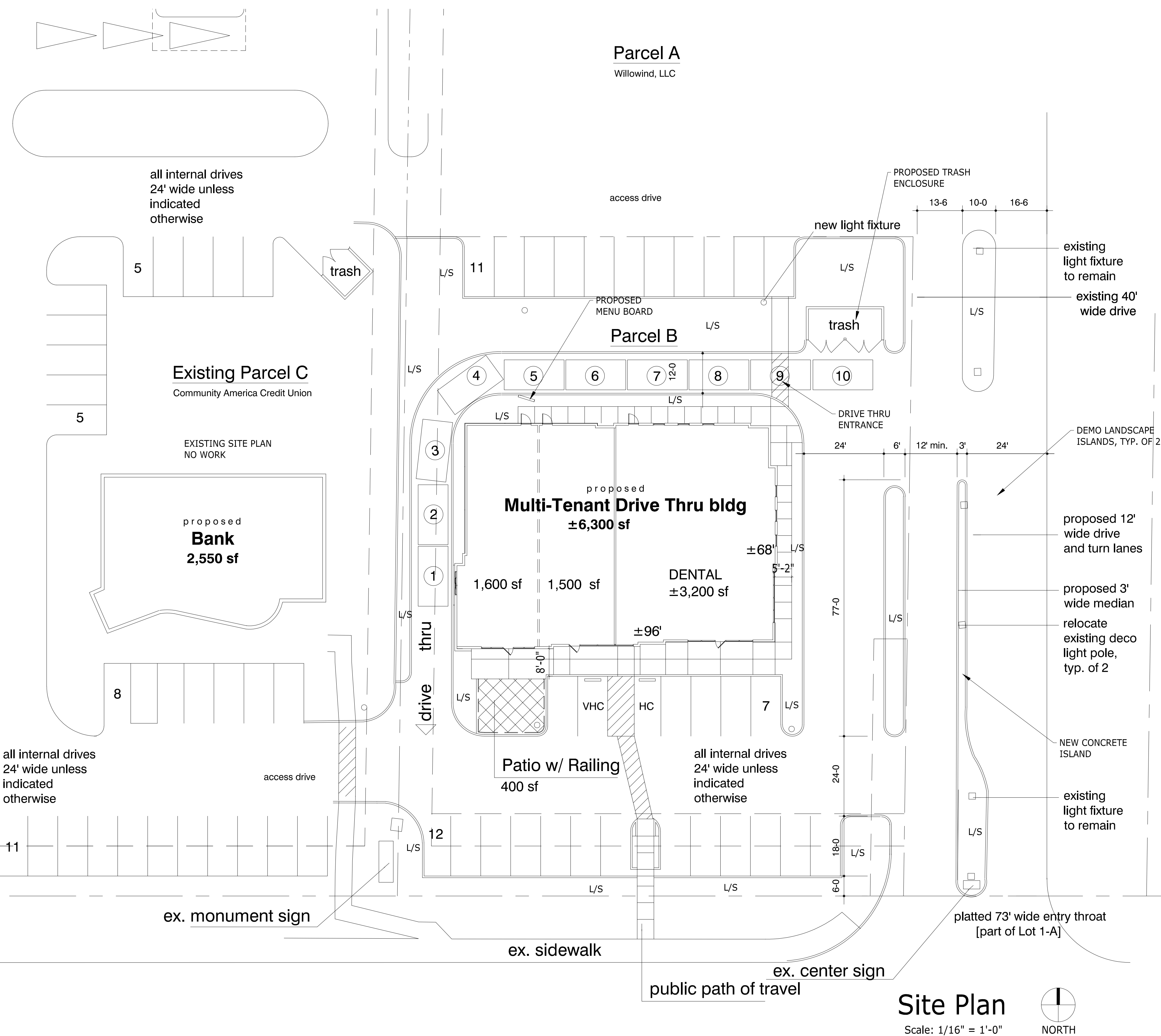
4. Building construction plans shall be approved by the Building Official.

Prior to issuance of a Certificate of Occupancy:

5. All accessible parking spaces must be identified by signs complying with the Manual of Uniform Traffic Control Devices and the Department of Justice, Code of Federal Regulation 28 CFR Part 36, ADA Standards for Accessible Design. The sign must be vertically mounted on a post or wall no more than five feet from the space and centered on the width of the space.
6. Two of the accessible parking spaces shall be served by an access aisle a minimum of ninety-six inches wide and shall be designated "lift van accessible only" with signs that meet the requirements of the federal Americans with Disabilities Act.
7. If the electrical transformer box and any other accessory utility facility is taller than three and one-half feet or covers more than twenty-five square feet in area then it must be screened in accordance with Section 420.040D of the Unified Development Code.
8. All work shall be completed in accordance with the site plan approved by the Planning and Zoning Commission.

Perpetual Conditions:

9. Prior to removing erosion control measures at the conclusion of the project, the contractor must obtain concurrence from the City.
10. A signed copy of the weekly and post rain event erosion control inspection reports shall be submitted to the City upon completion of each report.
11. Owner must immediately notify City staff of any illicit discharge that enters or has the potential to enter the storm sewer system.



TABULATIONS:
BUILDING INFORMATION:
 Proposed Building: 6,300 s.f. / 1 story / Construction Type : V Non-Rated Non- Sprinklered
 Occupancy: B, M and A-2 (Quick Serve)
 Proposed New Trash Enclosure: 6'-0" CMU w/ Metal Gates

SITE INFORMATION
 Zoning: C-2
 Existing use: Dirt parking lot
 Proposed use: Dental, Retail and Quick Serve

Total Land Area : 30,056 S.F.

Building Area: 6,300 Sq. Ft.
 Land/Building Ratio: 21%
 Land Disturbed: 0.7 acre
 Net increase/decrease impervious area= 0 S.F.
 Net cut/fill= 0 CY

PARKING INFORMATION-
 Standard : 9' x 18'
 Handicap : 2 provided 9' x 18'
 Drive Aisle Width : 24'

Parking Break down:
 Proposed:
 Dental Office - 3,200 sf 1 per 600 = 6 Stalls
 Retail: 1,500 s.f. 1 per 300 = 5 Stalls
 Food/ Quick Serve 1,600 s.f. 1 per 50 seating area= 11 Stalls
 Stacking: 8 min. / 10 provided

Total Required: 22
 Total Proposed: 30 Parking Stalls
 2 ADA Stalls

PROJECT ADDRESS: 1310 W. Foxwood Drive, Raymore Mo 64083
 APN: Parcel- 04-03-08-400-009-001.006

LEGAL DESCRIPTION: Lot 2, Replat of Lot 1-A, Lot 1-B, Lot 2 and Lot 3 Willowind Square, a subdivision in the city of Raymore, Cass County, Missouri.

CITY NOTES:
 1. All mechanical components to be adequately screened with parapet roof.
 2. All signs to be submitted to Design Review for separate review and approval.
 3. Trash enclosure per city standards.

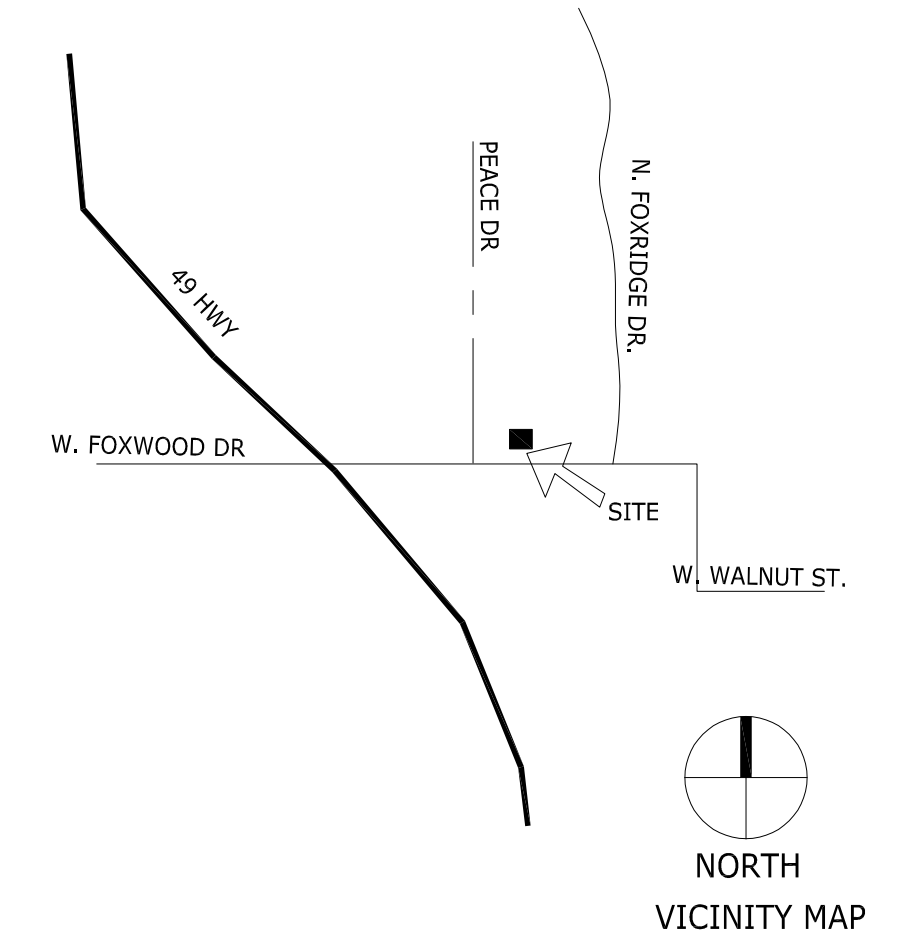
SHEET INDEX:
 A-0 Architectural Site plan / Project information
 A-1 Elevations / Renderings / Finish & Materials
 A-2 Floor plan / Trash Enclosure plan & Elevations
 E-1 Electrical Site Photometric Plan
 C0 General Notes
 C1 Overall Site Plan
 C2 Utility plan
 C3 Details
 L-1 Master Landscape plan / Plant Schedule
 L-2 Planting Details / Guideline Specs

CONTACTS:
BUYER/DEVELOPER:
 Covenant Group
 2460 Paseo Verde Pkwy, Suite 145
 Henderson, NV 89074
 Contact: Chris Aguon
 714-845-8645

ARCHITECT:
 Covenant Group
 2044 California Ave.
 Corona, CA 92881
 Contact: Julie A. Margetich
 951-582-5745

CIVIL:
 DECO
 P. O. Box 798
 Topeka KS 66601
 Contact: Patrick Doyle
 913-548-3026

LANDSCAPE ARCHITECT:
 Landscape Technologies
 67 Jacobs Creek Drive
 Saint Charles, Mo 63304-7737
 Contact: Randall Mardis
 636-928-1250



Site Plan
 Scale: 1/16" = 1'-0"
 NORTH

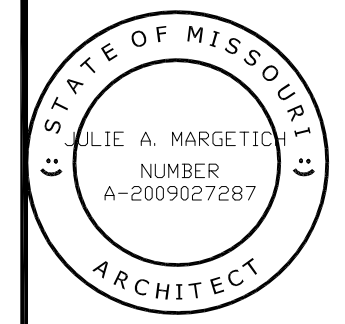
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Willowind Square

Proposed Multi- Tenant Building w/ Drive Thru

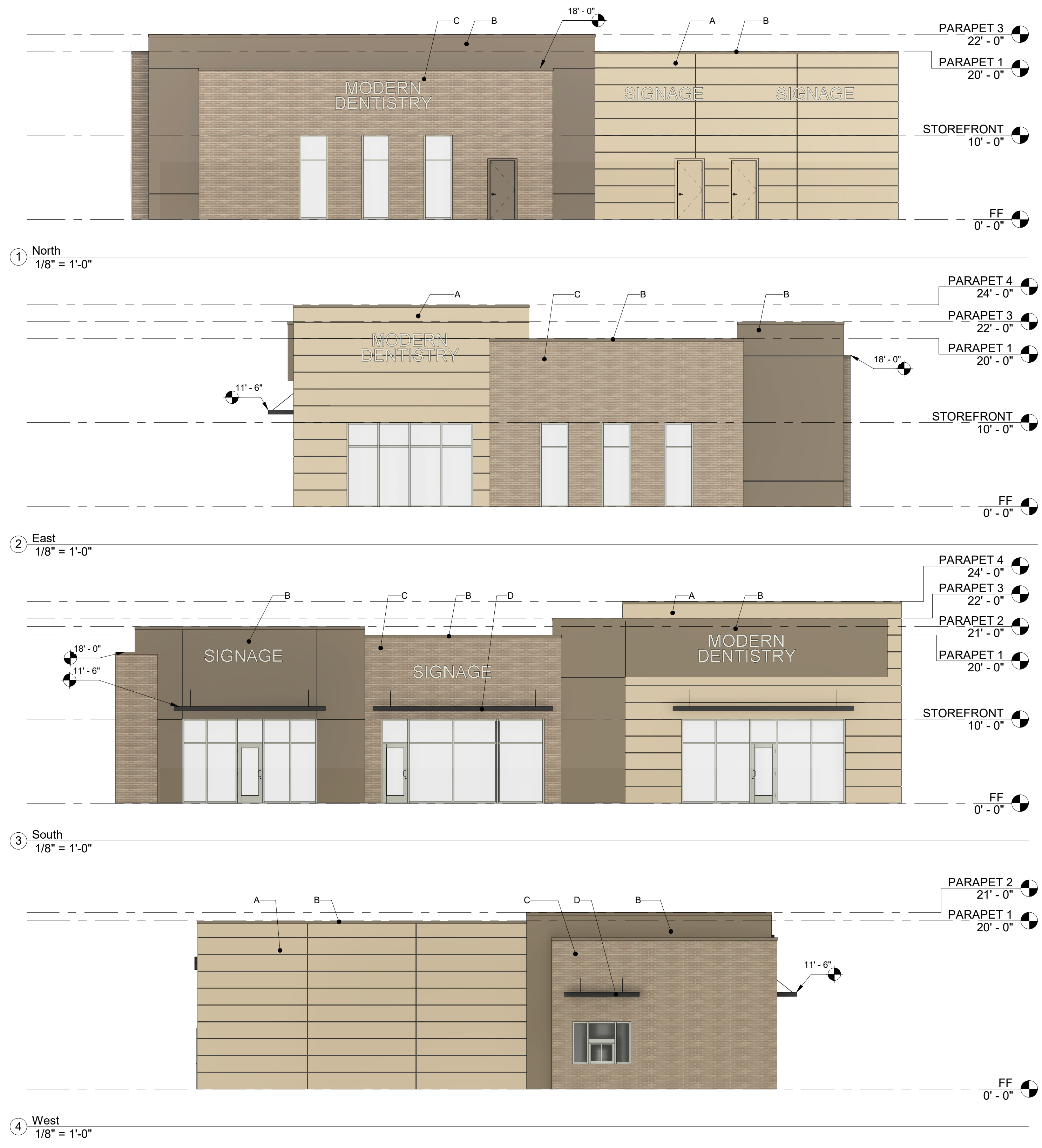
1310 W. Foxwood Drive Raymore, MO 64083



A-0

SITE PLAN

January 23, 2023 SCALE: 1/16" = 1'-0"
 LOCATION- BOX / 2023/ COVENANT/ Raymore/ CITY / PLANNING SUB/ A-0
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MATERIAL LIST:

