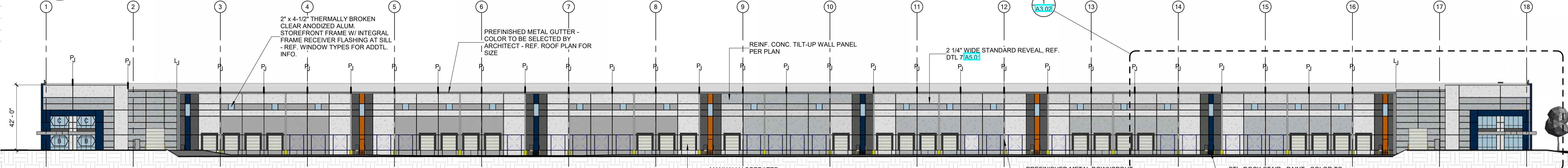


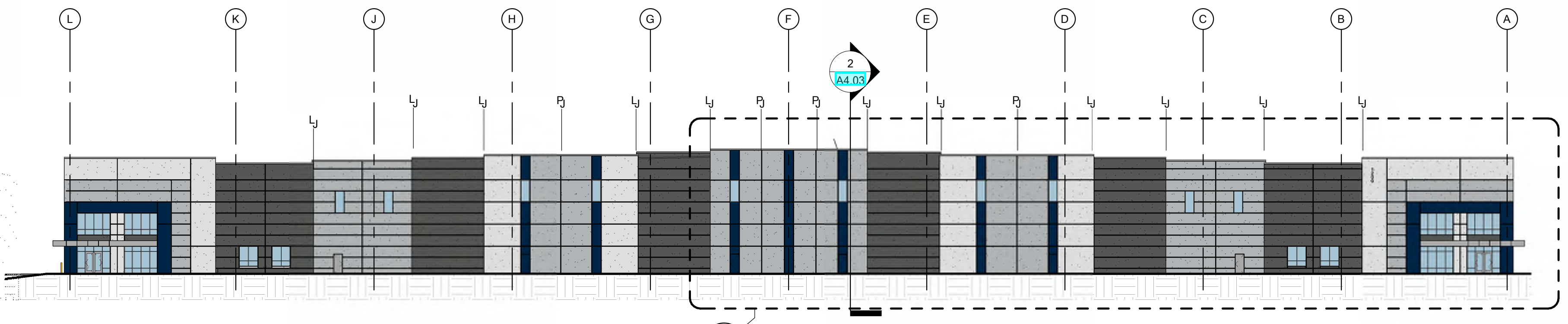
NORTH ELEVATION

A1.01 | A3.01 SCALE: 1" = 30'-0"



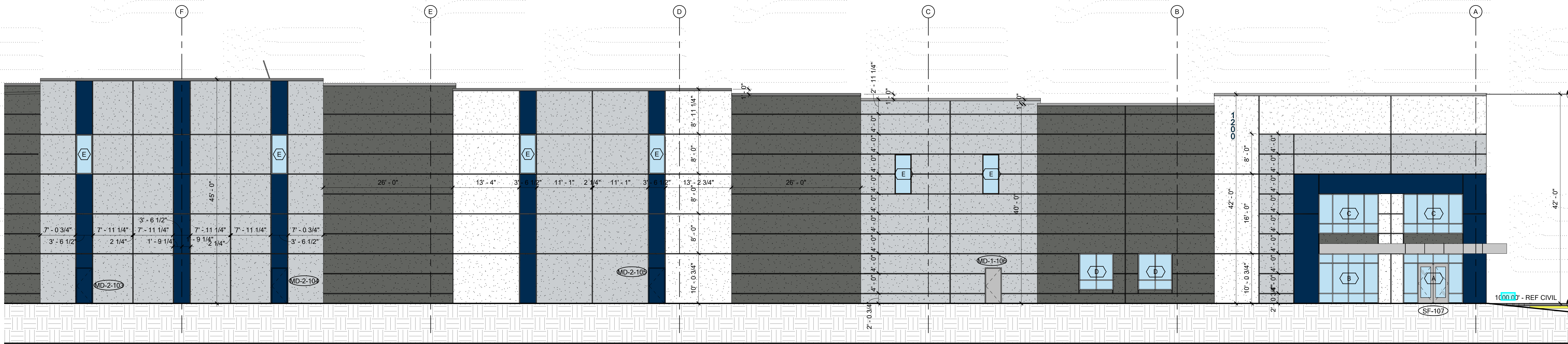
SOUTH ELEVATION

A1.01 | A3.01 SCALE: 1" = 30'-0"



EAST AND WEST ELEVATION

A1.01 | A3.01 SCALE: 1" = 30'-0"



END WALL ENTRY ENLARGED ELEVATION

A3.01 | A3.01 SCALE: 1" = 10'-0"

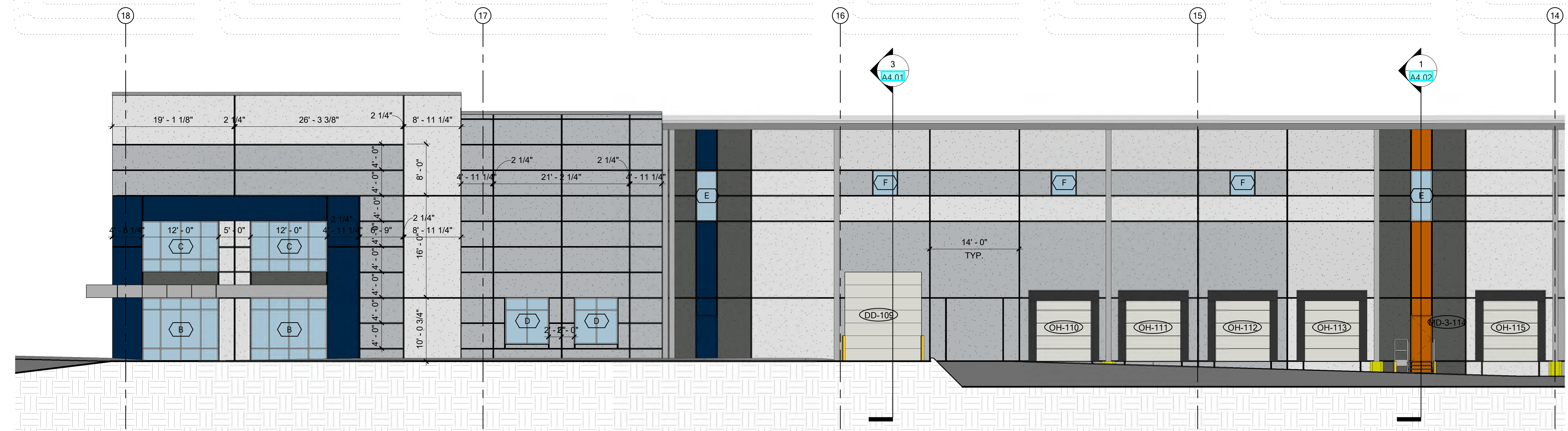
LEGEND - BUILDING ELEVATIONS

- Pj - PANEL JOINT
- Lj - LAP JOINT, SEE PLAN DETAIL
- K - KNOCKOUT PANEL

WALL COLOR LEGEND

- FIELD COLOR "A"
 RGB 237-236-230
 SW 7005 "PURE WHITE"
- FIELD COLOR "B"
 RGB 189-189-183
 SW 7065 "AGROSS"
- FIELD COLOR "C"
 RGB 127-129-126
 SW 7067 "CITYSCAPE"
- ACCENT COLOR "A1"
 RGB 0-43-81
 SW 6804 "DIGNITY BLUE"
- ACCENT COLOR "B1"
 RGB 210-130-64
 SW 6657 "AMBER WAVE"

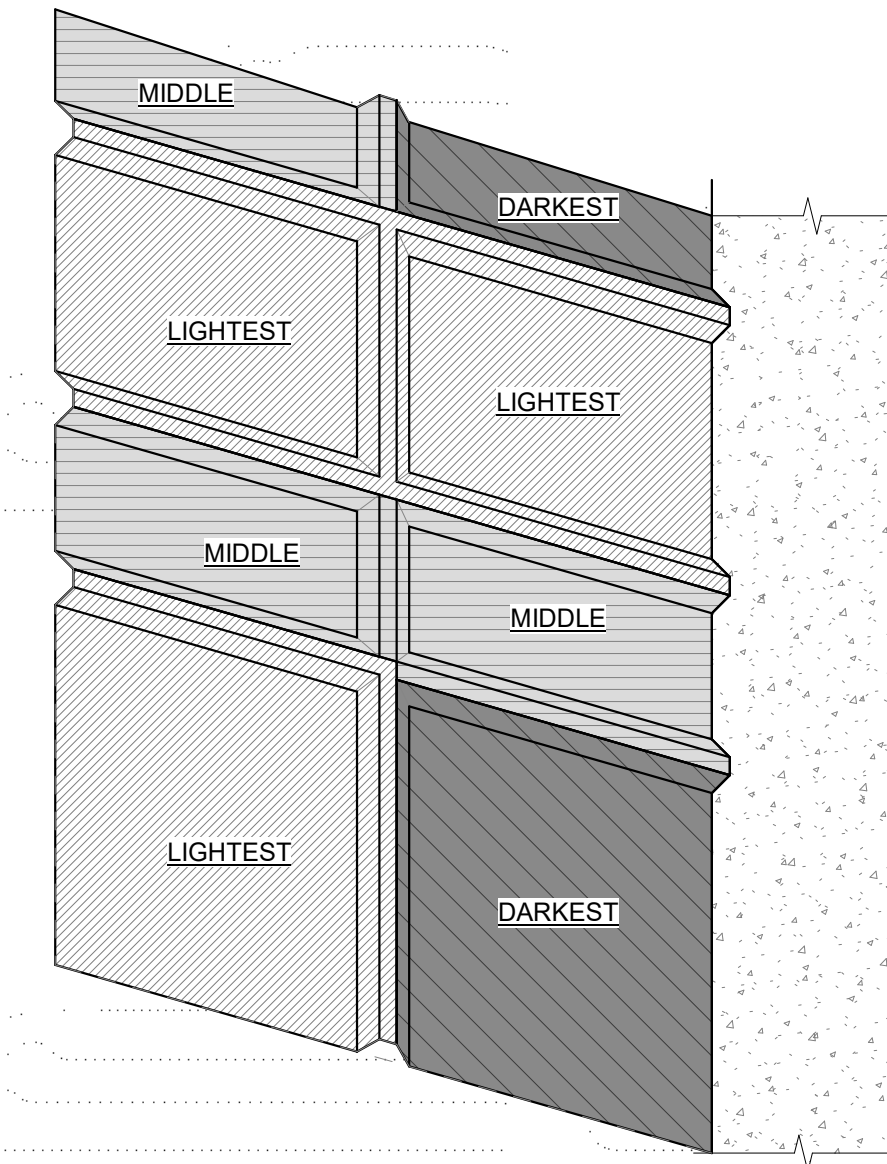
REV	DATE	DESCRIPTION



NORTH DOCK-SIDE ENLARGED ELEVATION

A3.01 | A3.01 SCALE: 1" = 10'-0"

PROJECT NUMBER	15044.00
DATE	3/29/2022
PERMIT SET	
DESIGNED:	SEC
DRAWN:	SEC
REVIEWED:	CDR
SHEET TITLE	EXTERIOR ELEVATIONS
SHEET NUMBER	A3.01



NOTE: REFERENCE EXTERIOR ELEVATIONS, SHEET A3.01, A3.02 FOR REVEAL LOCATIONS.

TYP. TILT-UP PAINT / CAULK ORDER

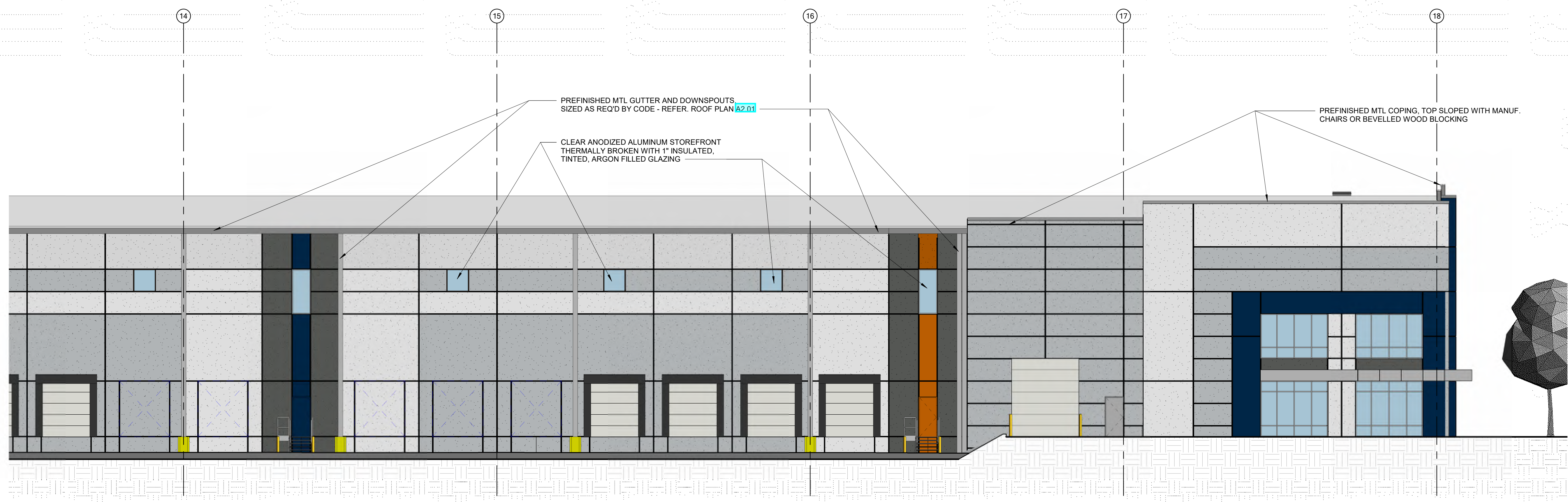
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A3.02 SCALE: 1 1/2" = 1'-0"

LEGEND - BUILDING ELEVATIONS

- P_j - PANEL JOINT
- L_j - LAP JOINT, SEE PLAN DETAIL
- X - KNOCKOUT PANEL

WALL COLOR LEGEND

- FIELD COLOR "A"
RGB 237-236-230
SW 7005 "PURE WHITE"
- FIELD COLOR "B"
RGB 189-169-183
SW 7065 "AGROSS"
- FIELD COLOR "C"
RGB 127-128-126
SW 7067 "CITYSCAPE"
- ACCENT COLOR "A1"
RGB 0-43-81
SW 6804 "DIGNITY BLUE"
- ACCENT COLOR "B1"
RGB 210-130-64
SW 6657 "AMBER WAVE"



SOUTHWEST CORNER

1
A3.01 A3.02 SCALE: 1" = 10'-0"

REV	DATE	DESCRIPTION

PROJECT NUMBER	15044.00
DATE	3/29/2022
PERMIT SET	

DESIGNED:	CDR
DRAWN:	SEC
REVIEWED:	MKO

SHEET TITLE

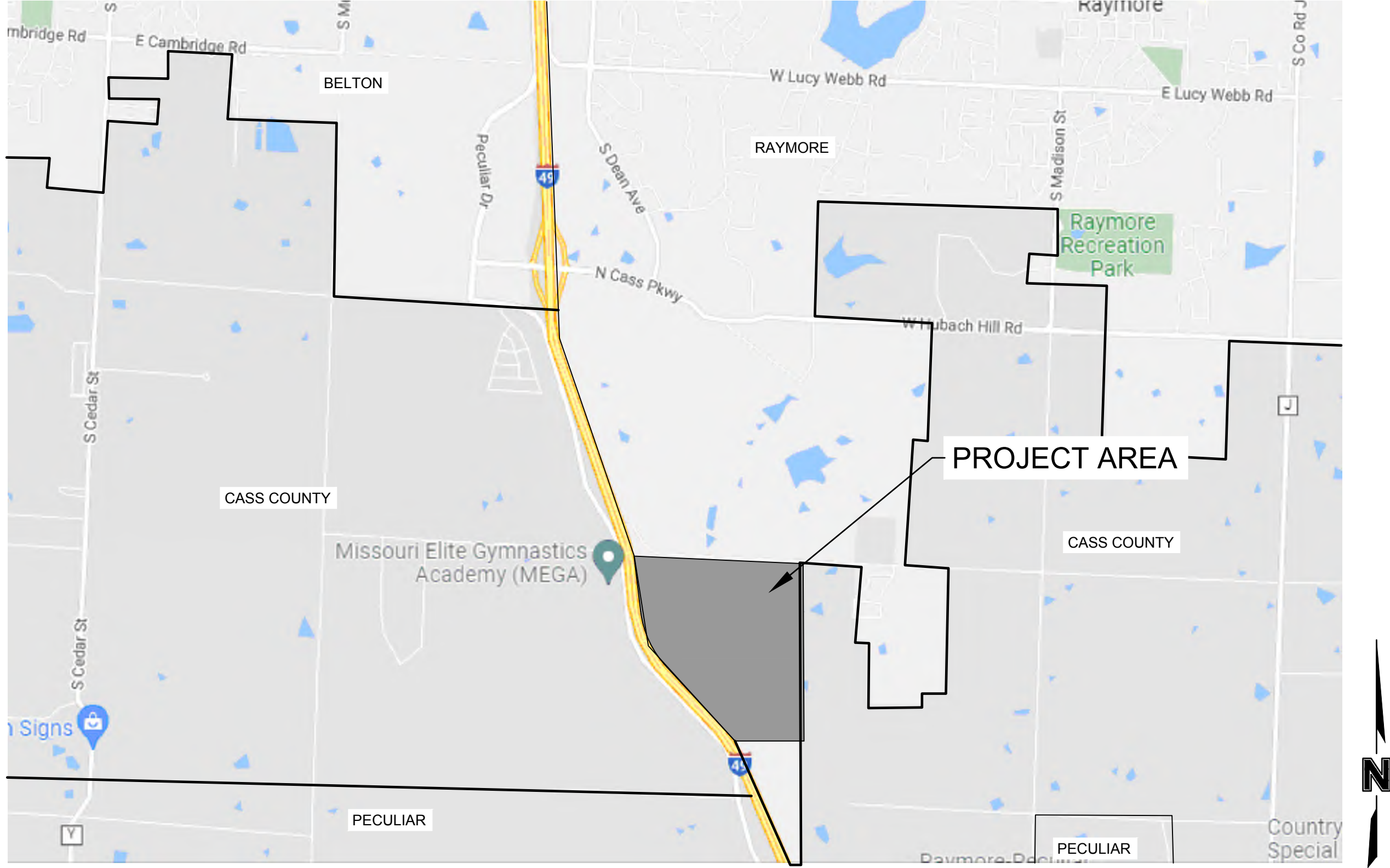
EXTERIOR ELEVATIONS

SHEET NUMBER

A3.02

PRELIMINARY DEVELOPMENT PLANS FOR RAYMORE COMMERCE CENTER SOUTH

SOUTHEAST OF INTERSTATE 49 AND 195TH STREET SECTION 29 AND 32, TOWNSHIP 46 NORTH, RANGE 32 WEST, IN THE CITY OF RAYMORE, CASS COUNTY, MISSOURI



LOCATION MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

Sheet Number	Sheet Title
C-0	COVER SHEET
C-1	OVERALL PLAN
C-2.0	OVERALL SITE PLAN
C-2.1	SITE PLAN
C-2.2	SITE PLAN
C-2.3	SITE PLAN
C-2.4	SITE PLAN
C-2.5	SITE PLAN
C-3.0	OVERALL GRADING PLAN
C-3.1	GRADING PLAN
C-3.2	GRADING PLAN
C-3.3	GRADING PLAN
C-3.4	GRADING PLAN
C-4.0	OVERALL UTILITY PLAN
C-4.1	UTILITY PLAN
C-4.2	UTILITY PLAN
C-4.3	UTILITY PLAN
C-4.4	UTILITY PLAN
L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	LANDSCAPE PLAN
L-1.2	LANDSCAPE PLAN
L-1.3	LANDSCAPE PLAN
L-1.4	LANDSCAPE PLAN
L-1.5	LANDSCAPE PLAN

APPLICANT
VTRE DEVELOPMENT, LLC
CONTACT: GRANT HARRISON
4900 MAIN STREET, SUITE 400
KANSAS CITY, MO 64112
816.469.1441
grant.harrison@vantrustr.com

SURVEY & ENGINEERING
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BRETT LAURITSEN, P.E.
MASON OLSON
7301 WEST 133RD STREET, SUITE 200
OVERLAND PARK, KANSAS 66213
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blauritsen@olsson.com
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LAND OWNER REPRESENTATIVE
DOUBLE G PROPERTIES, LLC
DAVE OTIS
3311 SW KESSLER DR, SUITE 4312
LEE'S SUMMIT, MO 64081
847.691.6933
D.OTIS@OTISCOMPANY.COM

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RAYMORE COMMERCE CENTER SOUTH

PRELIMINARY DEVELOPMENT PLANS

RAYMORE, MO 64112

PROJECT NUMBER: 021-5673

SUBMITTAL DATE: APRIL 15, 2022

C.O.A. NO. 001592
7301 West 133rd Street, Suite 200
Overland Park, KS 66213-4750 TEL 913.381.1170 www.olsson.com

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

SHEET NAME:
COVER SHEET

SHEET:
C-0

LEGEND

PROPOSED PROPERTY LINE	---
PROPOSED LOT LINE	---
PROPOSED BUILDING SET-BACK	---
OFFSITE PROPOSED FUTURE RIGHT-OF-WAY	---
FUTURE RIGHT-OF-WAY DEDICATION (APPROX)	---
SECTION LINE	---
EXISTING MODOT RIGHT-OF-WAY	---
EXISTING CITY OF RAYMORE RIGHT-OF-WAY	---
PROPOSED WATER MAIN	W
PROPOSED SANITARY MAIN	SS
PROPOSED COMMUNICATIONS	COMM
PROPOSED UNDERGROUND ELECTRIC & GAS LINE	P-UG
PROPOSED TELEPHONE LINE	T
PROPOSED EASEMENT	---
PROPOSED RETAINING WALL	---
PROPOSED DETENTION BASIN	---
EXISTING OVERHEAD POWER	P-OH
EXISTING ELECTRICAL LINE	E
EXISTING SANITARY MAIN	SS
EXISTING EASEMENT	---
EXISTING FENCE	X
EXISTING CHAIN LINKED FENCE	---
EXISTING VEGETATION/TREE LINE	---
EXISTING WATER WAY/POND	---
PROPOSED FIRE HYDRANT	●