- A** EIFS, SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS 7536 BITTERSWEET STEM
- B** EIFS, SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS 6152 SUPERIOR BRONZE
- C** BRICK, RUNNING PATTERN, COLOR TO MATCH GLEN GERY DARKR GREY S77
- D** METAL AWNING, COLOR TO MATCH SHWERIN WILLIAMS 6258 TRICORN BLACK



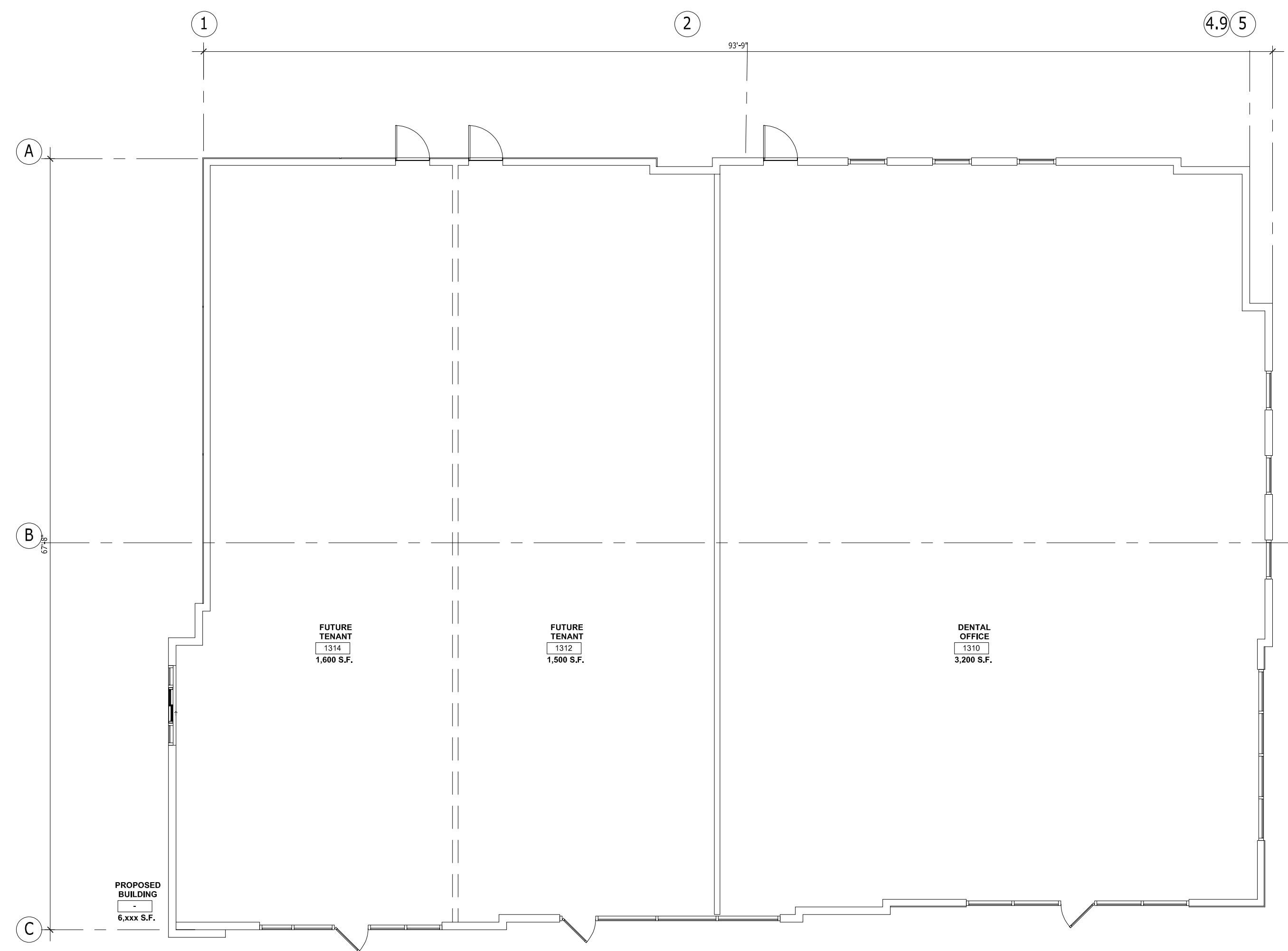
NORTHWEST RENDERING



NORTHEAST RENDERING

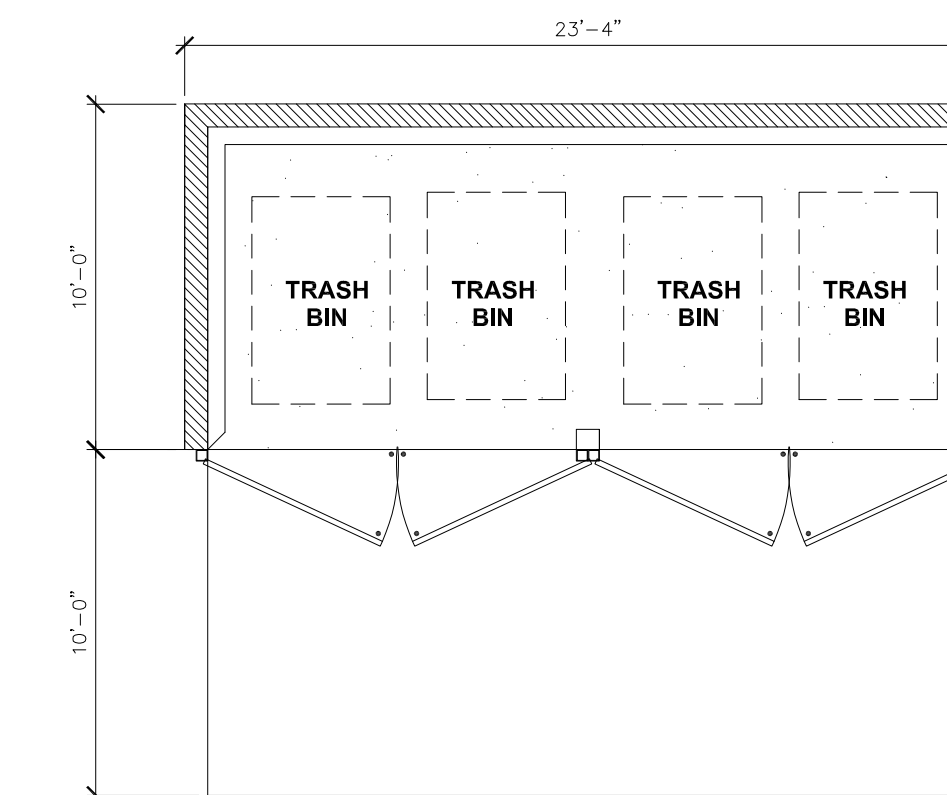
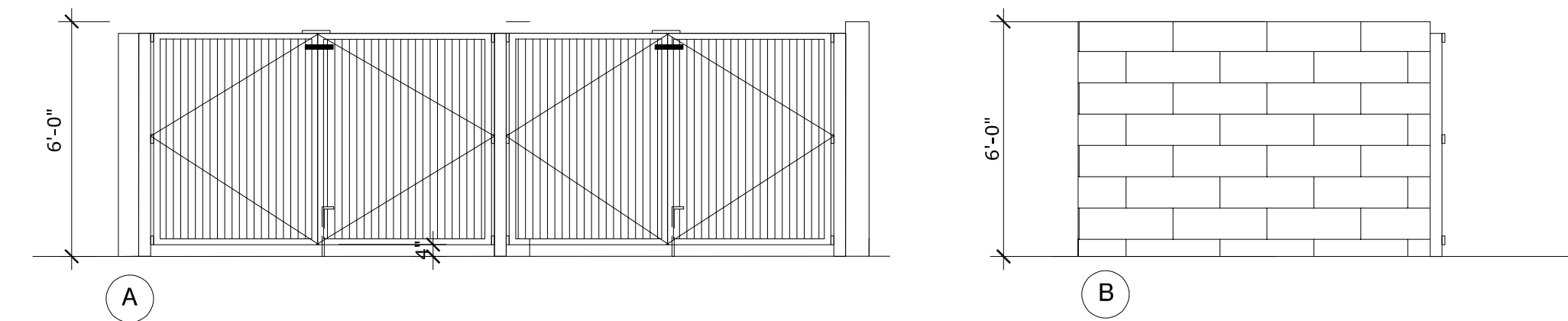


SOUTHEAST RENDERING



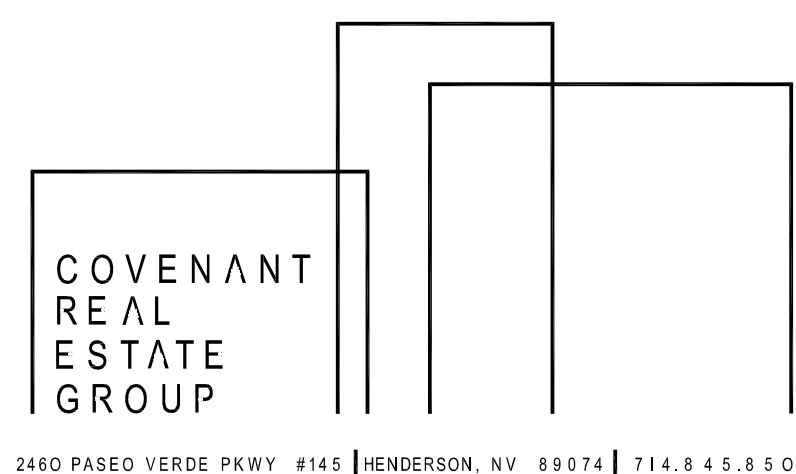
Floor Plan

Scale: 1/8" = 1'-0"



Trash Enclosure

Scale: 1/8" = 1'-0"



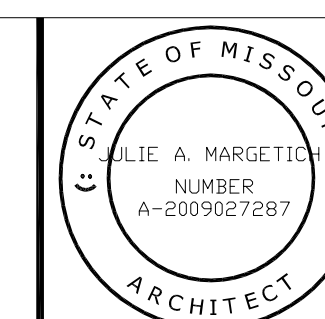
2480 PASEO VERDE PKWY #145 | HENDERSON, NV 89074 | 714.845.8500

Willowind Square

Proposed Multi- Tenant Building w/ Drive Thru

1310 W. Foxwood Drive

Raymore, MO 64083



A-2

FLOOR PLAN

January 23, 2023 SCALE: 1/8" = 1'-0"

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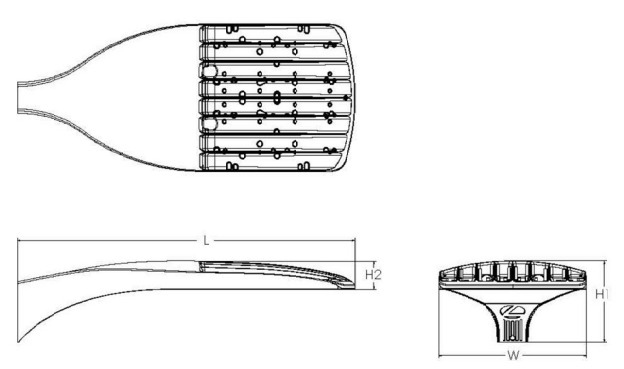


D-Series Size 1 LED Area Luminaire



Specifications

EPA: 0.69 ft² (0.064)
 Length: 32.71" (83.1cm)
 Width: 14.25" (36.2cm)
 Height H1: 7.88" (200mm)
 Height H2: 2.73" (69mm)
 Weight: 34 lbs (15.4kg)



Introduction
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SFA NLTAR2 PIRHN DDBXD