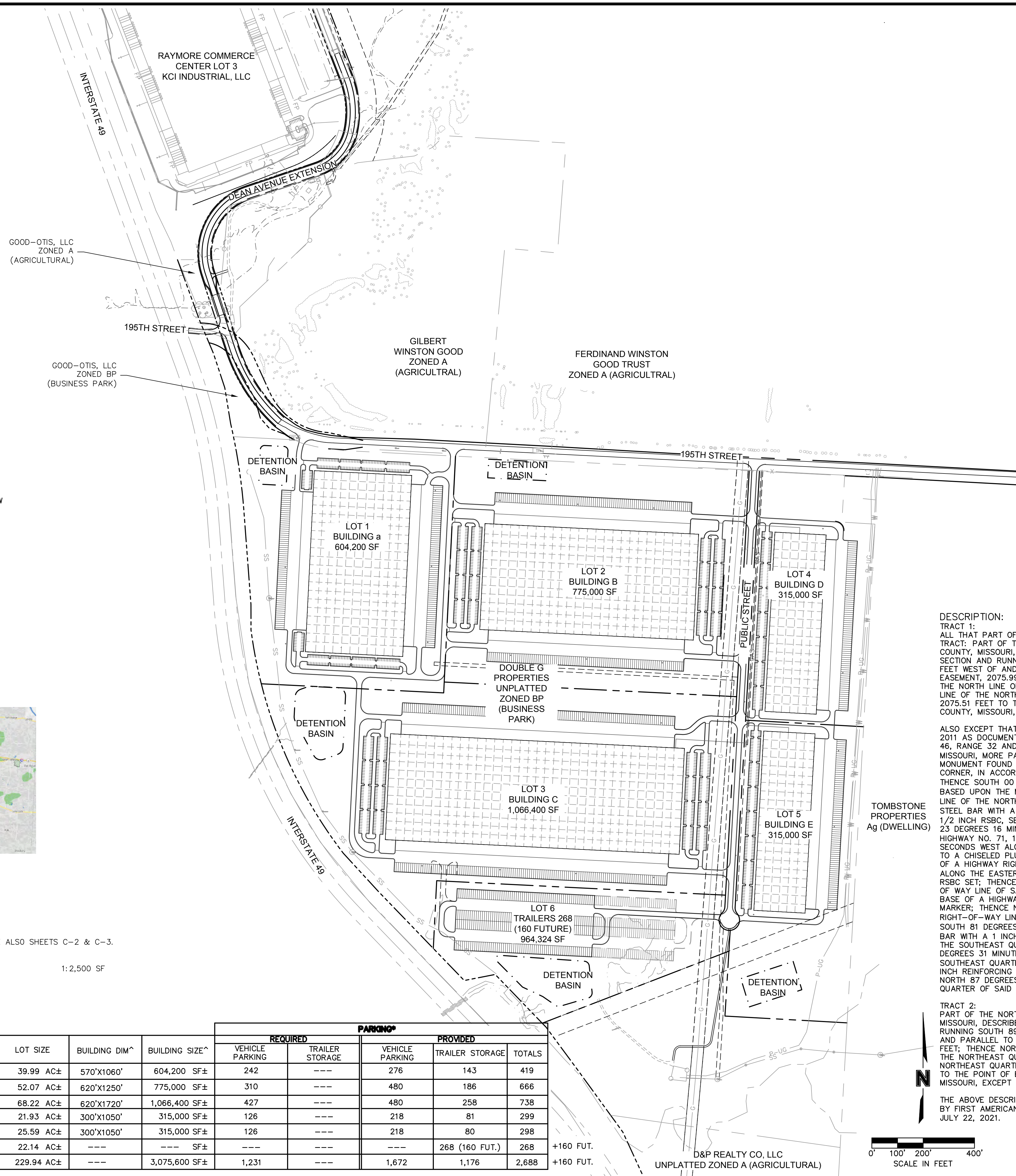
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7201 West 133rd Street, Suite 200
Overland Park, KS 66213-4750
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REV. NO.	DATE	DESCRIPTION

RAYMORE COMMERCE CENTER SOUTH
PRELIMINARY DEVELOPMENT PLANS
RAYMORE, MO 64112
PROJECT NUMBER: 021-5673
SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
OVERALL PLAN
SHEET:
C-1

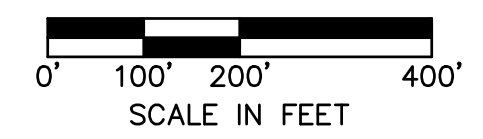


DESCRIPTION:
TRACT 1:
ALL THAT PART OF SECTION 32 WHICH LIES EAST OF U.S. HIGHWAY NO. 71, EXCEPT THE FOLLOWING TRACT: PART OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 46, RANGE 32, IN CASS COUNTY, MISSOURI, DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF THE SAID QUARTER SECTION AND RUNNING SOUTH 89 DEGREES 41 MINUTES 01 SECONDS WEST, ALONG A LINE BEING 1.0 FEET WEST OF AND PARALLEL TO THE WEST LINE OF THE EXISTING AMOCO 50 FOOT GAS LINE EASEMENT, 2075.99 FEET; THENCE NORTH 89 DEGREES 41 MINUTES 47 SECONDS EAST, PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 32, 857.03 FEET TO A POINT ON THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 32; THENCE NORTH, ALONG THE EAST LINE THEREOF, 2075.51 FEET TO THE POINT OF BEGINNING, ALL IN SECTION 32, TOWNSHIP 46, RANGE 32, IN CASS COUNTY, MISSOURI, EXCEPT THAT PART IN ROADS.

ALSO EXCEPT THAT PART CONVEYED TO D&P REALTY CO. LLC BY INSTRUMENT FILED SEPTEMBER 21, 2011 AS DOCUMENT NO. 484434 DESCRIBED AS FOLLOWS: A TRACT OF LAND IN SECTION 32, TOWNSHIP 46, RANGE 32 AND SECTION 5, TOWNSHIP 45, RANGE 32, IN THE CITY OF RAYMORE, CASS COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A 3-1/4 INCH ALUMINUM MONUMENT FOUND AT THE NORTHEAST CORNER OF SAID SECTION 5, STAMPED TO IDENTIFY THE CORNER, IN ACCORDANCE WITH DEPARTMENT OF NATURAL RESOURCES DOCUMENT NUMBER 600-69004; THENCE SOUTH 00 DEGREES 28 MINUTES 48 SECONDS EAST (THIS AND SUBSEQUENT BEARINGS ARE BASED UPON THE MISSOURI STATE PLANE, WEST ZONE, COORDINATE SYSTEM) ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 5, 1427.38 FEET TO A 1/2 INCH REINFORCING STEEL BAR WITH A 1 INCH PLASTIC CAP STAMPED "BRENIZER & ASSOC."; HEREINAFTER REFERRED TO AS A 1/2 INCH RSBC, SET ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 71; THENCE NORTH 23 DEGREES 16 MINUTES 03 SECONDS WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY NO. 71, 1561.79 FEET TO A 1/2 INCH RSBC SET; THENCE NORTH 11 DEGREES 57 MINUTES 27 SECONDS WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY NO. 71, 178.48 FEET TO A CHISELED PLUS SET IN THE CONCRETE BASE OF A HIGHWAY RIGHT-OF-WAY MARKER; THENCE NORTH 23 DEGREES 16 MINUTES 03 SECONDS WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY NO. 71, 690.62 FEET TO A 1/2 INCH RSBC SET; THENCE NORTH 24 DEGREES 42 MINUTES 38 SECONDS WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY NO. 71, 662.45 FEET TO A CHISELED PLUS SET IN THE CONCRETE BASE OF A HIGHWAY RIGHT-OF-WAY MARKER; THENCE NORTH 35 DEGREES 58 MINUTES 49 SECONDS WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY NO. 71, 119.64 FEET TO A 1/2 INCH RSBC SET; THENCE SOUTH 81 DEGREES 57 MINUTES 34 SECONDS EAST, 1353.76 FEET TO A 1/2 INCH REINFORCING STEEL BAR WITH A 1 INCH PLASTIC CAP FOUND (FACE OF CAP OBLITERATED) AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 32, THENCE SOUTH 02 DEGREES 31 MINUTES 51 SECONDS WEST ALONG THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 32, 1327.88 FEET TO A 3/8 INCH REINFORCING STEEL BAR FOUND AT THE SOUTHEAST CORNER OF SAID SECTION 32; THENCE NORTH 87 DEGREES 35 MINUTES 28 SECONDS WEST ALONG THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 32, 19.83 FEET TO THE POINT OF BEGINNING, LESS THAT PART IN ROADS.

TRACT 2:
PART OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 46, RANGE 32, IN CASS COUNTY, MISSOURI, DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF THE SAID QUARTER SECTION AND RUNNING SOUTH 89 DEGREES 41 MINUTES 01 SECONDS WEST, ALONG A LINE BEING 1.0 FEET WEST OF AND PARALLEL TO THE WEST LINE OF THE EXISTING AMOCO 50 FOOT GAS LINE EASEMENT, 2075.99 FEET; THENCE NORTH 89 DEGREES 41 MINUTES 47 SECONDS EAST, PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 32, 857.03 FEET TO A POINT ON THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 32; THENCE NORTH, ALONG THE EAST LINE THEREOF, 2075.51 FEET TO THE POINT OF BEGINNING, ALL IN SECTION 32, TOWNSHIP 46, RANGE 32, IN CASS COUNTY, MISSOURI, EXCEPT THAT PART IN ROADS.

THE ABOVE DESCRIPTION HAS BEEN TAKEN FROM AN ALTA COMMITMENT FOR TITLE INSURANCE, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT/FILE NO.: NCS-1079586-KCTY, DATED JULY 22, 2021.



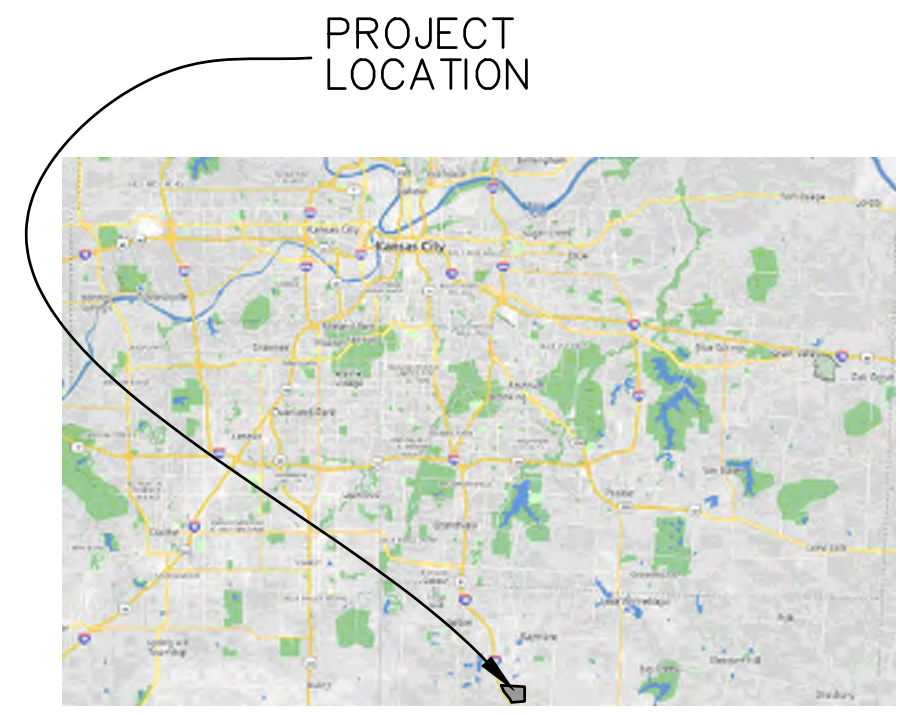
PROPOSED SITE USE:
LIGHT INDUSTRIAL/DISTRIBUTION/WAREHOUSING

PUD DATA
SITE AREA = 11,416,913 S.F.±
(262.09 ACRES±) *INCLUDES ROW

ZONING:
EXISTING ZONING = BUSINESS PARK
PROPOSED ZONING = PUD

SITE COVERAGE:
IMPERVIOUS = 54% (6,165,134 S.F.)
PERVIOUS = 46% (5,260,220 S.F.)

BUILDING SETBACKS
REAR: 20'
FRONT: 20'
SIDE: 10'



VICINITY MAP
NOT TO SCALE

BUILDING CSF:
2% OFFICE, 98% LIGHT INDUSTRIAL
PLAN SHOWN REFLECTS FULL BUILD-OUT, SEE ALSO SHEETS C-2 & C-3.

***REQUIRED PARKING RATIOS:**
LIGHT INDUSTRIAL W/OFFICE SPACE 1:2,500 SF

PARKING DATA

LIGHT INDUSTRIAL/DISTRIBUTION	LOT SIZE	LOT SIZE	BUILDING DIM^	BUILDING SIZE^	REQUIRED PARKING		PROVIDED		TOTALS
					VEHICLE PARKING	TRAILER STORAGE	VEHICLE PARKING	TRAILER STORAGE	
BUILDING A	1,698,414 SF±	39.99 AC±	570'x1060'	604,200 SF±	242	---	276	143	419
BUILDING B	2,268,032 SF±	52.07 AC±	620'x1250'	775,000 SF±	310	---	480	186	666
BUILDING C	2,971,746 SF±	68.22 AC±	620'x1720'	1,066,400 SF±	427	---	480	258	738
BUILDING D	955,442 SF±	21.93 AC±	300'x1050'	315,000 SF±	126	---	218	81	299
BUILDING E	1,114,503 SF±	25.59 AC±	300'x1050'	315,000 SF±	126	---	218	80	298
OFFSITE TRAILER STORAGE	964,324 SF±	22.14 AC±	---	---	---	---	---	268 (160 FUT.)	268
TOTALS:	9,972,461 SF±	229.94 AC±	---	3,075,600 SF±	1,231	---	1,672	1,176	2,688

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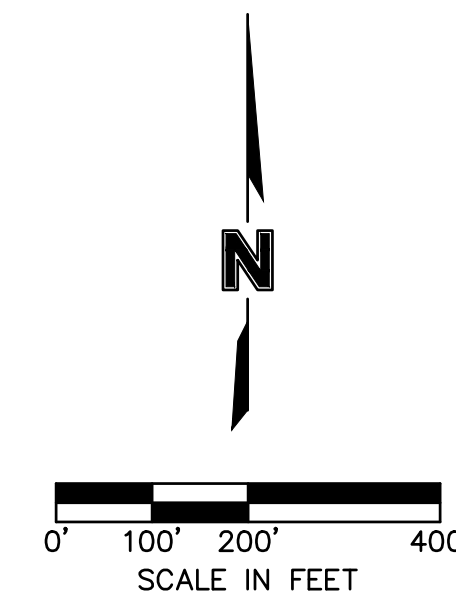
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LEGEND

- SECTION LINE _____
- EXISTING MODOT RIGHT-OF-WAY _____
- EXISTING CITY OF RAYMORE RIGHT-OF-WAY _____
- EXISTING OVERHEAD POWER _____ P-OH _____
- EXISTING COMMUNICATIONS LINE _____ TEL _____
- EXISTING SANITARY MAIN _____ SS _____
- EXISTING EASEMENT _____
- EXISTING FENCE _____ X _____
- EXISTING CHAIN LINK FENCE _____ O-O-O _____
- EXISTING VEG/TREE LINE _____
- EXISTING WATER WAY/POND _____
- EXISTING WATER MAIN _____ W _____



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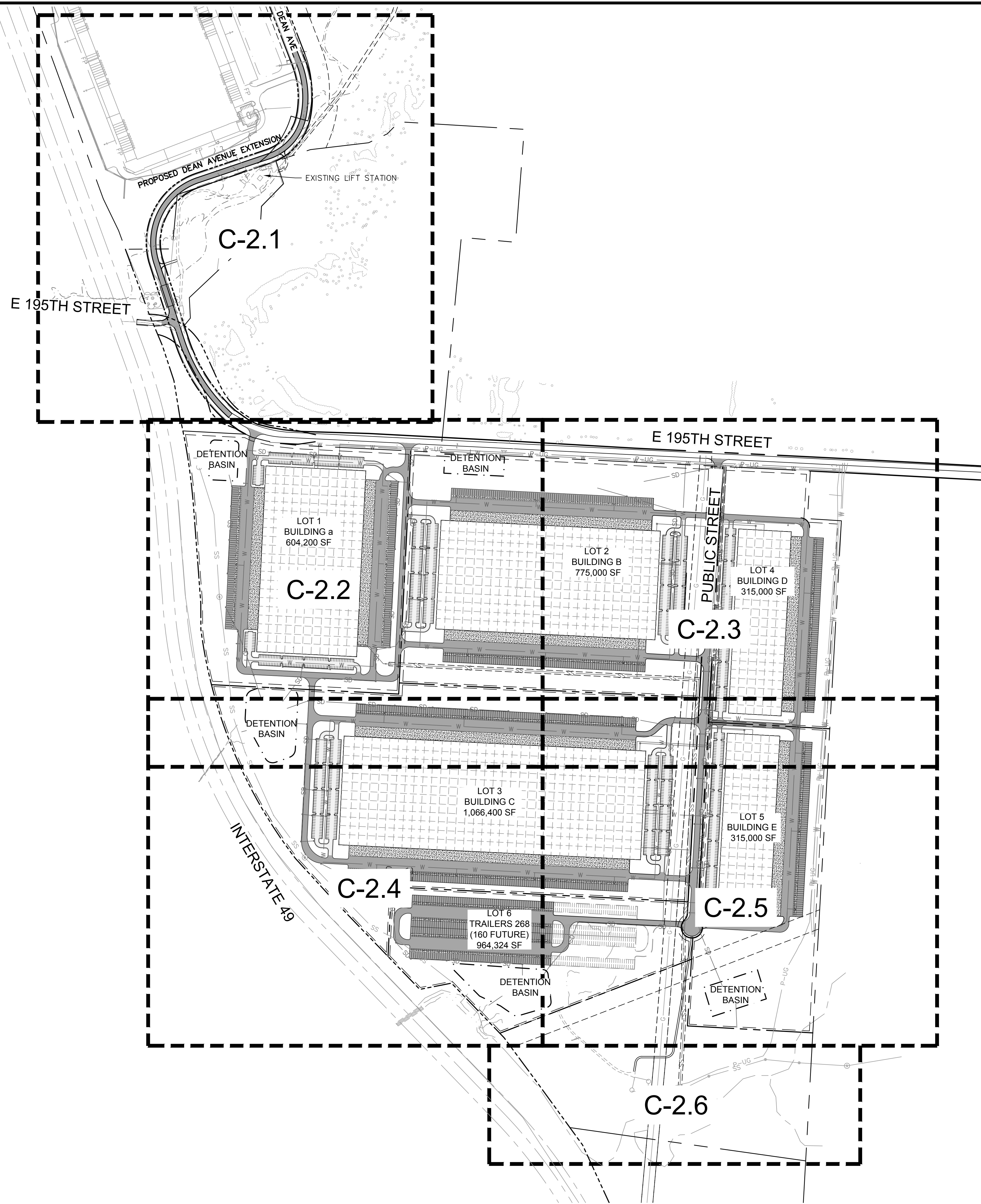
REV. NO.	DATE	REVISIONS DESCRIPTION	BY

RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
 EXISTING CONDITIONS

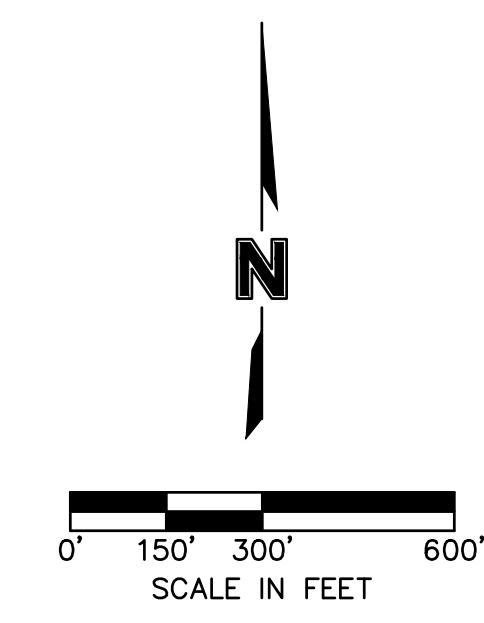
SHEET:
C-1.1

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LEGEND

- PROPERTY LINE
 - BUILDING SET-BACK
 - PUBLIC RIGHT-OF-WAY
 - SECTION LINE
 - PROPOSED WATER MAIN
 - PROPOSED SANITARY MAIN
 - PROPOSED STORM SEWER
 - PROPOSED UNDERGROUND POWER
 - PROPOSED RETAINING WALL
 - PROPOSED DETENTION BASIN
 - EXISTING SANITARY MAIN
 - UTILITY EASEMENT
 - EXISTING VEG/TREE LINE
 - EXISTING WATER WAY/POND
 - EXISTING POWER LINE
 - EXISTING WATER MAIN
 - EXISTING GAS MAIN
-
- PROPOSED CONCRETE
 - PROPOSED LIGHT DUTY ASPHALT
 - PROPOSED HEAVY DUTY ASPHALT



VanTrust
 REAL ESTATE LLC
 4900 Main St, Ste 400
 RAYMORE, MO 64112
 TEL: 913.881.1170

RAYMORE
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STATE OF MISSOURI
 PROFESSIONAL ENGINEER
 NUMBER: PE-201202879
 EXPIRES: 12-31-2023
 4-15-22

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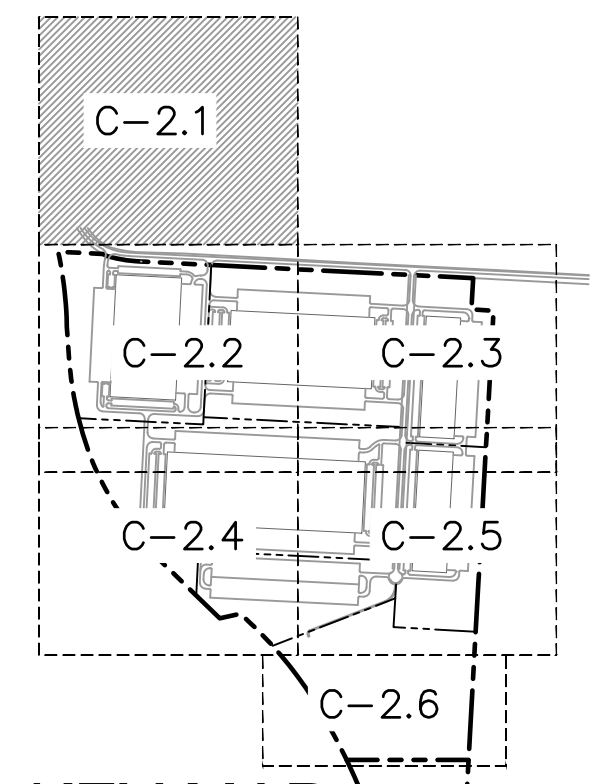
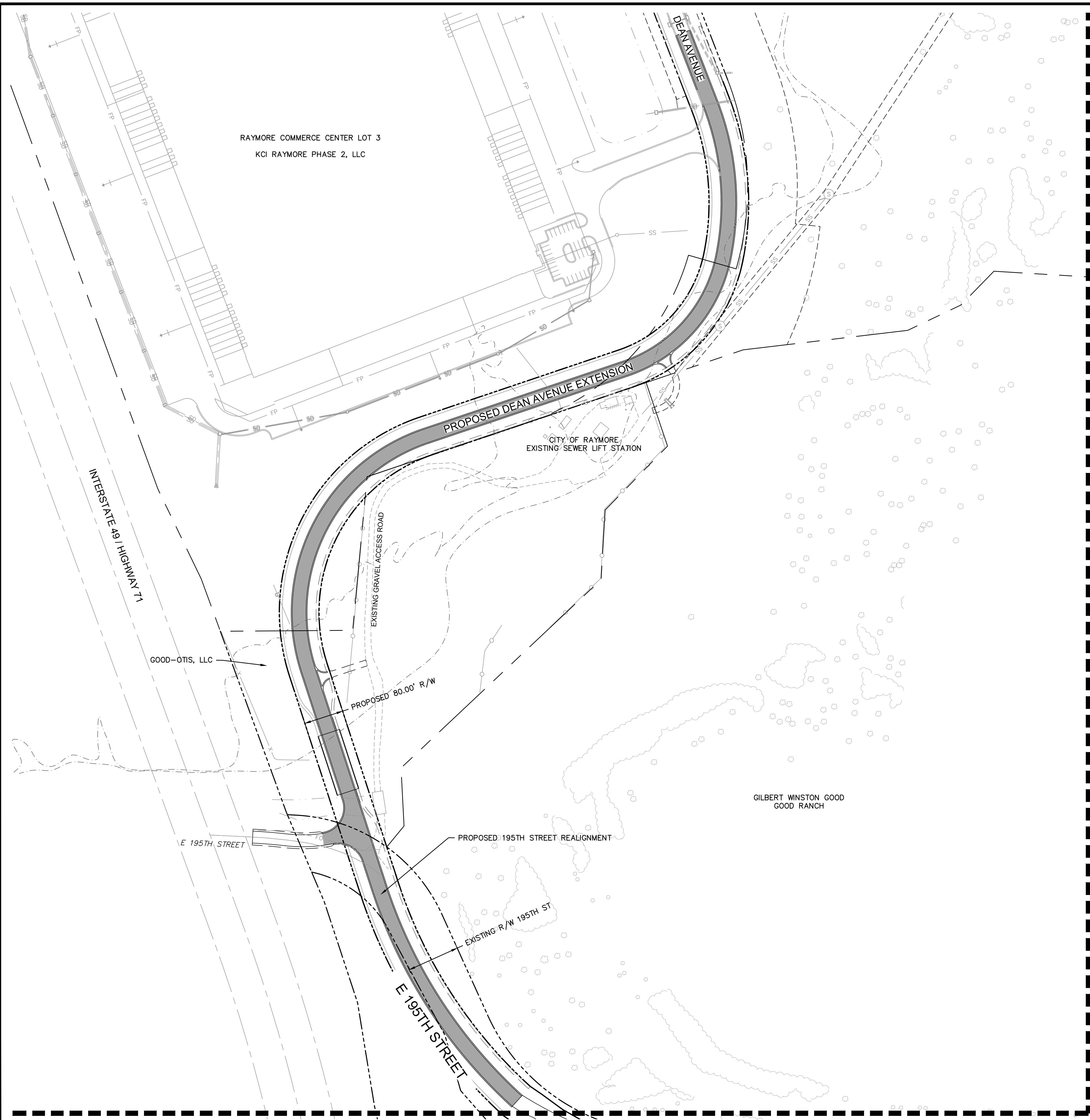
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 7301 West 133rd Street, Suite 200
 Overland Park, KS 66213-4750
 TEL: 913.381.1170 www.olsson.com