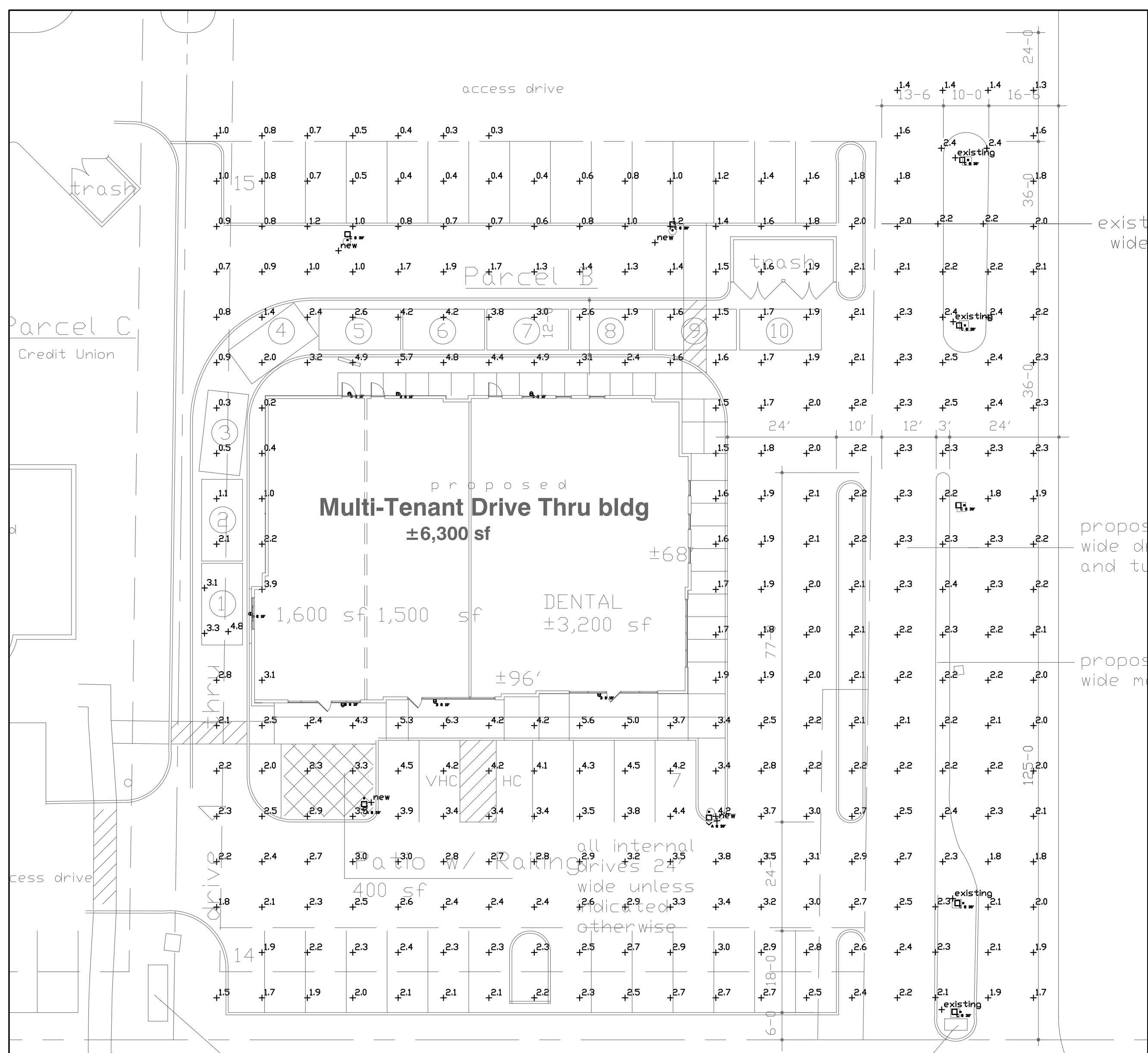
DSX1 LED	Series	LEDs	Color Temperature	Color Rendering Index	Distribution	Voltage	Mounting	
DSX1 LED	Forward optics	P1 P6	3HK 3000K	70CRI	T5K Type I medium	MVOLT (120V-277V) ¹	Shipped included	
		P2 P7	4HK 4000K	70CRI	T5G Type I low glare	MVOLT (247V-480V) ^{1A}		
	Rear optics	P3 P8	5HK 5000K	70CRI	T2M Type II medium	XXVOLT (277V-480V) ^{1A}	SFA Square pole mounting (#8 drilling)	
		P4 P9	5HK 5000K	70CRI	T2W Type II wide	XXVOLT (277V-480V) ^{1A}		RPA Round pole mounting (#8 drilling)
	Extended lead times apply	P5	2HK 2000K	80CRI	T3L6 Type III low glare	BLC3 Type III backlight control	SFA	SFA Square pole mounting (#8 drilling)
		P10 P11	3HK 3000K	80CRI	T4M Type IV medium	BLC4 Type IV backlight control	RPA	RPA Round pole mounting (#8 drilling)
	Related optics	P10 P11	3HK 3000K	80CRI	T4L6 Type IV low glare	ECC0 Left corner control	RPA	RPA Round pole mounting (#8 drilling)
		P11 P12	4HK 4000K	80CRI	T3TM Type III low glare	ECC1 Right corner control	SFA	SFA Square pole mounting (#8 drilling)
	Other options	P11 P13	4HK 4000K	80CRI	T3TM	RCO Right corner control	SFA	SFA Square pole mounting (#8 drilling)
		P11 P13	5HK 5000K	80CRI	T3TM	RCO	SFA	SFA Square pole mounting (#8 drilling)

Control options	Other options	Finish options
Shipped installed NLTAR2 PIRHN ICLIGHT: All open 1' readable with bi-level motion / ambient sensor, 3-47' mounting height, ambient sensor installed at 26" h.k. FIR High flow motion/ambient sensor, 3-47' mounting height, ambient sensor installed at 26" h.k. PER NEMA: wet-in-use receptacle only (controls ordered separately) ¹ FES Two-pin receptacle only (controls ordered separately) ^{1A}	PER7 Seven-pin receptacle only (controls ordered separately) ^{1A} FAO Field adjustable output ^{1A} BLE50 Bi-level switched dimming, 30% h.k. DMG 0-10V dimming with push button outside fixture, 30' max with external control, ordered separately ¹ DS Dual switching ^{1A}	Shipped installed SFLC20V 20K* surge protection BS Bronze L90 Left rotated optics ¹ R90 Right rotated optics ¹ CCE Coastal Construction ^{1A} Shipped separately EGS External Case Shield (separable, field install required, mark lines housing finish) BS Bolt spikes (field install required)
DDBXD Dark Bronze DBXD Black NALXD Natural Aluminum DWXD White DDBXD Textured dark bronze DBXD Textured black DWXD Textured natural aluminum DWXGD Textured white		

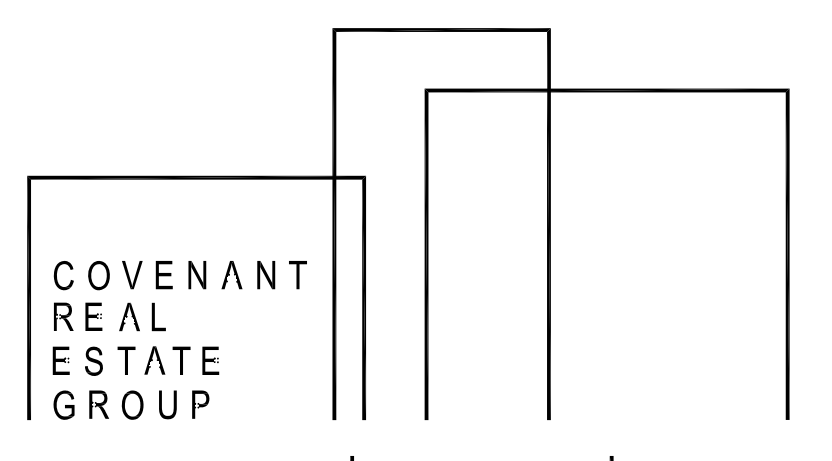
LITHONIA LIGHTING COMMERCIAL OUTDOOR
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-795-SERV (7378) • www.lithonia.com
 © 2011-2022 Acuity Brands Lighting, Inc. All rights reserved.
 DSX1 LED Rev. 11/15/22 Page 1 of 10

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.1 fc	3.7 fc	0.2 fc	18.5:1	10.5:1



1 ELECTRICAL SITE PHOTOMETRIC PLAN
 E-1 SCALE: NTS NORTH



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Willowind Square

Proposed Multi- Tenant Building w/ Drive Thru

tbd W. Foxwood Drive

Raymore, MO 64083



1/21/2023

E-1

SITE PLAN

December 16, 2022 SCALE: 1/16" = 1'-0"

LOCATION- BOX / 2023/ COVENANT/ Raymore/ CITY / PLANNING SUB/ A-0

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General Notes:

1. Contractor shall be responsible for obtaining all required permits including land disturbance, right of way and hauling.
2. Contractor is responsible for all haul off material.
3. Contractor shall be provide a stabilized construction entrance preventing mud from being deposited onto adjacent area. All mud, dirt, and debris tracked onto the parking lot or any roadway shall be removed immediately by the Contractor.
4. Contractor shall protect from damage all survey monuments, property markers, benchmarks, etc. Items damaged shall be reset by a professional land surveyor licensed in the state of Kansas, at the contractor's expense.
5. Public improvements shall comply with the city standards and specifications. If no city standards and specifications are provided, then the contractor shall comply with the standard.
6. Contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead-ins, signal poles, etc (offsite and onsite). Damaged improvements shall be repaired in conformance with the latest city standards and to the city's satisfaction.
7. All work within the road right-of-way shall conform to the technical specifications and design criteria for public improvement projects.
8. Traffic control in connection with construction in the right-of-way shall be in conformance with the Manual of Uniform Traffic Control Devices and/or the jurisdictional authority.
9. Waste materials, trash and construction debris shall be collected and stored in dumpsters at the end of each workday. No construction waste shall be buried on site. All hazardous waste materials will be disposed of in the manner specified by local, state and federal regulations.
10. Contractor shall grade areas to provide positive drainage to the southwest. Improvements including parking islands and sidewalks shall maintain positive slope to storm drains without ponding.
11. Contractor shall maintain appropriate dust control for the duration of Work.

Erosion Control Notes:

1. Silt fencing, drainage swales and construction entrance shall be provided prior to Work and maintained for the duration of the project.
2. Disturbed portions of the site where construction activities have permanently ceased shall be stabilized no later than 14 days after the last construction activity.
3. Contractor shall be responsible for implementation of, and ensuring compliance of, the project Storm Water Pollution Prevention Plan (SWPPP), a copy of which shall be obtained from the Design Engineer and maintained on-site.
4. Erosion and sedimentation from Work shall be contained on the site and not allowed to collect on any offsite areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes and ponds. Refer to erosion control plans for more information.
5. Ensure progressive stabilization of disturbed earth throughout land disturbance activities.
6. When measures are not effective, Contractor shall remove any debris and erosion, restoring the right of way.
7. Contractor shall provide erosion protection for all storm sewer inlets.
8. Dewatering shall be discharged through a filter bag over a well-vegetated area. The pump must discharge at a non-erosive velocity.
9. Permanent BMP's for any disturbed land area shall be completed by the general contractor within 5 calendar days after final grading or the final earth change has been completed.
10. Temporary Erosion Control Devices shall be maintained until permanent BMP devices are implemented.
11. All permanent BMP's will be implemented and established before a certificate of compliance is issued.
12. Strip topsoil only from those areas that will be disturbed by excavation, filling, road building, or compaction by equipment with sediment basins, diversions, and other controls into place before stripping.
13. Maintain a log of inspections on-site.
14. Required maintenance shall be provided within 72 hours.
15. Decomposed or ineffective erosion control measures shall be replaced promptly.
16. Sediment shall be removed from sediment traps or basins when design capacity has been reduced to 50%.
17. Silt fence shall be terminated upgrade in order to temporarily impound runoff.
18. When additional measures are needed to eliminate issues, Contractor shall notify the Engineer for possible modifications.

Utility Notes:

1. Contractor shall contract "One Call" and coordinate field location of all existing underground utilities prior to beginning excavation/construction activities.
2. Contractor shall perform a private locate for utilities such as light pole circuits.
3. Contractor is responsible for connection fees, system development fees, taxes, etc. for all main connections and/or extensions with and from the city and/or respective utility unless otherwise coordinated with the Owner.
4. Utility services for this project shall be coordinated with respective utility company by Contractor.
5. Contractor shall be responsible for adjusting all at-grade utilities such as manhole covers, valve box covers, etc. to finish grade, whether specifically indicated in these plans or not.
6. Utilities shown on the plan with specific elevations and/or structure locations are SUE quality level "D", ie: storm sewer, sanitary sewer, water hydrants & valves, utility poles, etc.
7. Refer to mechanical, electrical, and plumbing (MEP) plans for utility service sizes and exact locations.
8. Refer to site electric plans for electric construction details.
9. Provide temporary support for existing utility lines that are encountered during construction until backfilling is complete.
10. Backfill all utility trenches according to the most recent edition of the jurisdictional standards.
11. Utilities shall be brought within 5" of the building to connect to plumbing contractors work unless otherwise specified.
12. Contractor shall maintain 18" minimum vertical clearance between storm sewer and sanitary sewer pipes and 18" minimum vertical clearance between sanitary sewer and water main unless otherwise specified.
13. Electrical, lighting, and data conduit layout shown is for graphical purposes only. See MEP plans for more detail.
14. Contractor shall provide all temporary power, process, and utility service bypasses and connections as required.

Stockpiling Notes:

1. Select stockpile location to avoid slopes and natural drainageways, avoiding traffic routes.
2. Use sediment fences or other barriers where necessary to retain sediment.
3. Stockpiled soils shall be maintained in such a way as to prevent erosion from leaving the site. Silt fence must be installed around the perimeter of the stockpile.

Demolition Notes:

1. Contractor shall maintain the required documents for immediate review, included but not limited to: Site Safety Plan, Demolition Permits, Street Closure Permits, Contract Documents, Demolition Plans, Salvage Verification Forms and SWPPP.
2. Contractor shall notify all utility companies for field verification and disconnection of utilities prior to any work.
3. Coordination is required for both temporary and permanent utility services that serve the site including, but not limited to water lines, power, telephone, cable, storm sewer, sanitary sewer with the city and/or respective utility.
4. Damage to any existing features to remain will be replaced at the Contractor's expense.
5. Areas disturbed during demolition shall be evaluated by the geotechnical engineer responsible for site preparation prior to placement of structural fill.
6. Contractor shall notify the geotechnical engineer 24 hours prior to placement of structural fill.
7. Contractor is responsible for legally disposing of all materials and associated cost of interim storage facilities. Contractor shall remove trees and root systems from the site not designated to be saved.
8. Materials disturbed during removal of stumps shall be undercut and replaced with structural fill.
9. No construction waste shall be buried on site

Americans with Disabilities Act (ADA) Notes:

1. ADA parking areas slopes shall not exceed 2% in any direction.

Lighting

Site lighting shall be LED type providing average 50 foot candles (FC) tapering to less than 1 FC at property line.

Demolition

1. Sawcut and remove medians and associated light poles. Abandon underground lighting conductors in place.
2. On-site stockpile of excavated concrete and soil shall be in designated area including erosion control measures.

Concrete

1. Concrete shall be 4000 psi with slump 4.5+/-1 before admix, not to exceed 8 with admix.
2. Samples for strength tests of each class of concrete placed each day shall be taken not less than once a day, nor less than once for each 150 cubic yards of concrete
3. Exterior concrete subject to freeze thaw shall have 6.5+/-1.5% air content.
4. Form Contraction Joints (CJ) in Sidewalk:
 - a. After initial floating tool in 1/8-inch grooves ¼ the depth of the slab.
 - b. Sawing joints within 24-hours of pour
5. Form Construction or Isolation Joints in sidewalk with full width jointfiller strips.
6. Doweled Joints shall be lubricated or asphalt coated on one side of joint.
7. Broom finish sidewalk.
8. Protect fresh concrete from drying, freezing and heat.
9. Elastomeric polyurethane or silicone filler shall be placed at least 28-days after pour on clean joints. Use backing bar per manufacturer recommendation.

Earthwork

1. The site is on undocumented fill. Proof-roll within 24-hours of paving. Recompact areas demonstrating pumping. Over trace amounts of rain invalidates proof roll.

Pavement

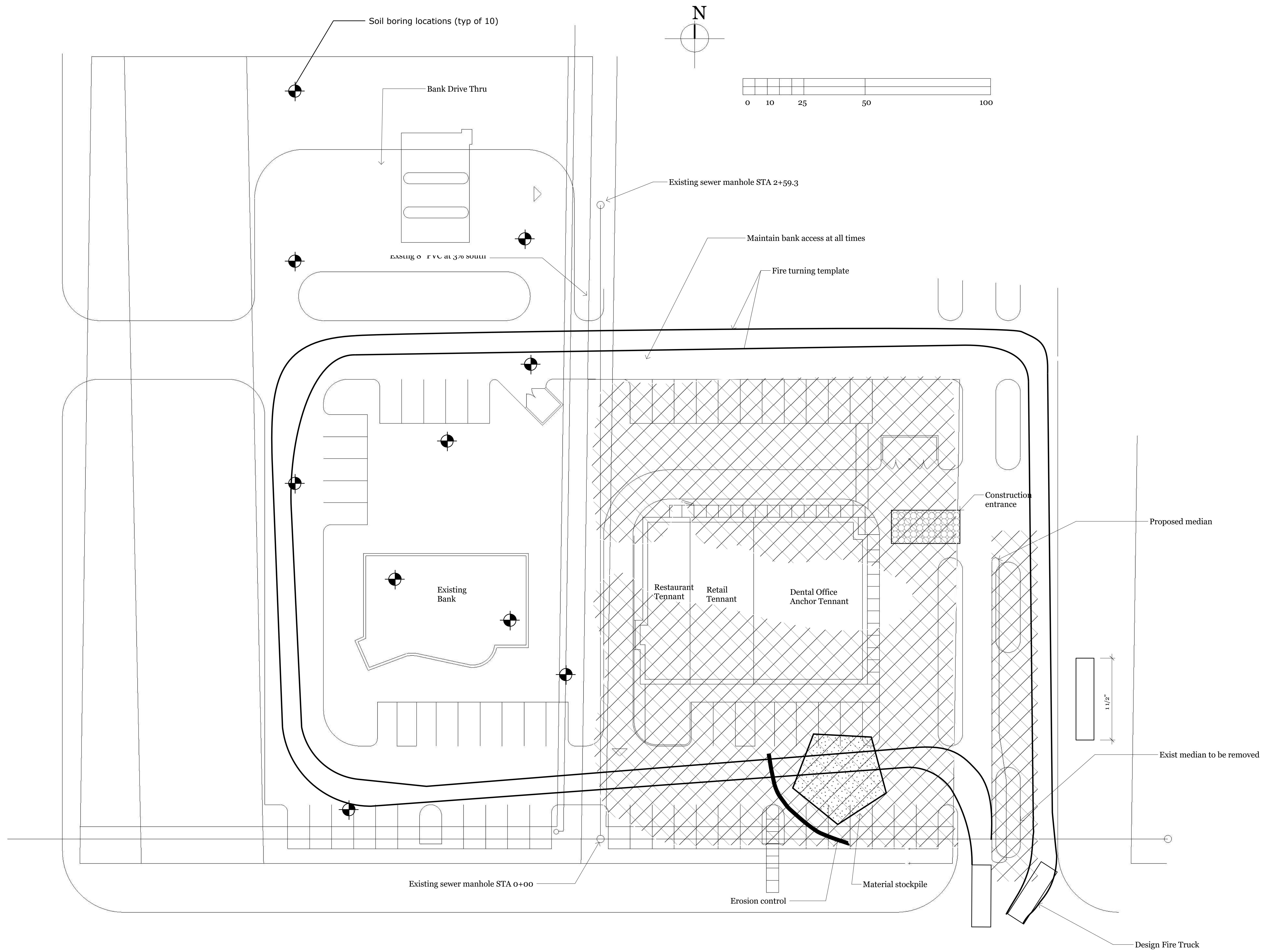
1. Where previously paved areas are suitable for re-use, mill and place 3-inch layer of APWA Type 3-01 AC surface compacted to 96%.
2. Where asphalt is removed, place 4-inch Type 2-01 base compacted to 95% followed by 2-inch surface above. Increase base to 6-inches at dumpster and front third of parking stalls.

Geotechnical



General Notes

CO



Doyle Engineering Co (DECO)
 Mail Stop #20160586
 PO Box 798
 Topeka, KS 66601-0798
 913.548.3026
 DECO_NA@yahoo.com



Covenant Real Estate Group
 Pacific Dental Services
 Construction Department
 2044 California Avenue
 Corona, CA 92881

Dental Office
 1310 W. Foxwood
 Raymore, MO

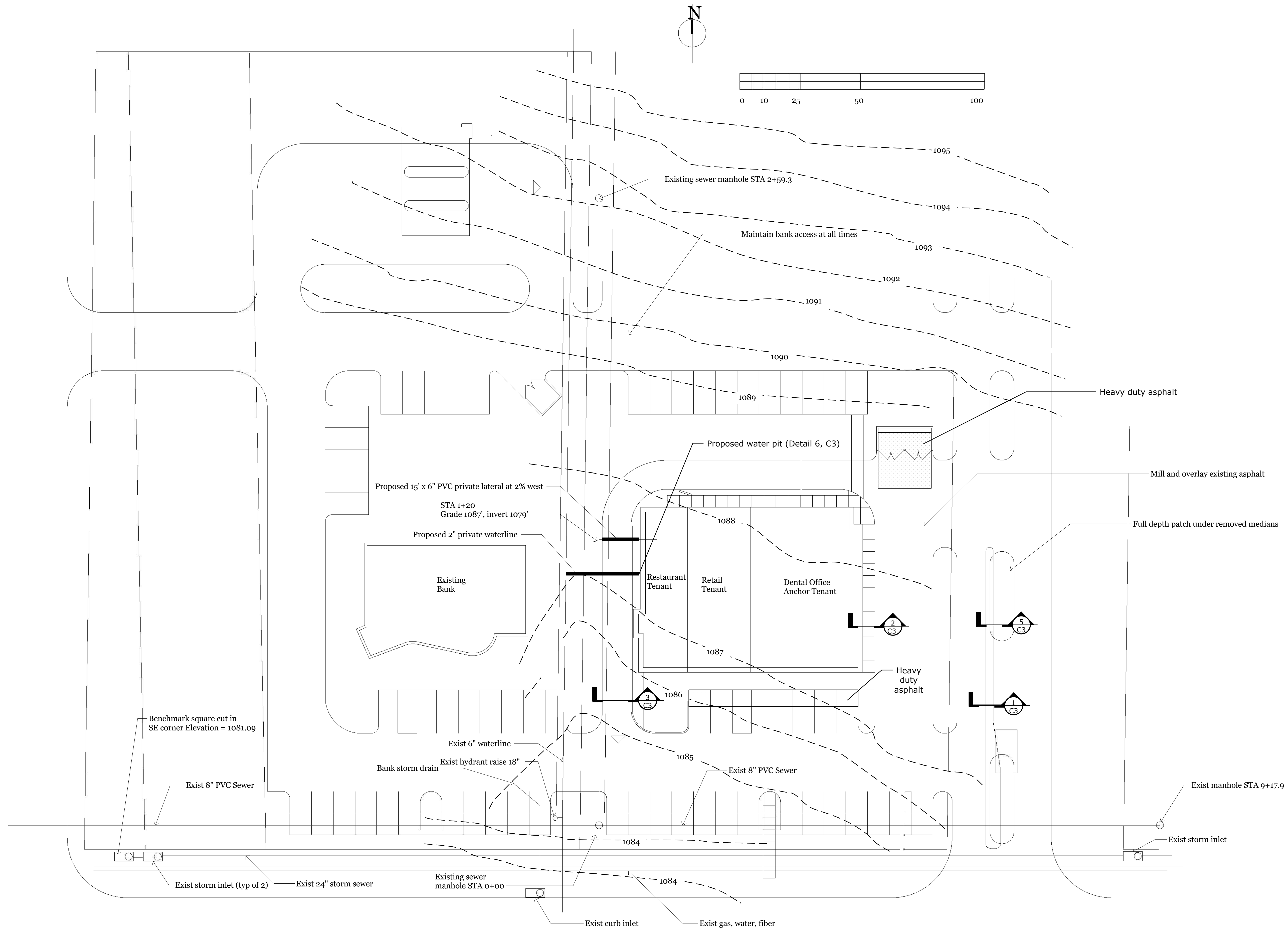
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ISSUE
 12.28.2022

RE-ISSUE
 1.24.2023

Overall Plan
 Scale 1" = 20'

C1



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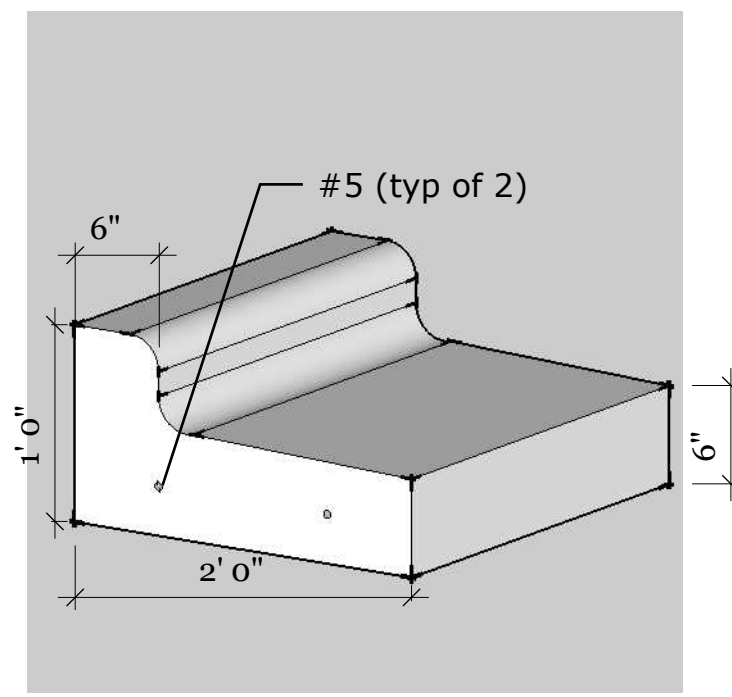
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ISSUE
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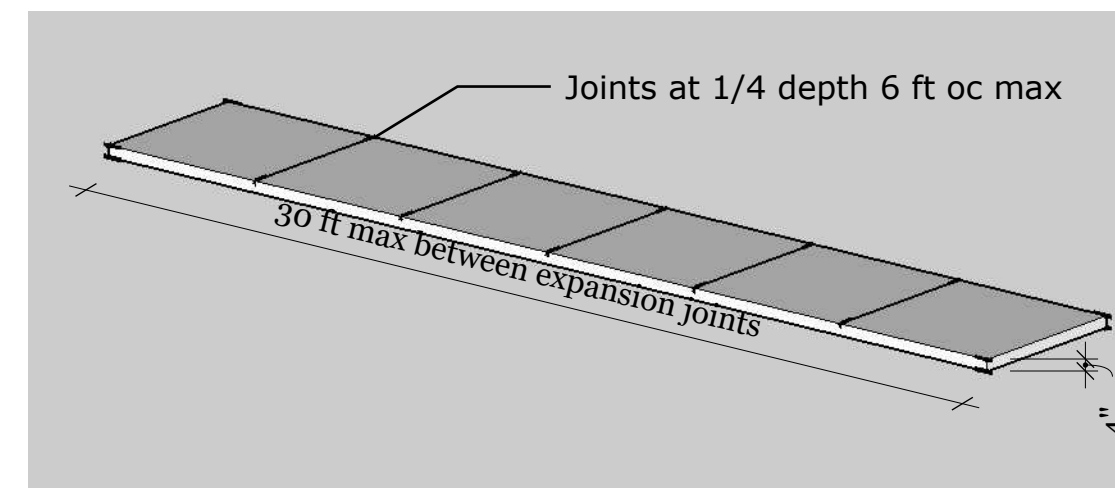
RE-ISSUE
 1.24.2023

Utility Plan
 Scale 1" = 20'