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
 OVERALL SITE PLAN
 SHEET:
C-2.0

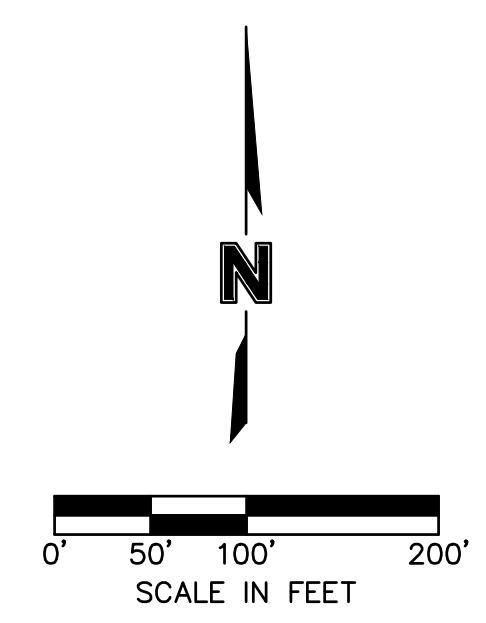
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KEY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
- BUILDING SET-BACK
- PUBLIC RIGHT-OF-WAY
- SECTION LINE
- PROPOSED WATER MAIN
- PROPOSED SANITARY MAIN
- PROPOSED STORM SEWER
- PROPOSED UNDERGROUND POWER
- PROPOSED RETAINING WALL
- PROPOSED DETENTION BASIN
- EXISTING SANITARY MAIN
- UTILITY EASEMENT
- EXISTING VEG/TREE LINE
- EXISTING WATER WAY/POND
- EXISTING POWER LINE
- EXISTING WATER MAIN
- EXISTING GAS MAIN
- TRAILER STORAGE COUNT (FULL BUILDOUT)
- CAR STALL COUNT (FULL BUILDOUT)
- PROPOSED FIRE HYDRANT
- PROPOSED CONCRETE
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT



MATCHLINE - SEE SHEET C2.2



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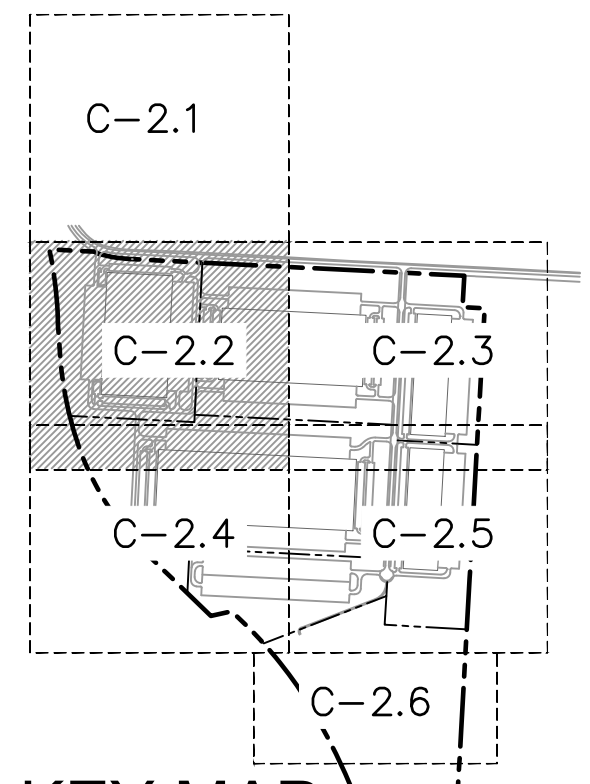
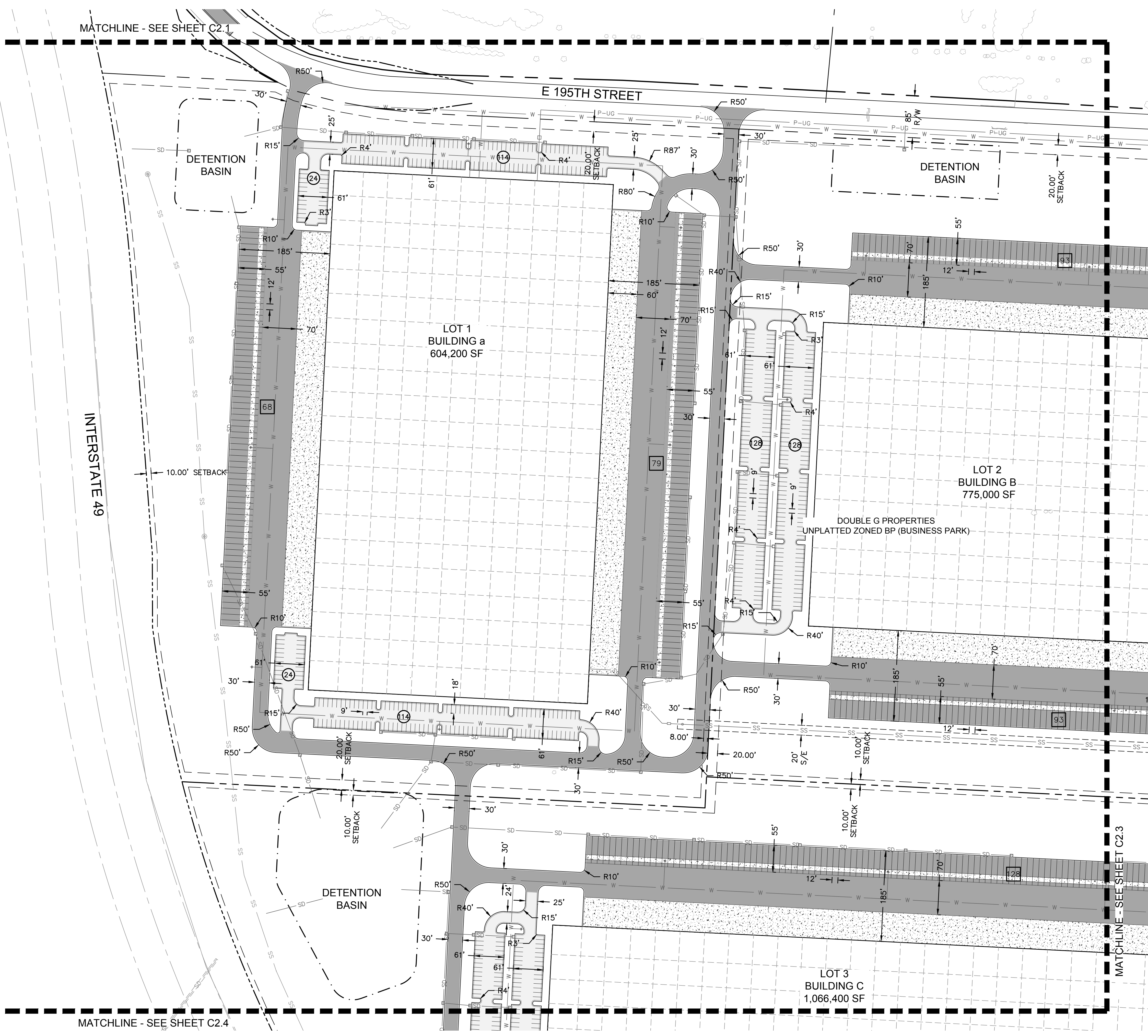
REV. NO.	DATE	DESCRIPTION	BY

RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
SITE PLAN

SHEET:
C-2.1

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LEGEND

PROPERTY LINE	---
BUILDING SET-BACK	- - - -
PUBLIC RIGHT-OF-WAY	---
SECTION LINE	---
PROPOSED WATER MAIN	W
PROPOSED SANITARY MAIN	SS
PROPOSED STORM SEWER	SD
PROPOSED UNDERGROUND POWER	P-UG
PROPOSED RETAINING WALL	---
PROPOSED DETENTION BASIN	---
EXISTING SANITARY MAIN	SS
UTILITY EASEMENT	---
EXISTING VEG/TREE LINE	---
EXISTING WATER WAY/POND	---
EXISTING POWER LINE	P-UG
EXISTING WATER MAIN	W
EXISTING GAS MAIN	SS
TRAILER STORAGE COUNT (FULL BUILDOUT)	20
CAR STALL COUNT (FULL BUILDOUT)	20
PROPOSED FIRE HYDRANT	●
PROPOSED CONCRETE	[Pattern]
PROPOSED LIGHT DUTY ASPHALT	[Pattern]
PROPOSED HEAVY DUTY ASPHALT	[Pattern]
TYPICAL CAR PARKING STALL	[Diagram]
TYPICAL TRAILER STORAGE	[Diagram]

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STATE OF MISSOURI
 MISSOURI PROFESSIONAL ENGINEER
 NUMBER: PE-201202879
 EXPIRES: 12-31-2024
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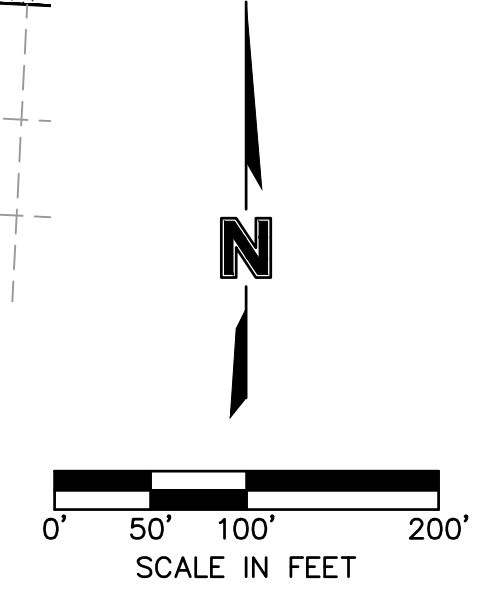
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 7301 West 133rd Street, Suite 200
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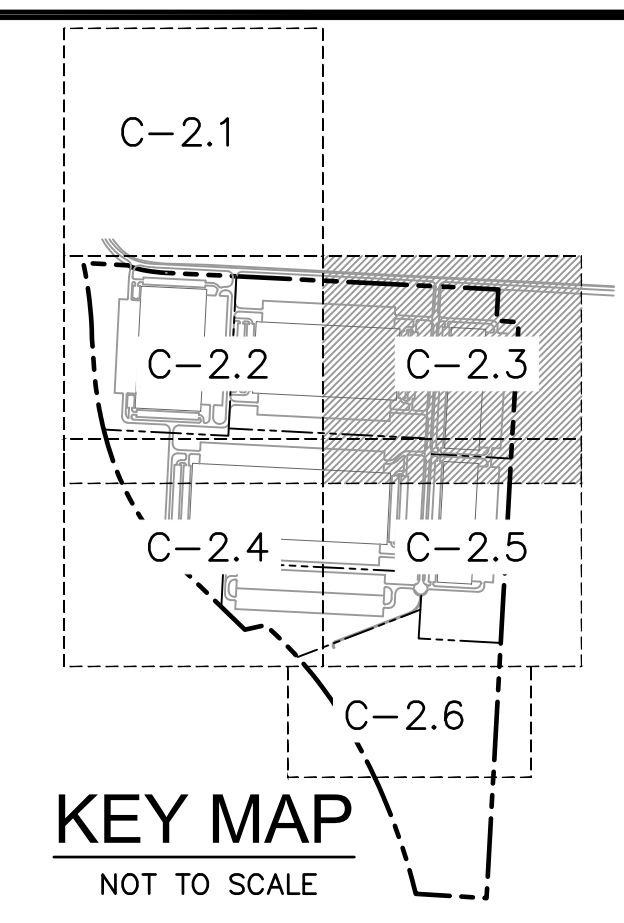
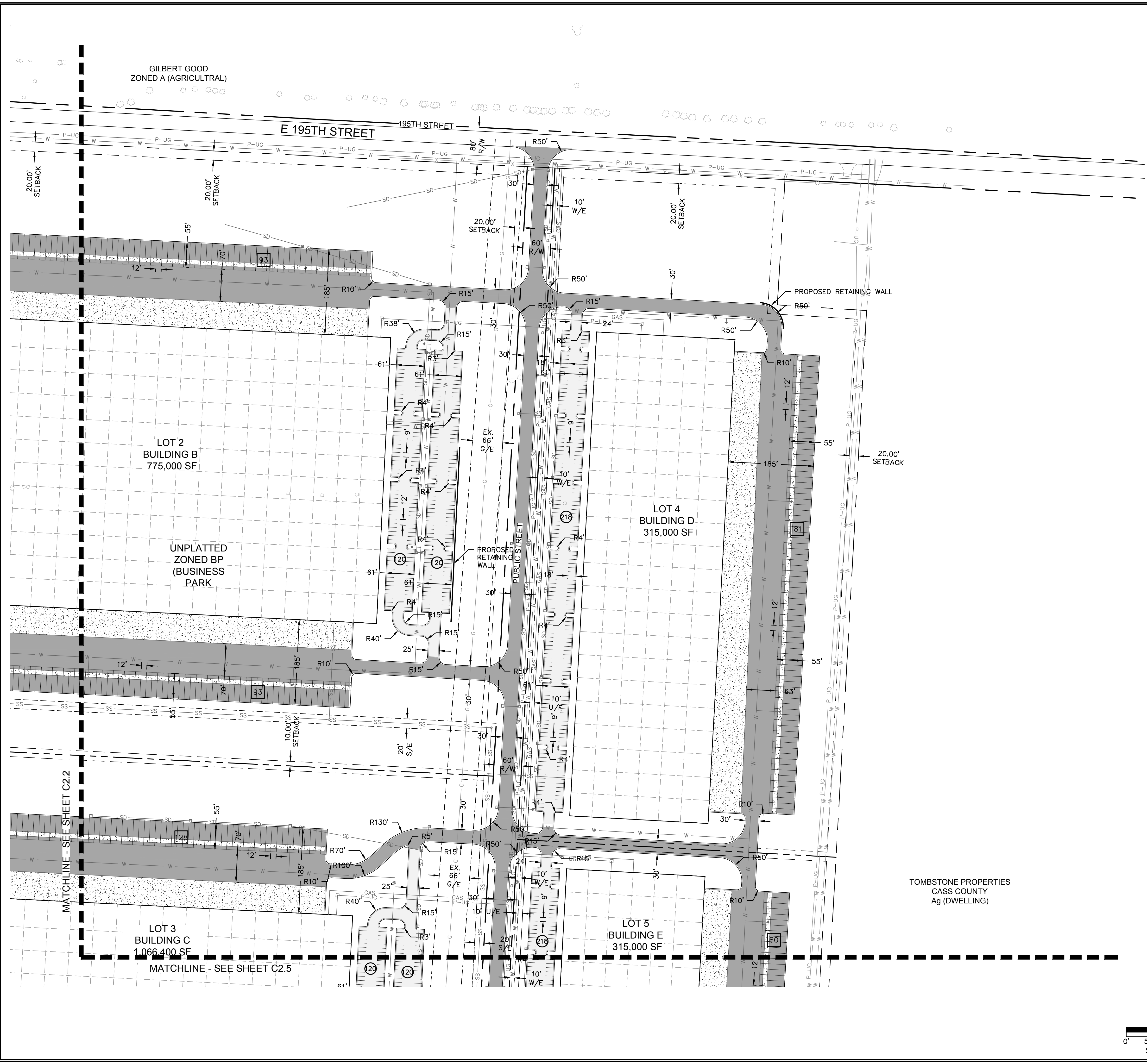
REV. NO.	DATE	DESCRIPTION	BY

RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
SITE PLAN
 SHEET:
C-2.2

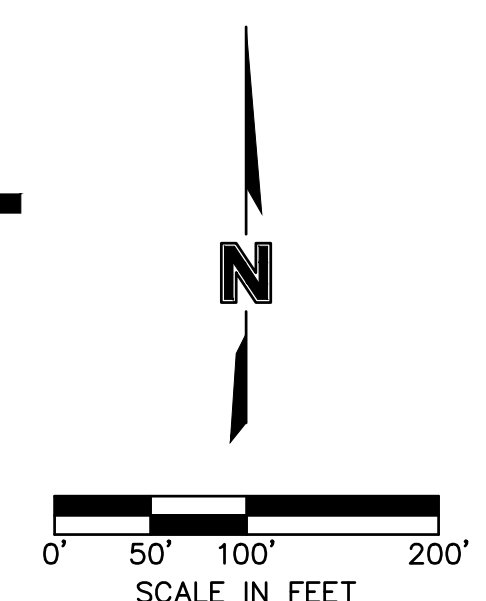


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 USER: msolson



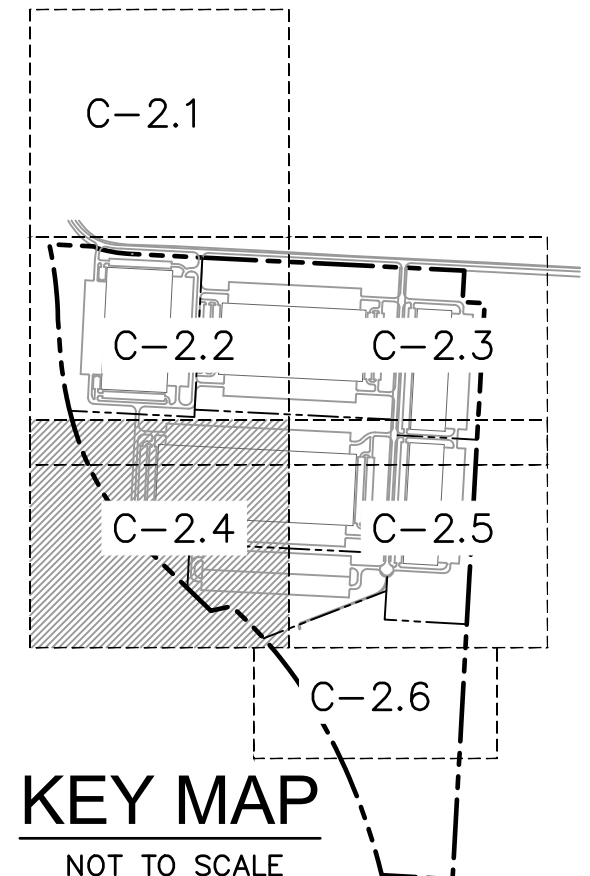
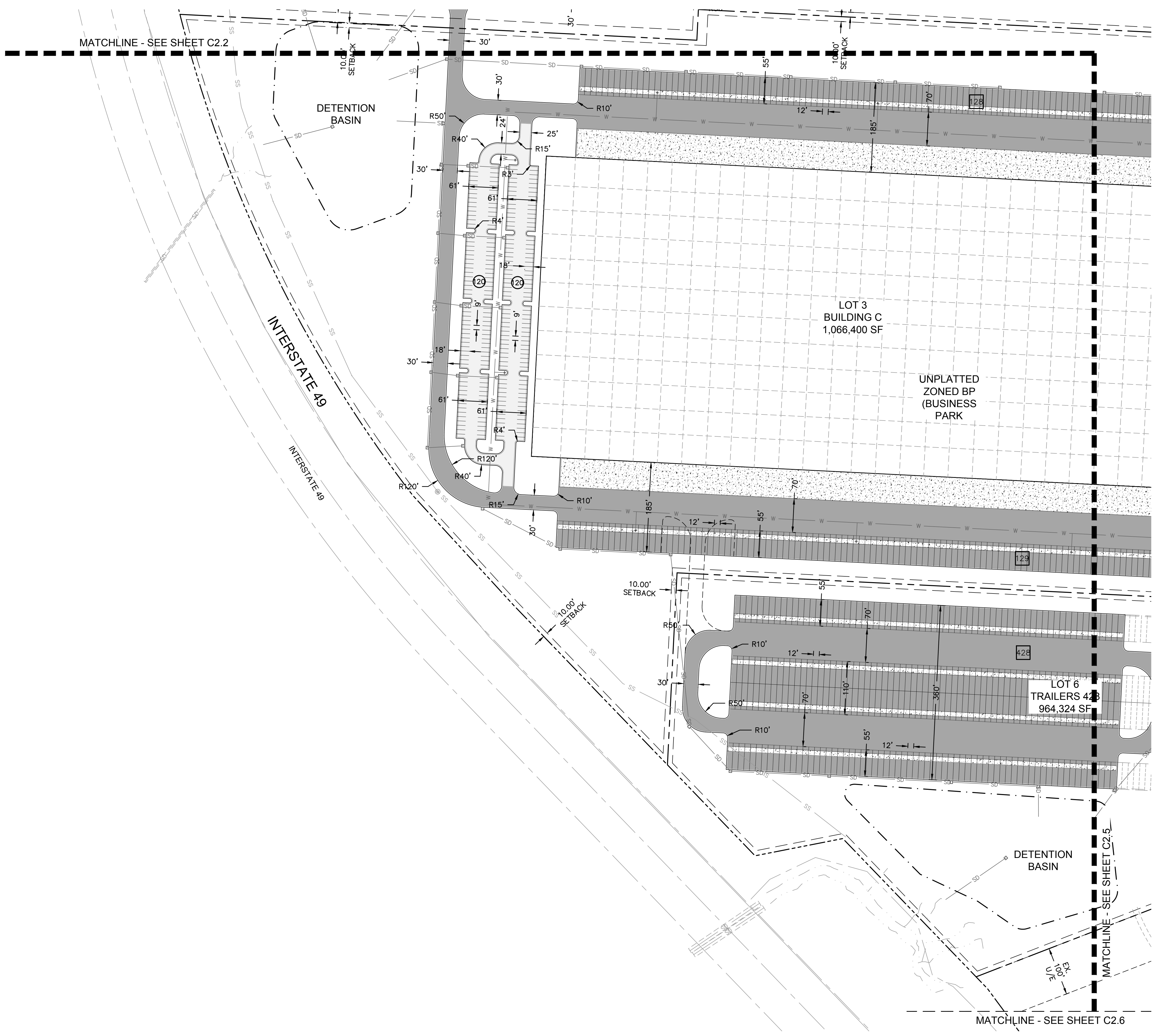
LEGEND