C2

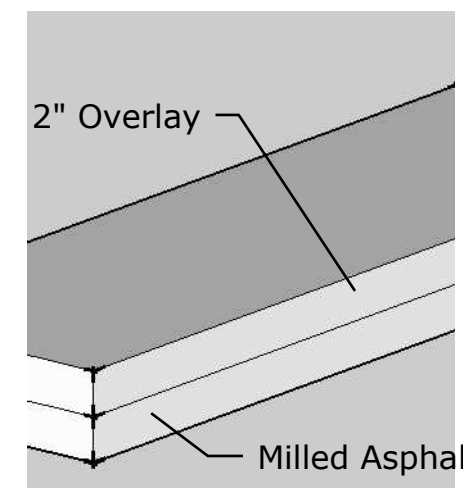


Section 1: Curb

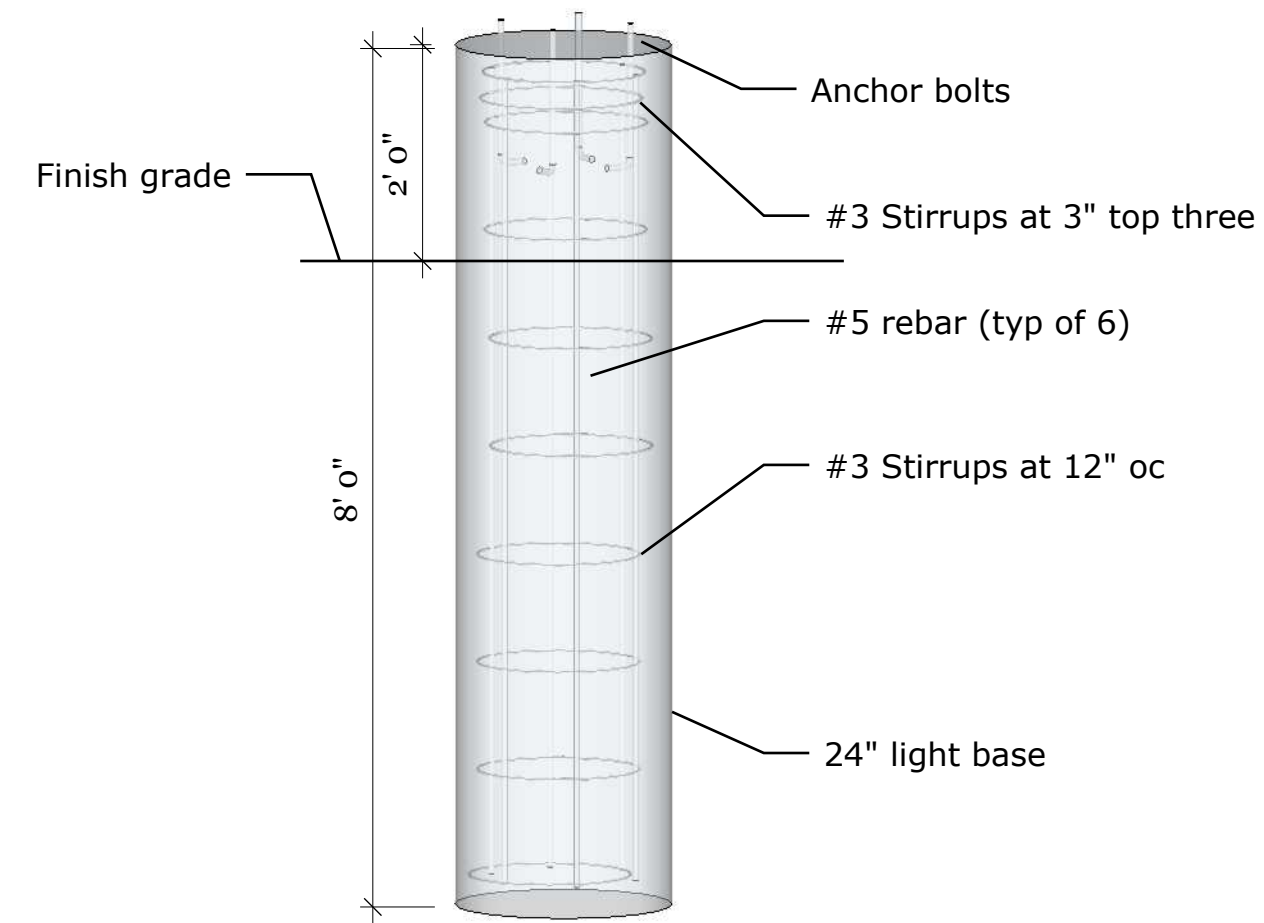


Section 2: Sidewalk

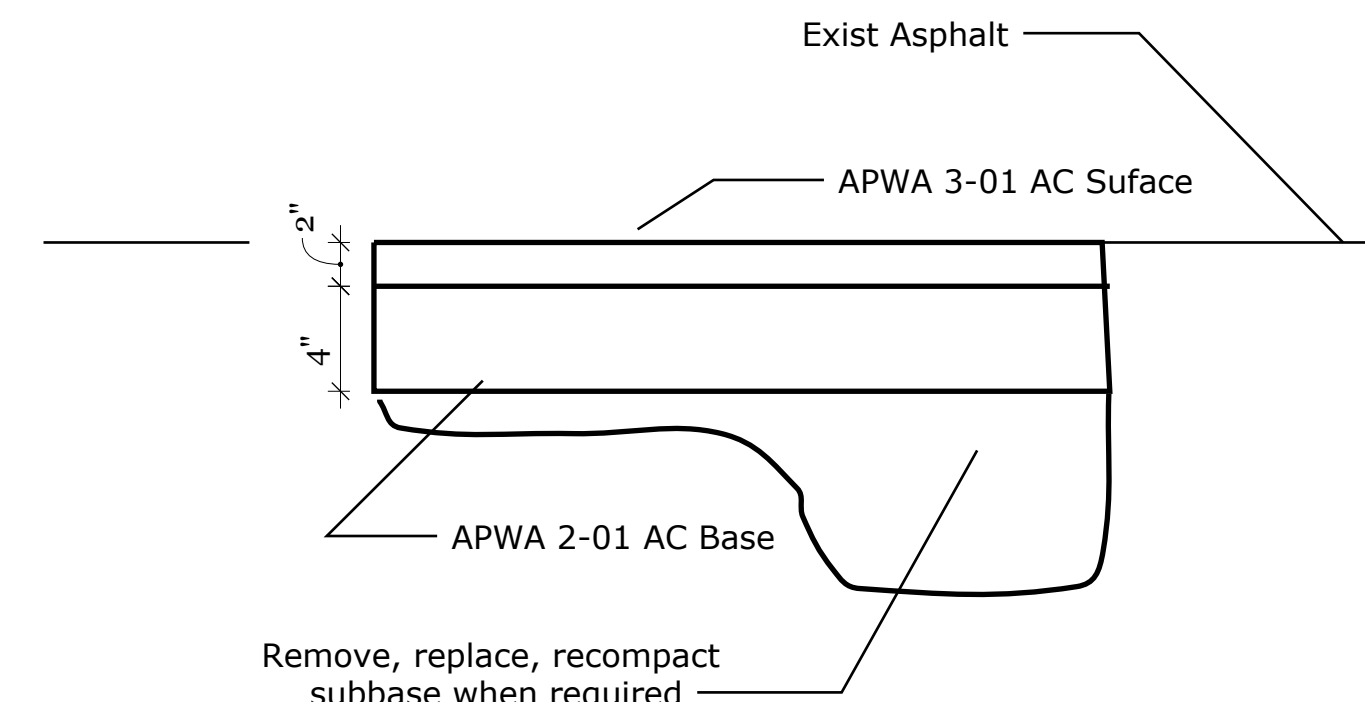
Sidewalk shall be all weather surface.



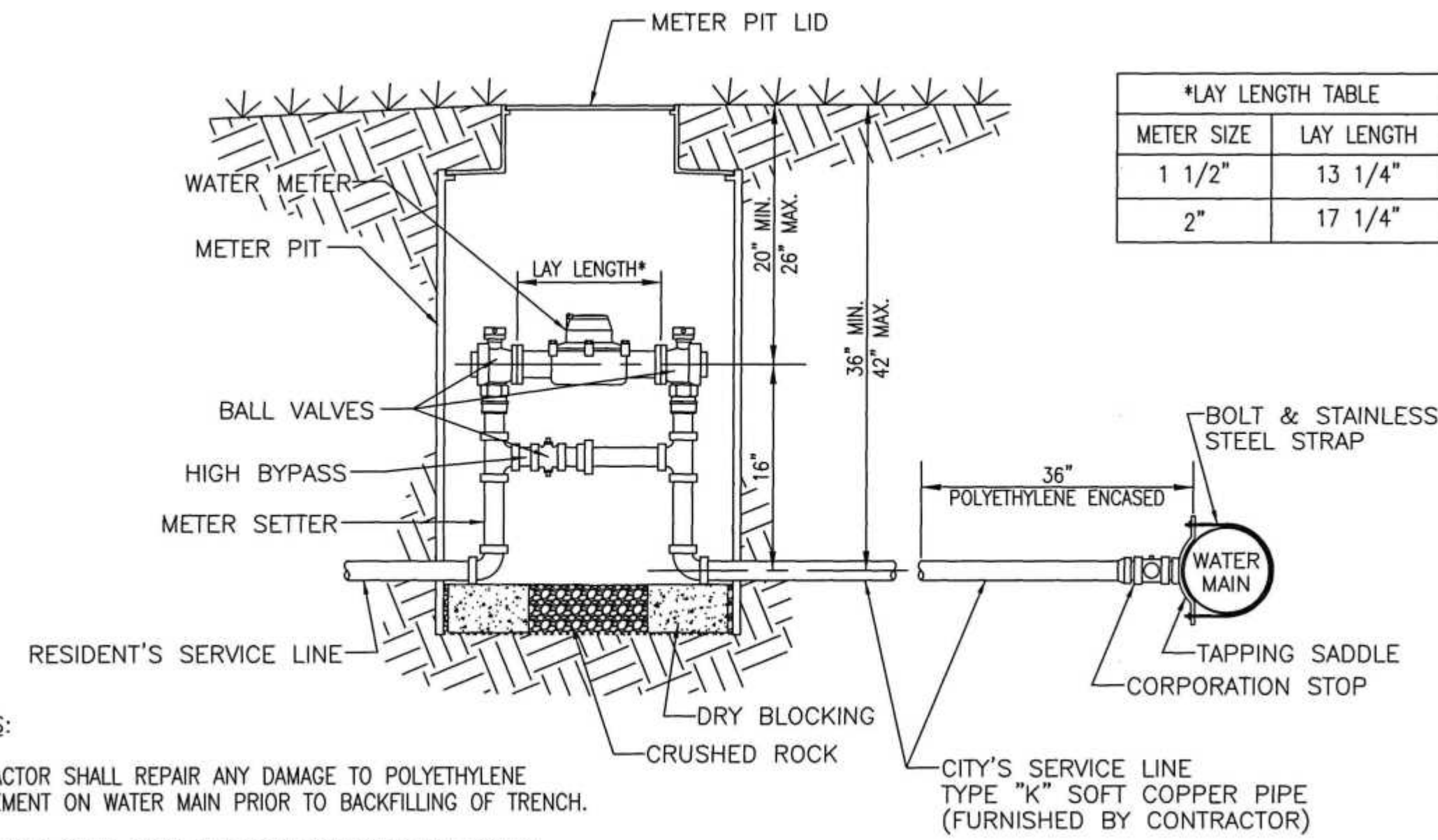
Section 3: Overlaid asphalt



Detail 4: Light Base



Section 5: Replaced asphalt



*LAY LENGTH TABLE	
METER SIZE	LAY LENGTH
1 1/2"	13 1/4"
2"	17 1/4"

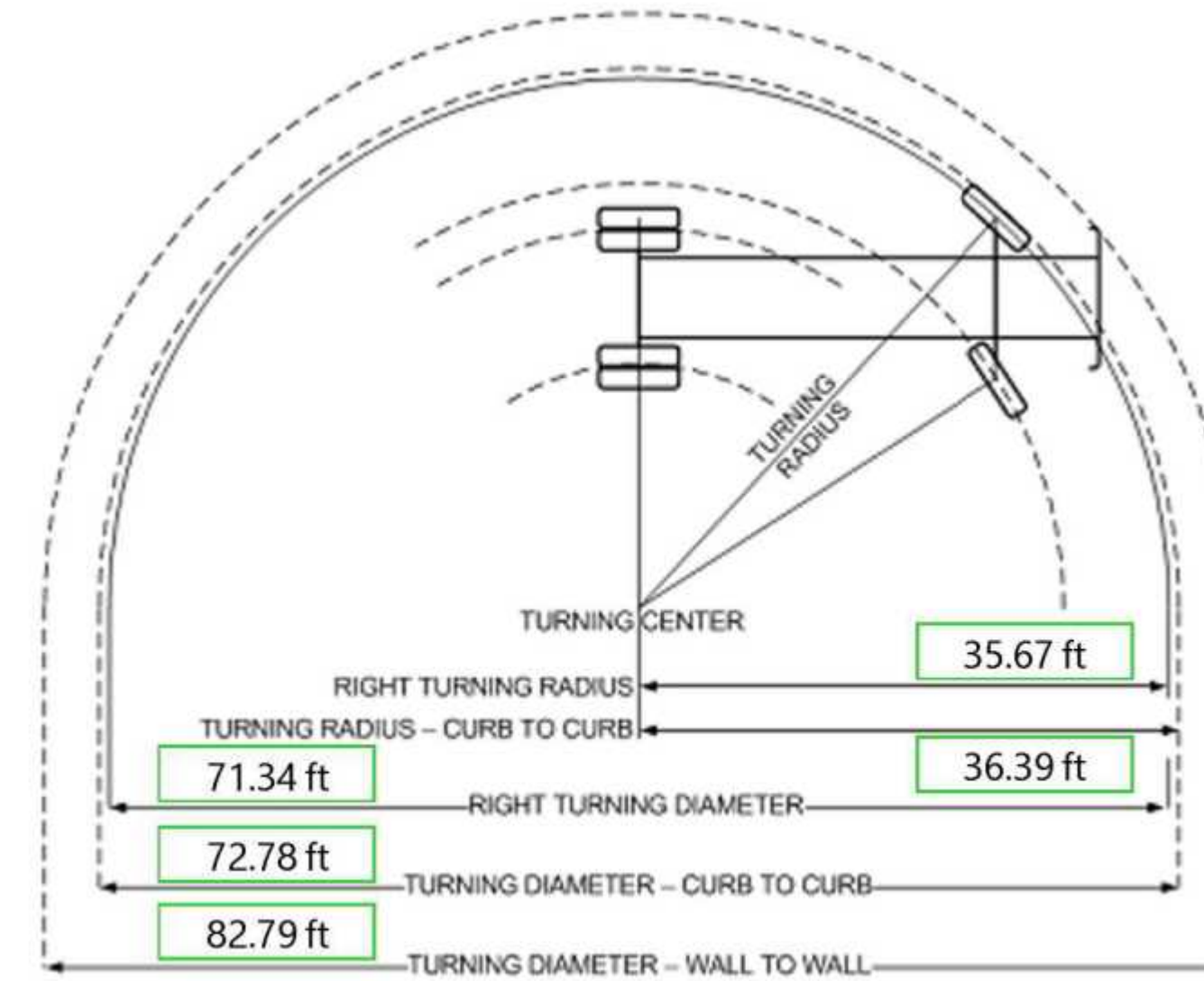
NOTES:

CONTRACTOR SHALL REPAIR ANY DAMAGE TO POLYETHYLENE ENCASEMENT ON WATER MAIN PRIOR TO BACKFILLING OF TRENCH.