PROPERTY LINE	---
BUILDING SET-BACK	---
PUBLIC RIGHT-OF-WAY	---
SECTION LINE	---
PROPOSED WATER MAIN	W
PROPOSED SANITARY MAIN	SS
PROPOSED STORM SEWER	SD
PROPOSED UNDERGROUND POWER	P-UG
PROPOSED RETAINING WALL	---
PROPOSED DETENTION BASIN	---
EXISTING SANITARY MAIN	SS
UTILITY EASEMENT	---
EXISTING VEG/TREE LINE	---
EXISTING WATER WAY/POND	---
EXISTING POWER LINE	P-UG
EXISTING WATER MAIN	W
EXISTING GAS MAIN	SS
TRAILER STORAGE COUNT (FUTURE)	20
CAR STALL COUNT (FULL BUILDOUT)	20
PROPOSED FIRE HYDRANT	●
PROPOSED CONCRETE	[Pattern]
PROPOSED LIGHT DUTY ASPHALT	[Pattern]
PROPOSED HEAVY DUTY ASPHALT	[Pattern]
TYPICAL CAR PARKING STALL	[Diagram]
TYPICAL TRAILER STORAGE	[Diagram]



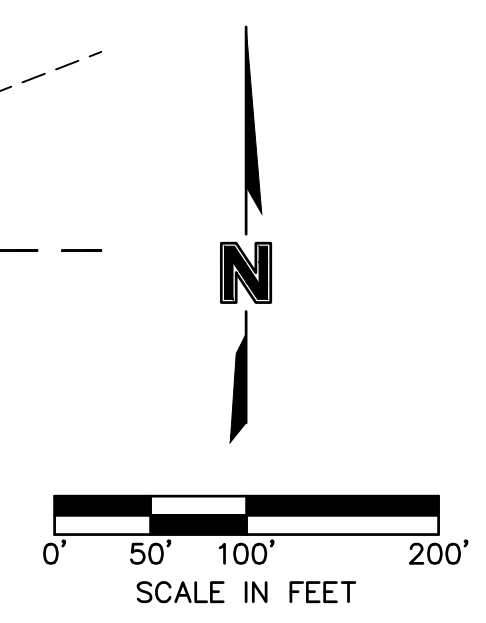
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LEGEND

PROPERTY LINE	---
BUILDING SET-BACK	- - - - -
PUBLIC RIGHT-OF-WAY	=====
SECTION LINE	-----
PROPOSED WATER MAIN	— W —
PROPOSED SANITARY MAIN	— SS —
PROPOSED STORM SEWER	— SD — SD —
PROPOSED UNDERGROUND POWER	— P-UG —
PROPOSED RETAINING WALL	=====
PROPOSED DETENTION BASIN	-----
EXISTING SANITARY MAIN	— SS —
UTILITY EASEMENT	-----
EXISTING VEG/TREE LINE	~~~~~
EXISTING WATER WAY/POND	-----
EXISTING POWER LINE	— P-UG —
EXISTING WATER MAIN	— W —
EXISTING GAS MAIN	— SS —
TRAILER STORAGE COUNT (FUTURE)	20
CAR STALL COUNT (FULL BUILDOUT)	20
PROPOSED FIRE HYDRANT	●
PROPOSED CONCRETE	[Pattern]
PROPOSED LIGHT DUTY ASPHALT	[Pattern]
PROPOSED HEAVY DUTY ASPHALT	[Pattern]
TYPICAL CAR PARKING STALL	[Diagram]
TYPICAL TRAILER STORAGE	[Diagram]



490 Main St. Ste 400
Raymore, MO 64112
Tel: 641-661-1401

RAYMORE, MO 64112
PROJECT NUMBER: 021-5673
SUBMITTAL DATE: APRIL 15, 2022

Professional Engineer
J. Olsson
4-15-2022

olsson

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7301 West 133rd Street, Suite 200
Overland Park, KS 66213-4750 TEL 913.381.1170 www.olsson.com

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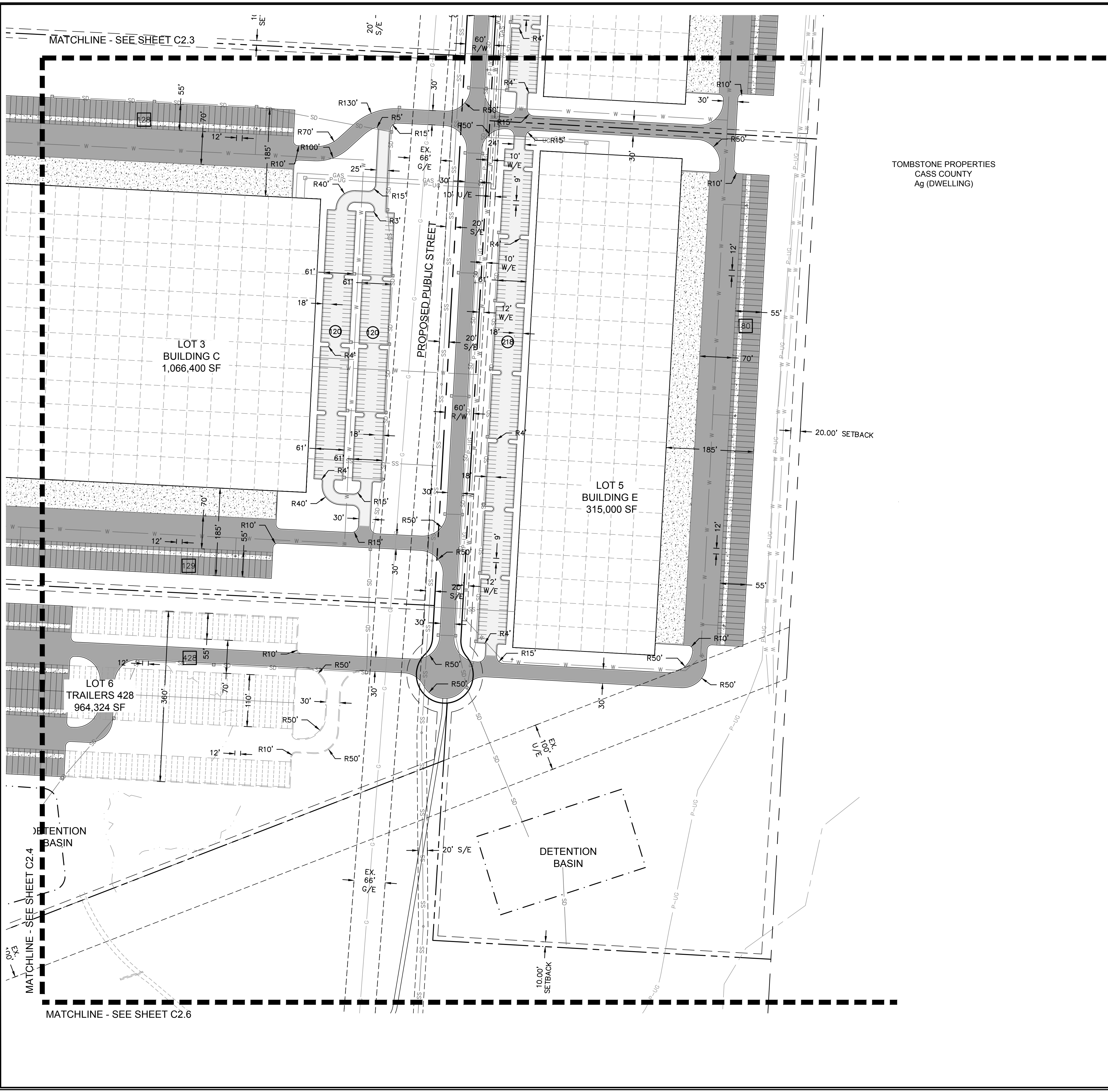
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PRELIMINARY DEVELOPMENT PLANS

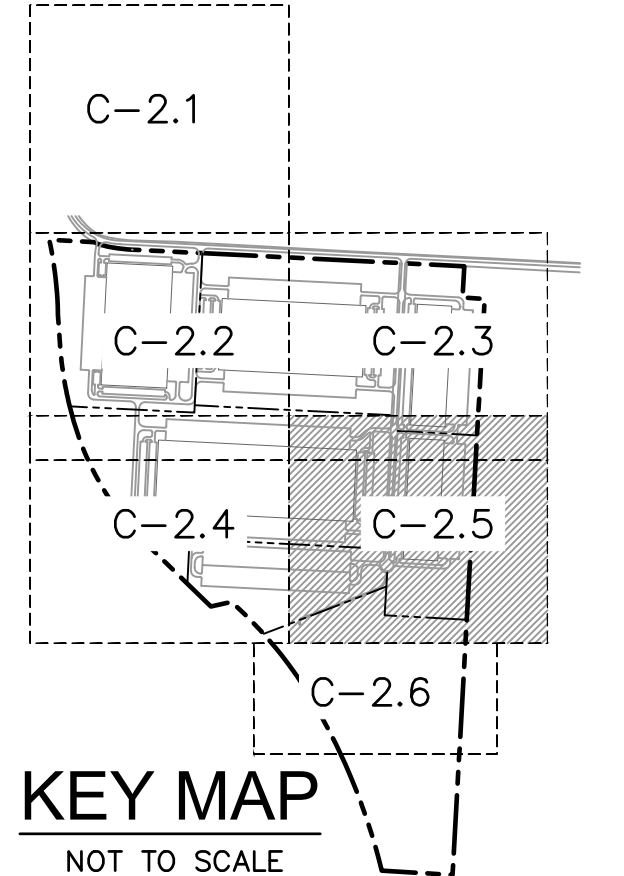
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SHEET: **C-2.4**

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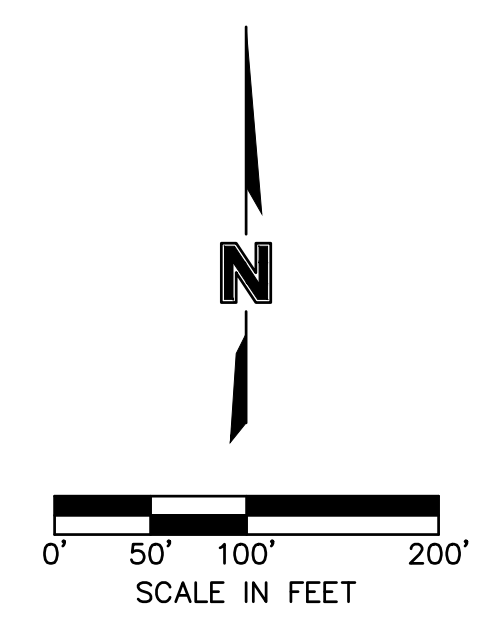
TOMBSTONE PROPERTIES
 CASS COUNTY
 Ag (DWELLING)



KEY MAP
 NOT TO SCALE

LEGEND

PROPERTY LINE	---
BUILDING SET-BACK	---
PUBLIC RIGHT-OF-WAY	---
SECTION LINE	---
PROPOSED WATER MAIN	W
PROPOSED SANITARY MAIN	SS
PROPOSED STORM SEWER	SD
PROPOSED UNDERGROUND POWER	P-UG
PROPOSED RETAINING WALL	---
PROPOSED DETENTION BASIN	---
EXISTING SANITARY MAIN	SS
UTILITY EASEMENT	---
EXISTING VEG/TREE LINE	---
EXISTING WATER WAY/POND	---
EXISTING POWER LINE	P-UG
EXISTING WATER MAIN	W
EXISTING GAS MAIN	SS
TRAILER STORAGE COUNT (FUTURE)	20
CAR STALL COUNT (FULL BUILDOUT)	20
PROPOSED FIRE HYDRANT	●
PROPOSED CONCRETE	[Pattern]
PROPOSED LIGHT DUTY ASPHALT	[Pattern]
PROPOSED HEAVY DUTY ASPHALT	[Pattern]
TYPICAL CAR PARKING STALL	[Diagram]
TYPICAL TRAILER STORAGE	[Diagram]