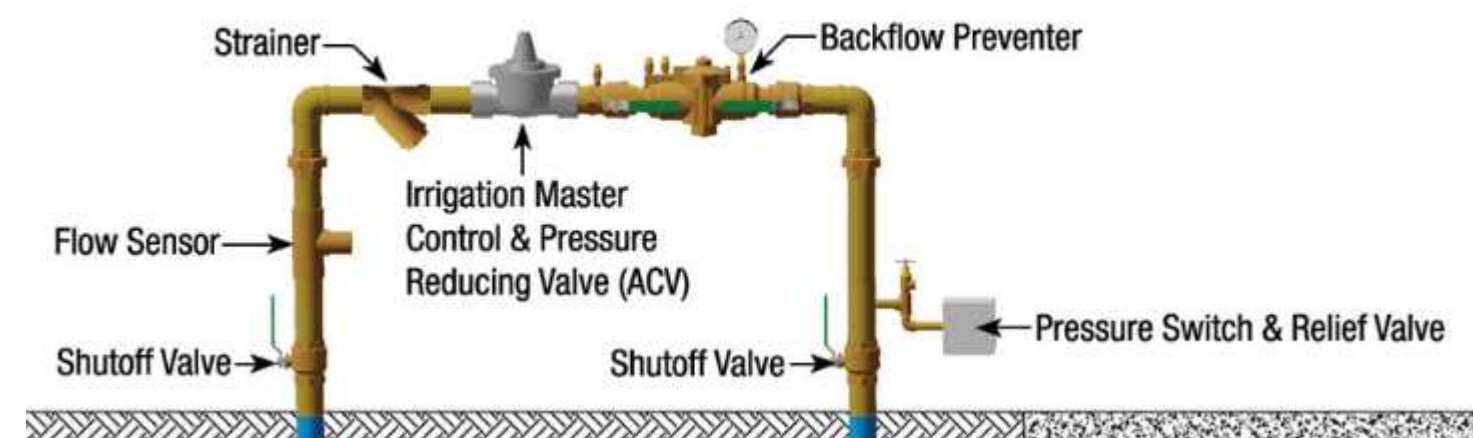
CONTRACTOR SHALL WRAP THE COPPER SERVICE LINE WITHIN THREE (3) FEET OF THE WATER MAIN WITH POLYETHYLENE ENCASEMENT.

*Coordinate with Raymore

Detail 6: Water Pit adapted from City of Olathe Standard Detail 62-5



Fire Truck Turning Template 0100-012 Gladiator



Irrigation Connection Detail

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 Raymore, MO

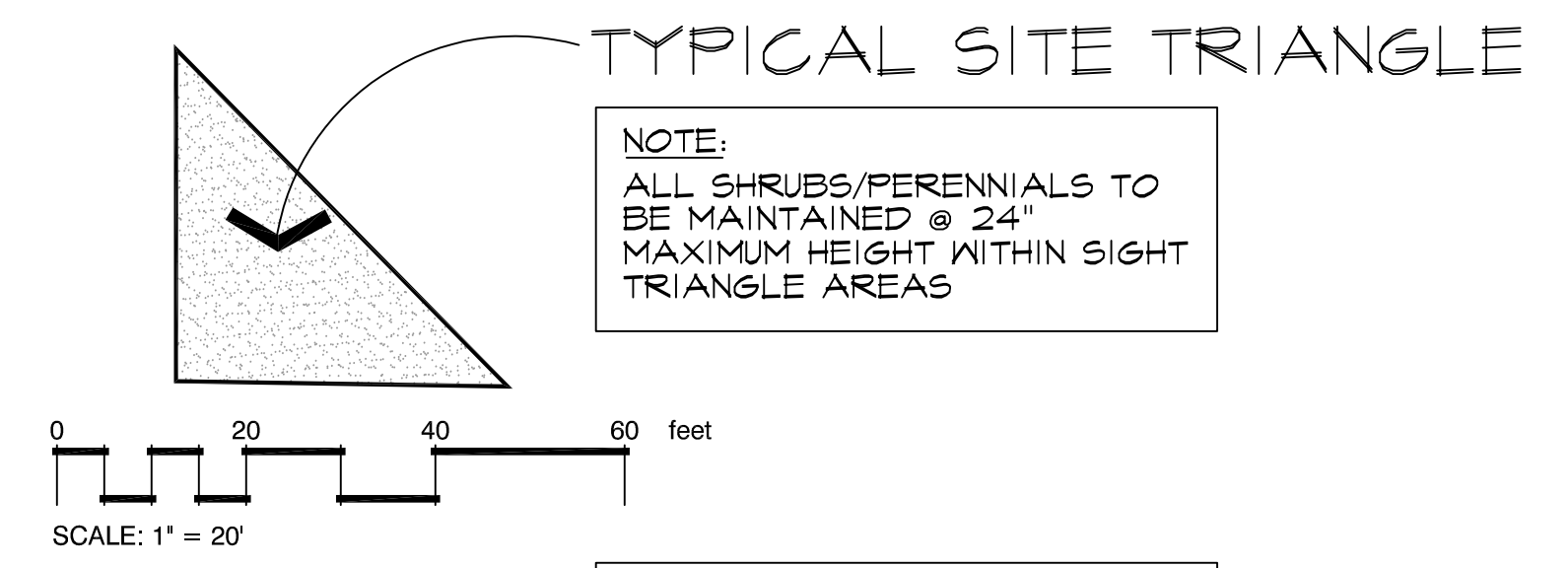
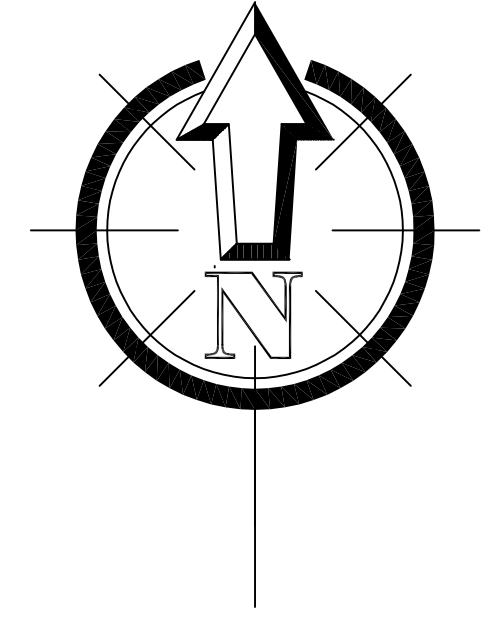
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 PD

ISSUE
 12.28.2022

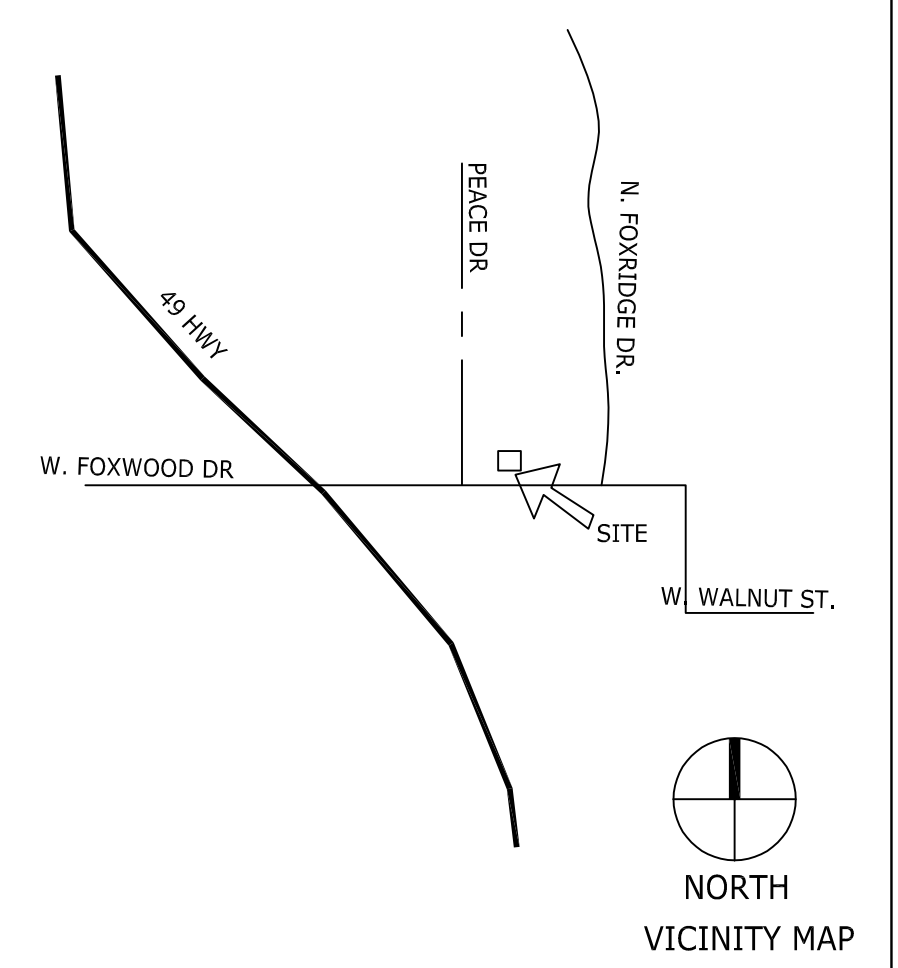
RE-ISSUE
 1.24.2023

Details

C3



SITE AREA = 30,092 SF
LANDSCAPE AREA = 6,018.40 SF or 20% OF TOTAL SITE



Parcel A
Willowind, LLC

Parcel B

Existing Parcel C
Community America Credit Union

proposed Bank
2,550 sf

proposed Multi-Tenant Drive Thru bldg
±6,300 sf

1,600 sf 1,500 sf DENTAL ±3,200 sf

Missouri Highway 58

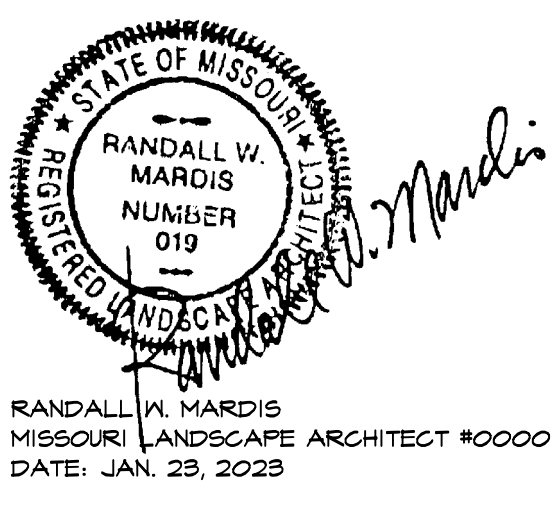
Planting Plan
Scale: 1" = 20'-0"

Willowind Square

Proposed Multi- Tenant Building w/ Drive Thru

1310 W. Foxwood Drive

Raymore, MO 64083



landscape
TECHNOLOGIES

61 Jacobs Creek Drive
St. Charles, Missouri 63304
(636) 428-1250
Fax: (636) 428-4563

L-1

MASTER PLANTING PLAN

January 23, 2022 SCALE: 1" = 20'-0"
LOCATION- BOX / 2023/ COVENANT/ Raymore/ CITY / PLANNING SUB/ A-0

The plans, ideas, arrangements and designs indicated or represented by this drawing are owned by, and are the property of COVENANT GROUP, and were created and developed solely for use on, and in connection with this specific project, and shall not be used, in whole or in part, for any purpose for which they were not originally intended without written permission from COVENANT GROUP@2022.

LANDSCAPE GUIDELINE SPECS:

GENERAL:

- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public. The landscape contractor shall be responsible for site coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
 - Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE in Missouri).
 - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
 - It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
 - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. Substitutions of types or sizes of plant materials will be accepted without written approval from the landscape architect.
 - Provide single-stem trees unless otherwise noted in plant schedule.
 - All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
 - It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
 - All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
 - Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
 - All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
 - Transplanted material will not be guaranteed by the landscape contractor.
 - Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
 - Landscape contractor shall kill & remove all existing weeds within the project site.
 - All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
 - Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
- ## PRUNING:
- Lightly prune trees at time of planting. Prune only the crossover limbs, interfering leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
 - All pruning shall comply with ANSI A300 standards.
- ## INSURANCE:
- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.
- ## MULCH:
- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc. No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Miraf fabric shall be used beneath all gravel mulch beds. Edge all beds with spade-cut edge unless otherwise noted.
- ## MAINTENANCE:
- Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
 - Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.
- ## SIGHT TRIANGLES:
- No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as not to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
 - Sight triangles at the intersection of a public street and a private access way (except for single family residences) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 25' and connecting the points so established to form the sight triangle area.
- ## WARRANTY:
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
 - Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
 - Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with warranty.
 - Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
 - A written guarantee shall be provided to the owner per conditions outlined in #1 above.

TOPSOIL:

- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
- Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
- Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

TURF:

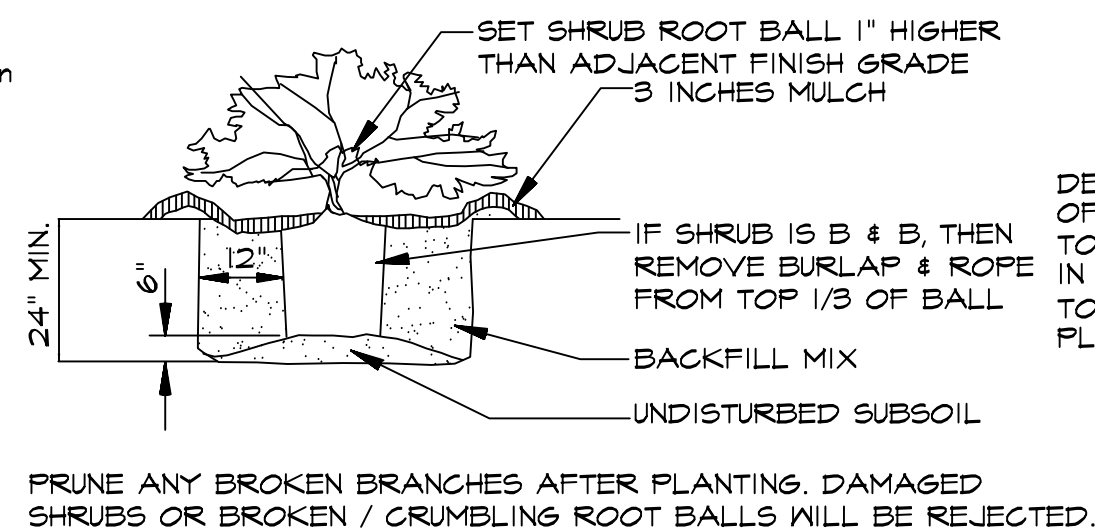
- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 30 square feet shall be replaced.
- The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
- Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted.
- Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- All sod shall be placed a maximum of 24 hours after harvesting.
- Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.
- Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

IRRIGATION GUIDELINE SPECS:

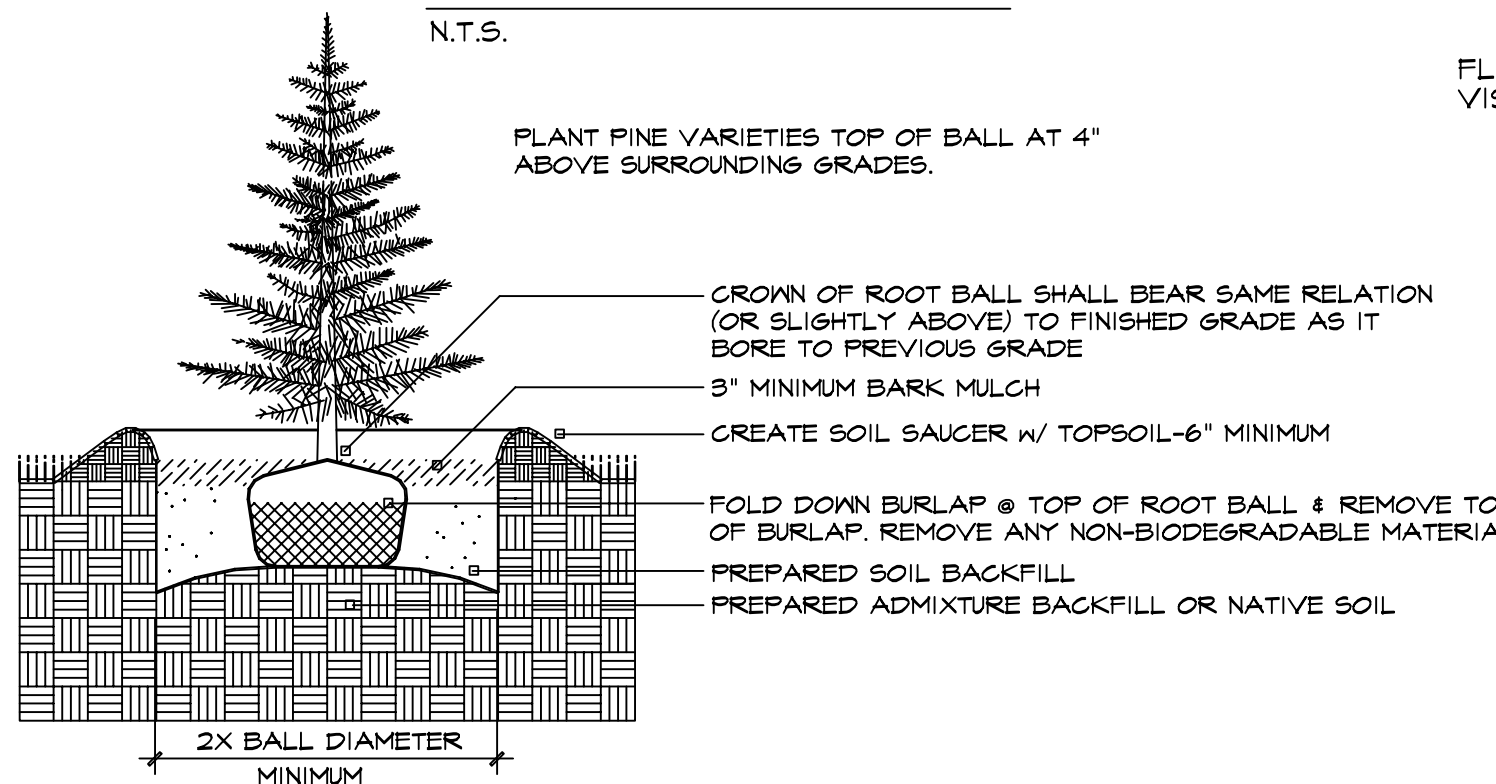
GENERAL:

- System shall be designed for 30 gpm @ 80 PSI. Contractor to field verify actual conditions.
- Exact top, backflow and controller location to be coordinated with owner or owner's representative.
- All control wiring to be 14 ga. Minimum 3 extra strands to be installed in each direction from the controller to the end of the mainline.
- All piping to be sleeved in SCH40 PVC when passing under hardscape. PVC Sleeve to be a minimum of twice the size of pipe(s) running through.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the irrigation contractor's responsibility to determine or verify the existence of and exact location of the above (Call 1-800-DIG-RITE).
- It shall be the irrigation contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
- All landscaped areas shall have installed an automatic, permanent irrigation system - designed to cover all landscape areas. Irrigation shall be design / build.

NOTE: Irrigation to be provided by others (shall be design / build).



SHRUB PLANTING

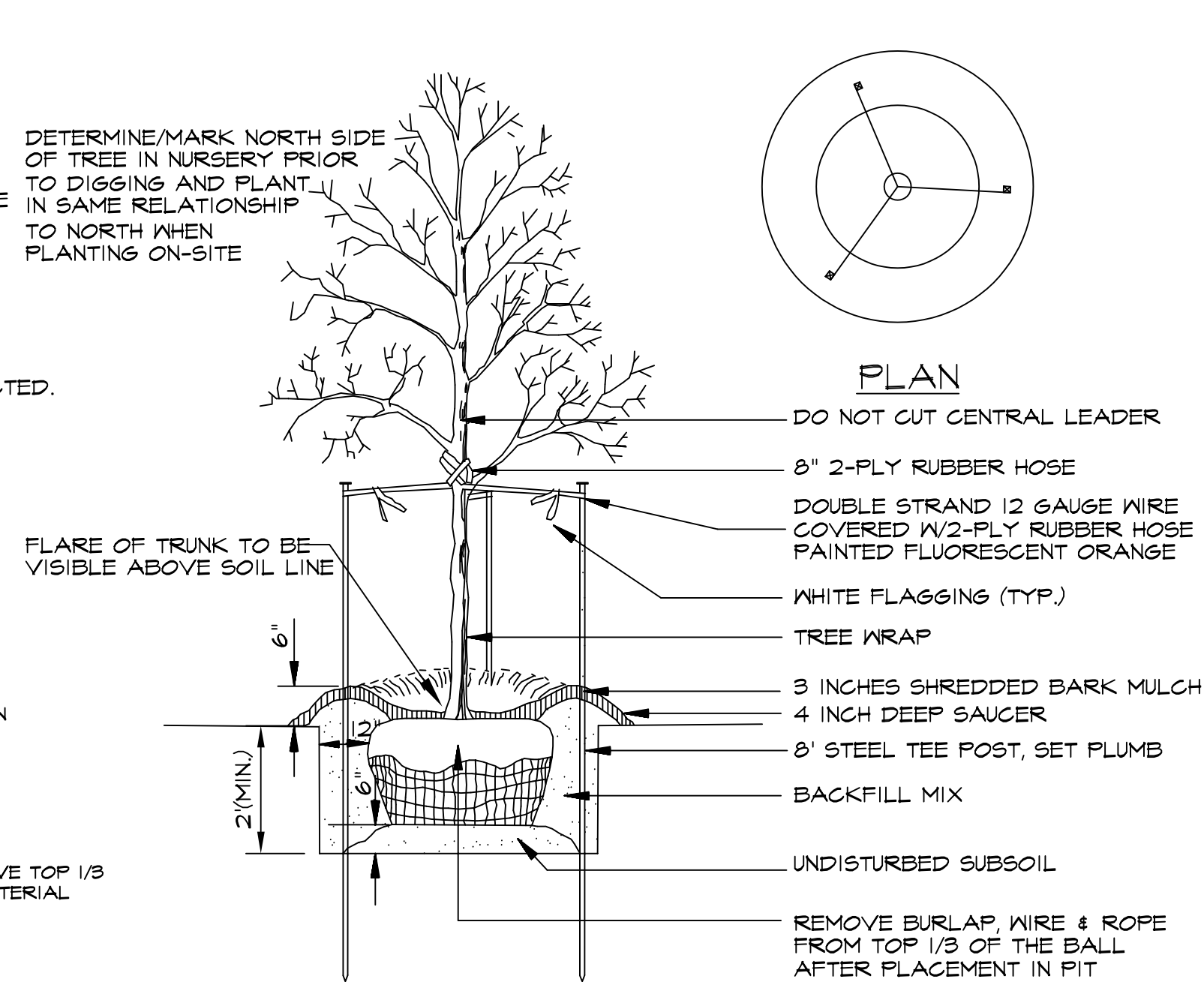


EVERGREEN TREE PLANTING

N.T.S.

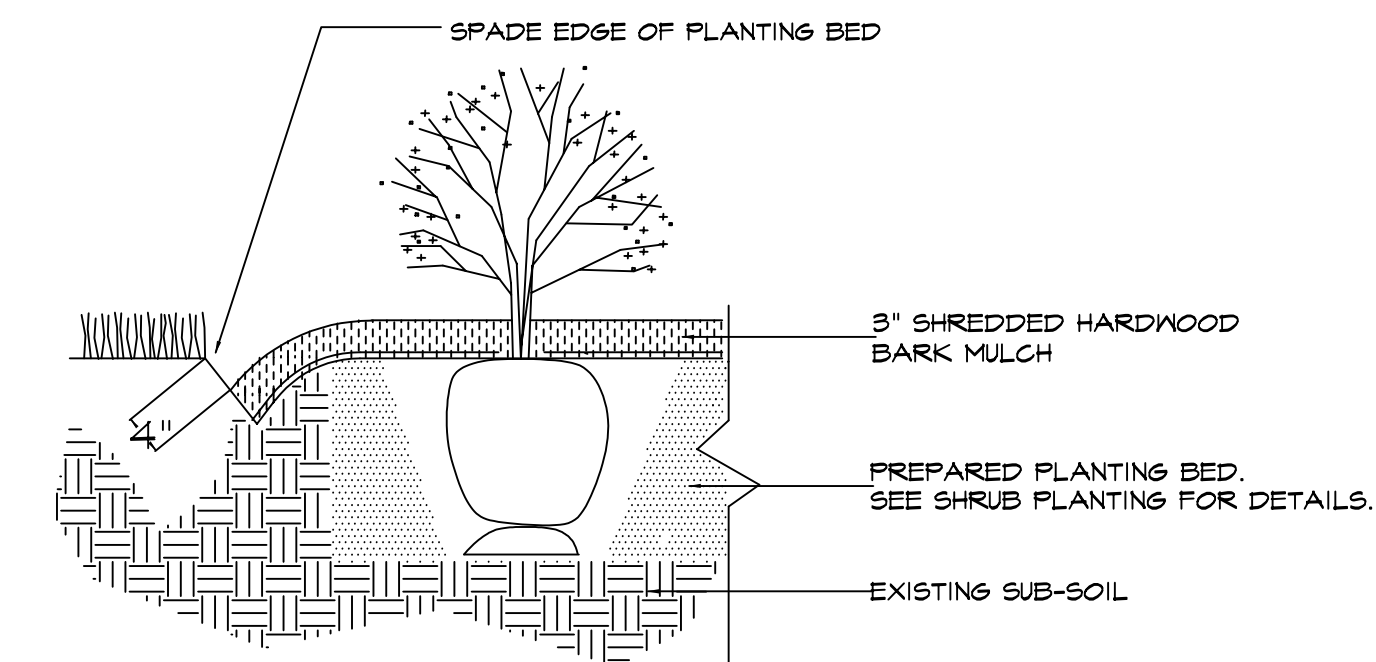
PLANT SCHEDULE

TREES	QTY	COMMON / BOTANICAL NAME	SIZE
OGRM	1	'OCTOBER GLORY' MAPLE / ACER RUBRUM 'OCTOBER GLORY'	2.5" CAL.
EVERGREEN TREES	QTY	COMMON / BOTANICAL NAME	SIZE
EMARB	5	EMERALD ARBORVITAE / THUJA OCCIDENTALIS 'EMERALD'	6'-7'
NS	1	NORWAY SPRUCE / PICEA ABIES	6'-7'
FLOWERING TREES	QTY	COMMON / BOTANICAL NAME	SIZE
JTL	2	IVORY SILK JAPANESE TREE LILAC / SYRINGA RETICULATA 'IVORY SILK'	2.5" CAL.
RRFC	3	ROYAL RAINDROPS FLOWERING CRAB / MALUS X 'ROYAL RAINDROPS'	2.5" CAL.
FRIN	3	WHITE FRINGETREE / CHIONANTHUS VIRGINICUS	2.5" CAL.
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE
BDPL	10	BLOOMERANG DWARF PURPLE LILAC / SYRINGA X 'SMNJRPU' TM	5 GAL.
DJY	15	DENSE JAPANESE YEW / TAXUS CUSPIDATA 'DENSIFORMIS'	18"-24"
GBIH	9	GEM BOX INKBERRY HOLLY / ILEX GLABRA 'GEM BOX'	5 GAL.
GVIC	3	GOLDEN TICKET PRIVET / LIGUSTRUM VICARYI 'GOLDEN TICKET'	5 GAL.
GVB	14	GREEN VELVET BOXWOOD / BUXUS 'GREEN VELVET'	5 GAL.
GLS	18	GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	5 GAL.
HMA	9	HETZ MIDGET ARBORVITAE / THUJA OCCIDENTALIS 'HETZ MIDGET'	5 GAL.
HY	7	HICKS YEW / TAXUS MEDIA 'HICKSII'	18"-24"
LSMA	8	LOW SCAPE MOUND CHOKEBERRY / ARONIA MELANOCARPA 'LOW SCAPE MOUND'	5 GAL.
RCA	17	ROSE CREEK ABELIA / ABELIA X GRANDIFLORA 'ROSE CREEK'	5 GAL.
SIS	6	SCENTLANDIA SWEETSPIRE / ITEA VIRGINICA 'SMNIVDFC' TM	5 GAL.
S&J	33	SEA GREEN JUNIPER / JUNIPERUS CHINENSIS 'SEA GREEN'	5 GAL.
SBWE	5	SONIC BLOOM WEIGELA / WEIGELA FLORIDA 'SONIC BLOOM'	5 GAL.
SWN	7	SUMMER WINE NINEBARK / PHYSCOCARPUS OPULIFOLIUS 'SUMMER WINE'	5 GAL.
TLLB	9	TITAN LITTLELEAF BOXWOOD / BUXUS SINICA 'TITAN'	5 GAL.
CLE	5	'HUMMINGBIRD' SUMMERSWEET / CLETHRA ALNIFOLIA 'HUMMINGBIRD'	5 GAL.
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE
CALA	44	FOERSTER'S REED GRASS / CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	5 GAL.
ANNUALS/PERENNIALS	QTY	COMMON / BOTANICAL NAME	SIZE
LGC	25	LITTLE GOLDSTAR CONEFLOWER / RUDBECKIA FULGIDA SULLIVANTII 'LITTLE GOLDSTAR'	1 GAL.
MIN-SAL	13	MAY NIGHT SALVIA / SALVIA NEMOROSA 'MAY NIGHT'	1 GAL.
SCD	30	STRAWBERRY CANDY DAYLILY / HEMEROCALLIS X 'STRAWBERRY CANDY' TM	1 GAL.
VL	54	VARIEGATED LIRIOPE / LIRIOPE MUSCARI 'VARIEGATA'	1 GAL.



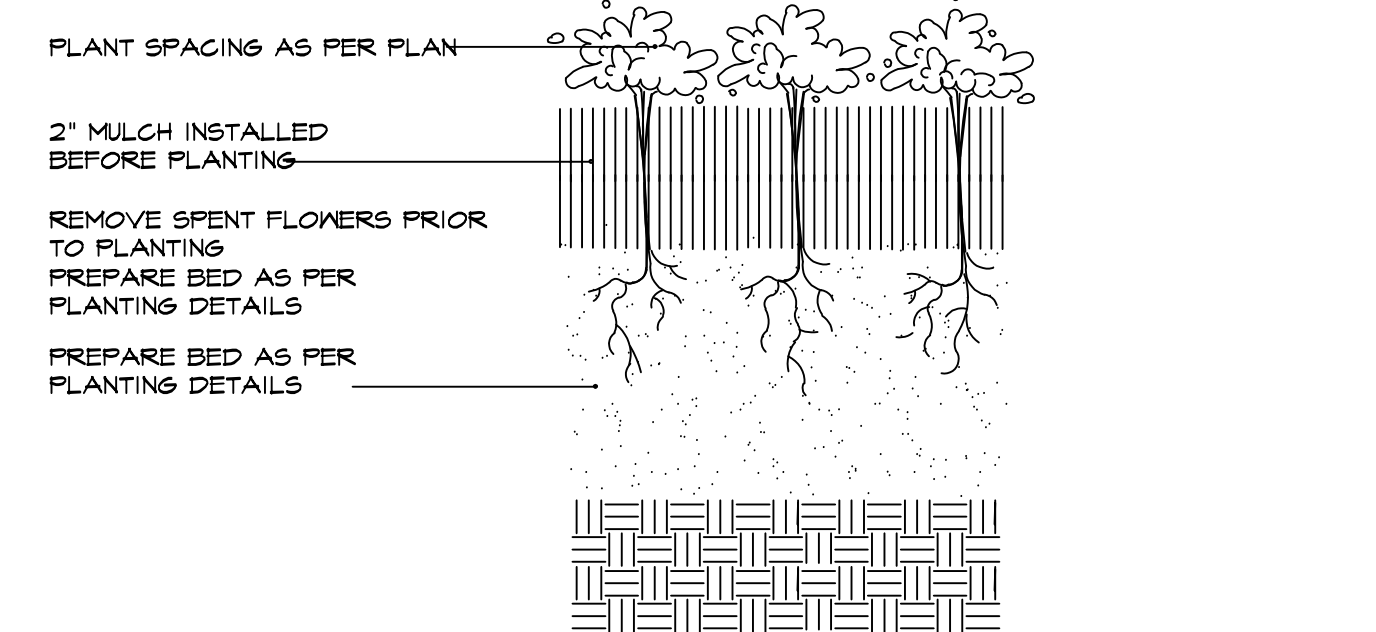
DECIDUOUS TREE PLANTING

N.T.S.



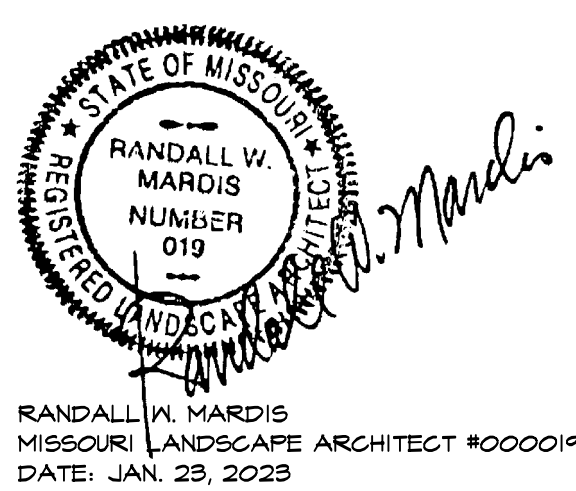
SPADE-CUT EDGE DETAIL

N.T.S.



PERENNIAL / ANNUAL PLANTING

N.T.S.



RANDALL W. MARDIS

 MISSOURI LANDSCAPE ARCHITECT #000019

 DATE: JAN. 23, 2023

 61 Jacobs Creek Drive

 St. Charles, Missouri 63904

 (636) 428-1250

 Fax: (636) 428-4563

Willowind Square

 Proposed Multi- Tenant Building w/ Drive Thru

 1310 W. Foxwood Drive

 Raymore, MO 64083

L-2

MASTER PLANTING PLAN

 January 23, 2022 SCALE: 1"= 20'-0"

 LOCATION- BOX / 2023/ COVENANT/ Raymore/ CITY / PLANNING SUB/ A-0

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MONTHLY REPORT

JANUARY 2023

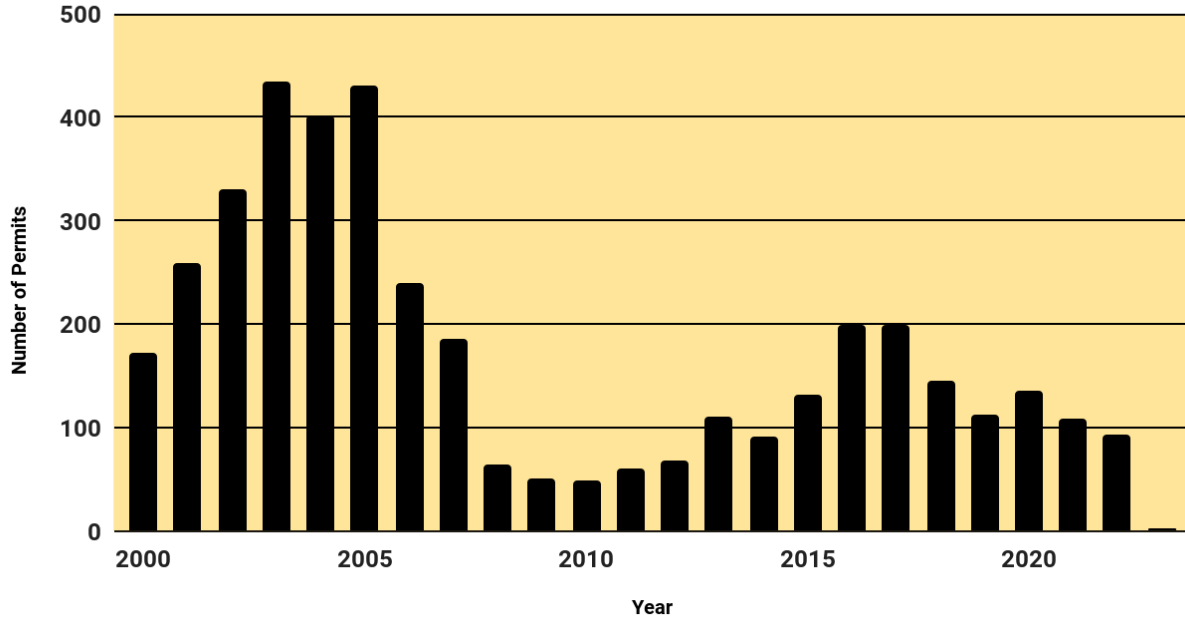
Building Permit Activity

Type of Permit	JAN 2023	2023 YTD	2022 YTD	2022 Total
Detached Single-Family Residential	2	2	7	94
Attached Single-Family Residential	0	0	32	238
Multi-Family Residential	0	0	0	15
Miscellaneous Residential (deck; roof)	39	39	46	763
Commercial - New, Additions, Alterations	3	3	5	20
Sign Permits	0	0	2	49
Inspections	JAN 2023	2023 YTD	2022 YTD	2022 Total
Total No. of Inspections	461	461	397	6,264
Residential Inspections	203	203	-	-
Commercial Inspections	258	258	-	-
Valuation	JAN 2023	2023 YTD	2022 YTD	2022 Total
Total Residential Permit Valuation	\$468,900	\$468,900	\$8,126,700	\$69,322,400
Total Commercial Permit Valuation	\$906,200	\$906,200	\$11,404,700	\$93,784,200

Additional Building Activity:

- Building permits were issued for the first 2 homes in the Alexander Creek subdivision.
- Site work continues at the Depot Apartment Community (Watermark). Permits for the pool/clubhouse were received, with vertical construction pending.
- Site work commenced on the Ridgeview Estates development, located at Lucy Webb Road and Dean Avenue.
- Renovations for the Subway located at 1116 W. Foxwood were permitted during the month of January.
- Minor site work commenced at the recently approved Starbucks within the Foxwood Shops development.

Single Family Building Permits



CODE ENFORCEMENT ACTIVITY

Code Activity	JAN 2023	2023 YTD	2022 YTD	2022 Total
Code Enforcement Cases Opened	44	44	42	705
<i>Notices Mailed</i>				-
- Tall Grass/Weeds	1	1	0	144
- Inoperable Vehicles	25	25	14	221
- Junk/Trash/Debris in Yard	9	9	9	122
- Object placed in right-of-way	0	0	0	10
- Parking of vehicles in front yard	1	1	2	46
- Exterior home maintenance	5	5	10	73
- Other (trash at curb early; signs; etc)	0	0	0	0
Properties mowed by City Contractor	0	0	0	55
Abatement of violations (silt fence repaired; trees removed; stagnant pools emptied; debris removed)	0	0	0	0
Signs in right-of-way removed	49	49	43	1,184
Violations abated by Code Officer	3	3	7	76

DEVELOPMENT ACTIVITY

Current Projects

- Comprehensive Plan
- Park Side Phase 1 (1st Plat, Sunset Lane, Park Dedication)
- Willowind Square Lot 2 Site Plan
- Alexander Creek 4th Plat
- Knoll Creek 2nd Plat

ACTION OF BOARDS, COMMISSIONS & CITY COUNCIL

January 3, 2023 Planning and Zoning Commission

- Meeting Canceled

January 9, 2023 City Council

- 2nd Reading - Estates of Knoll Creek 2nd Final Plat
- Annual TIF Summary Report - Economic Development Dept.

January 17, 2023 Planning and Zoning Commission

- Edgewater at Creekmoor 8th Final Plat
- Edgewater at Creekmoor 9th Final Plat

January 23, 2023 City Council

- 1st Reading - Edgewater 8th Final Plat
- 1st Reading - Edgewater 9th Final Plat

UPCOMING MEETINGS - FEBRUARY/MARCH

February 13, 2023 City Council

- 2nd Reading - Edgewater 8th Final Plat
- 2nd Reading - Edgewater 9th Final Plat
- 1st Reading - Economic Development Request for Raymore Commerce Center Building 3

February 21, 2023 Planning and Zoning Commission

- Park Side 1st Plat
- Park Side Park 1st Plat
- Sunset Lane 1st Plat
- Raymore Activity Center Site Plan Amendment

February 27, 2023 City Council

- 1st Reading - Park Side 1st Plat
- 1st Reading - Park Side Park 1st Plat
- 1st Reading - Sunset Lane 1st Plat
- 1st Reading - Park Side Phase 1 MOU

March 7, 2023 Planning and Zoning Commission

- No items currently scheduled

March 13, 2023 City Council

- 2nd Reading - Park Side 1st Plat
- 2nd Reading - Park Side Park 1st Plat
- 2nd Reading - Sunset Lane 1st Plat
- 2nd Reading - Park Side Phase 1 MOU

DEPARTMENT ACTIVITY

- Development Services Director David Gress and City Planner Dylan Eppert attended the monthly Southland Planners morning coffee with other planners from Belton, Grandview, Harrisonville and Peculiar.
- City Planner Dylan Eppert conducted a final walk through site plan inspection for Johnny's Tavern, located at 716 W. Foxwood Dr. Johnny's Tavern is scheduled to open at 11 a.m., Friday, Jan. 20.
- An application was filed requesting site plan approval for a proposed multi-tenant building consisting of (dental, retail and quick serve) to be located in the Willowind Square Shopping Center, located at 58 Highway and N. Foxridge Dr. This application is scheduled to go before the Planning Commission on February 7, 2023, at 6 p.m.
- Mayor Kris Turnbow, Development Services Director David Gress, Economic Development Director Brandon Keller and City Planner Dylan Eppert attended a ribbon cutting ceremony hosted by the Raymore Chamber of Commerce for the Eagles Community Outreach which is located within the Willowind Square Shopping Center at 406 N. Foxridge Dr.
- An application was filed requesting final plat approval of the [Park Side 1st Plat](#), a 28-lot single family subdivision. The request also includes the platting and dedication of 10.62+/- acres of land for a future City park. The Planning Commission will review this request at their Feb. 21, 2023 meeting.
- Economic Development Director Brandon Keller attended a meeting of the Missouri Development Finance Board in Jefferson City, MO.
- Economic Development Director Brandon Keller and Development Services Director David Gress participated in a monthly Board meeting of the Chamber of Commerce.

- Development Services staff met to review the Comprehensive Plan draft and reviewed the process for selecting a consultant to finalize the Comprehensive Plan update.
- Economic Development Director Brandon Keller and Development Services Director David Gress attended the Raymore Chamber of Commerce Membership Luncheon at Centerview. The topic of discussion was small business resources offered by the Small Business Administration!
- City Planner Dylan Eppert completed International Code Council CEU training focused on Code Official Safety.
- City Planner Dylan Eppert, Code Enforcement Officer Drayton Vogel and Director David Gress presented information related to short and long term rentals at a joint work session with the Planning and Zoning Commission and City Council on January 30th.

GIS ACTIVITY

- Troubleshoot logging operations and year end QA/QC
- Data development for performance & scheduled sync operations
- Database administration & tuning of database services, annual backup
- Research migration methods for distributed architecture
- Accession/removal of apps & operational data created in ArcGIS Online
- Application development (Citizen lookup, parks dashboard, utilities, etc)
- Logging of scheduled distributed data operations
- Cartographic & annotation layers improvements, update of wall maps
- Data creation & sharing - trash collection, cellular antenna locations & public trees
- Massive open online course (MOOC) 'Migration operations & tools'