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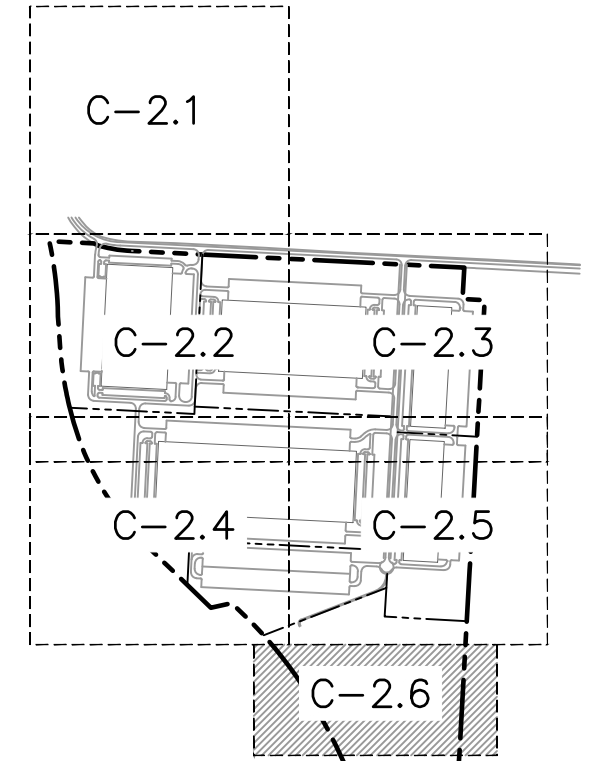
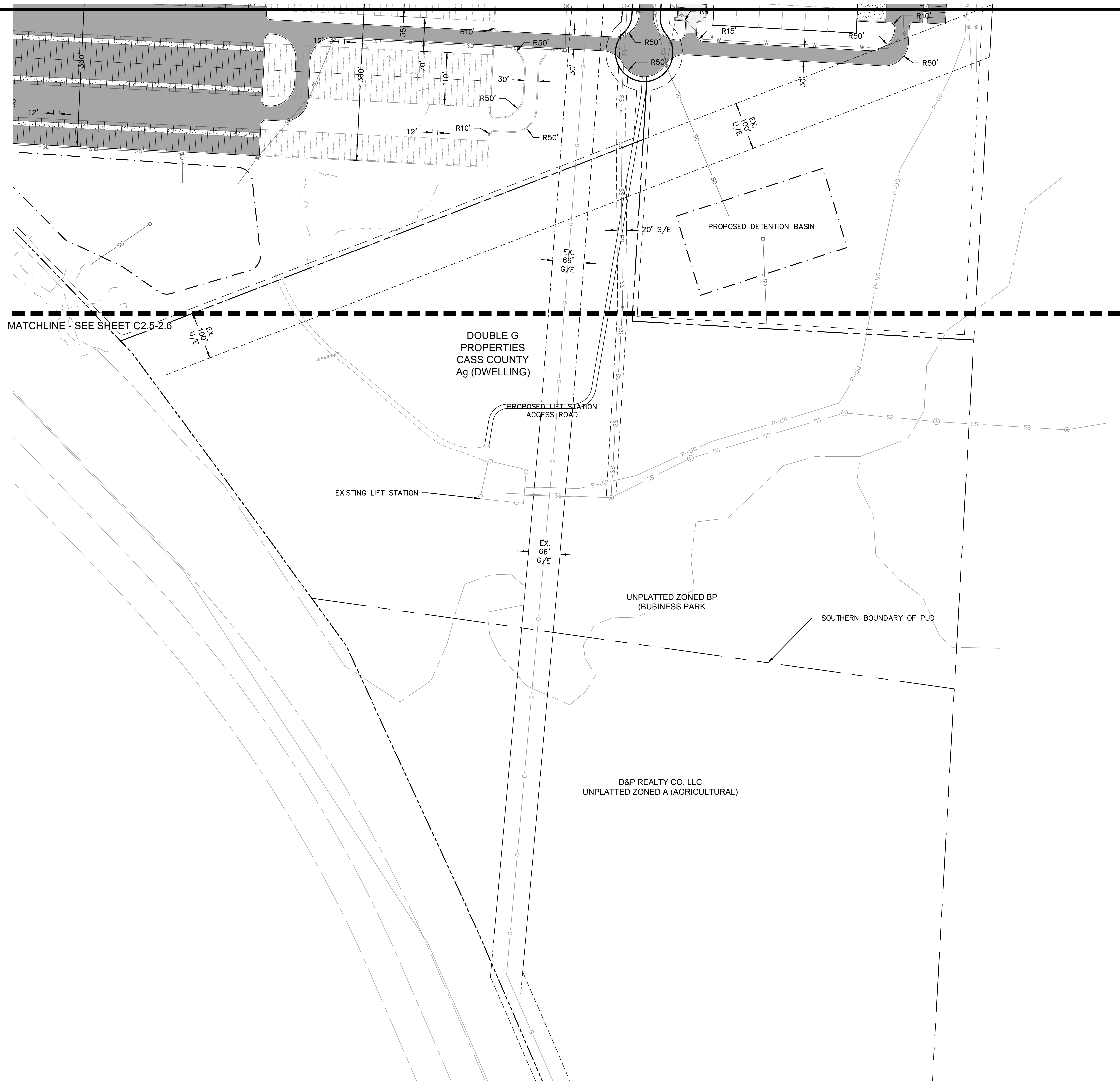
REV. NO.	DATE	REVISIONS DESCRIPTION	BY

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 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
 SITE PLAN

SHEET:
C-2.5

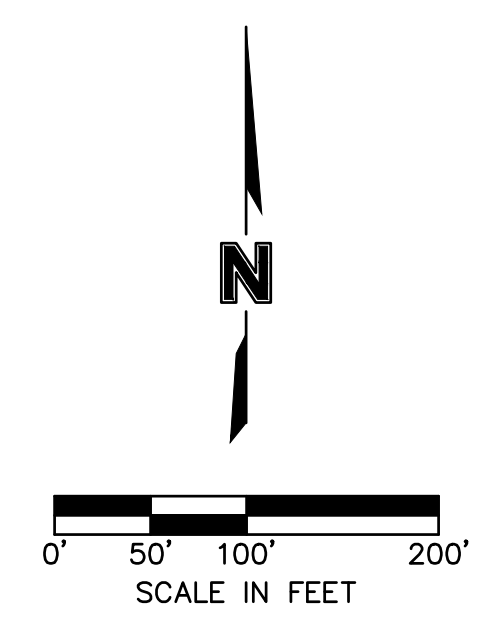
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KEY MAP
NOT TO SCALE

LEGEND

PROPERTY LINE	---
BUILDING SET-BACK	----
PUBLIC RIGHT-OF-WAY	-----
SECTION LINE	-----
PROPOSED WATER MAIN	— W —
PROPOSED SANITARY MAIN	— SS —
PROPOSED STORM SEWER	— SD — SD —
PROPOSED UNDERGROUND POWER	— P-UG —
PROPOSED RETAINING WALL	=====
PROPOSED DETENTION BASIN	-----
EXISTING SANITARY MAIN	— SS —
UTILITY EASEMENT	-----
EXISTING VEG/TREE LINE	~~~~~
EXISTING WATER WAY/POND	-----
EXISTING POWER LINE	— P-UG —
EXISTING WATER MAIN	— W —
EXISTING GAS MAIN	— SS —
TRAILER STORAGE COUNT (FUTURE)	20
CAR STALL COUNT (FULL BUILDOUT)	20
PROPOSED FIRE HYDRANT	●
PROPOSED CONCRETE	[Pattern]
PROPOSED LIGHT DUTY ASPHALT	[Pattern]
PROPOSED HEAVY DUTY ASPHALT	[Pattern]
TYPICAL CAR PARKING STALL	[Diagram: 25.00' x 18.00' x 9.00']
TYPICAL TRAILER STORAGE	[Diagram: 55' x 12']



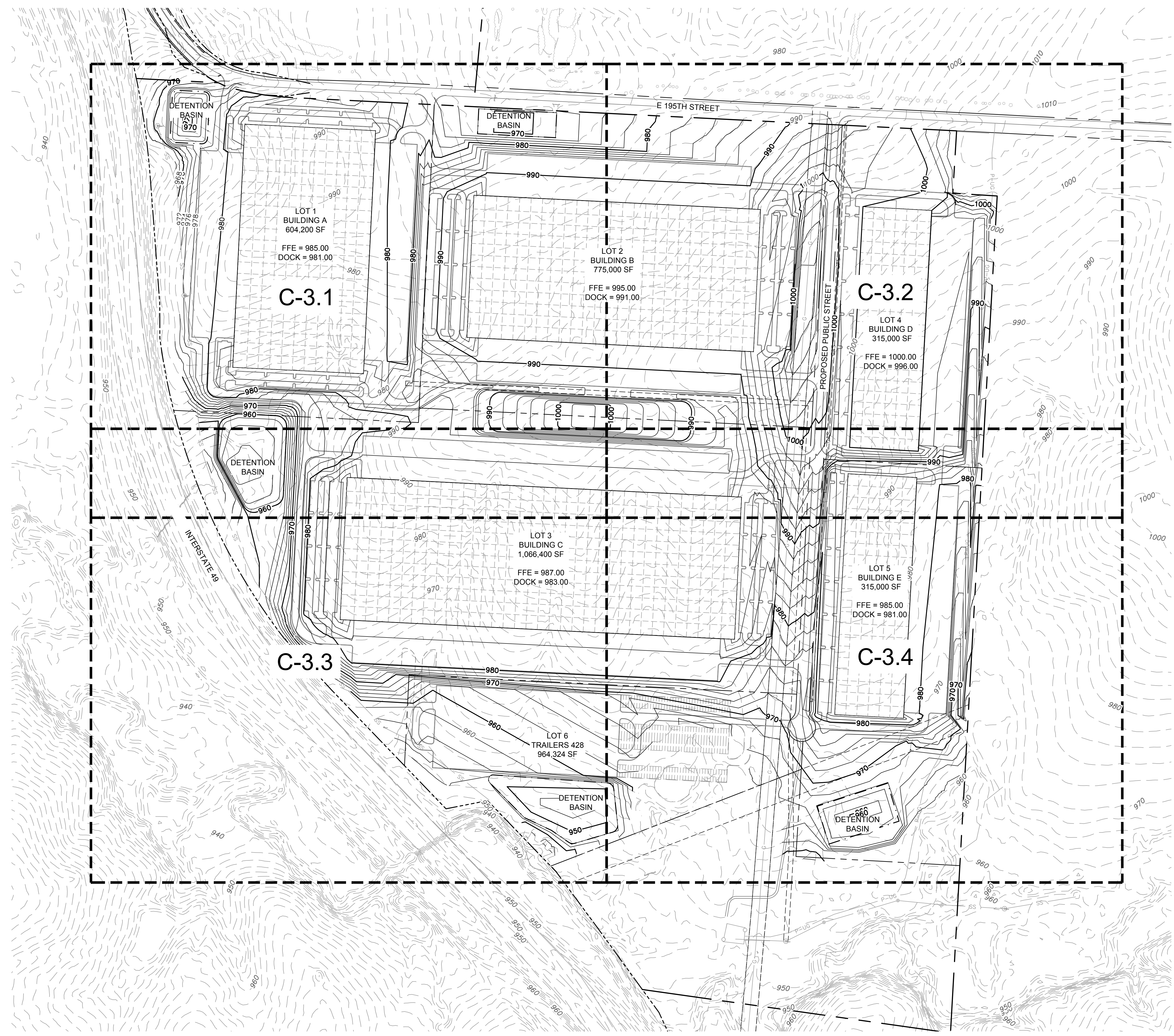
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 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

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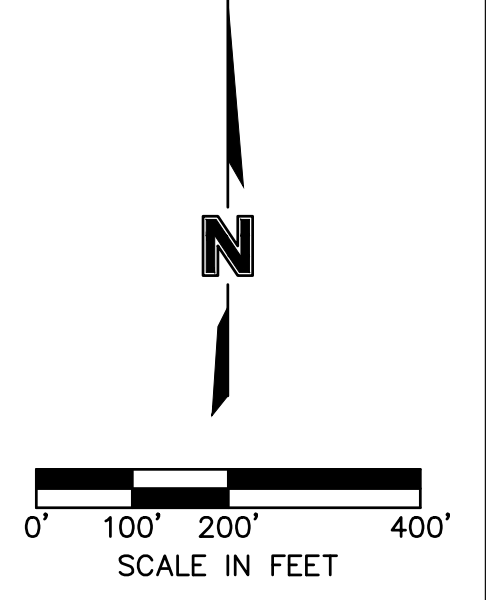
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LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RETAINING WALL
- SECTION LINE
- PUBLIC RIGHT-OF-WAY
- UTILITY EASEMENT



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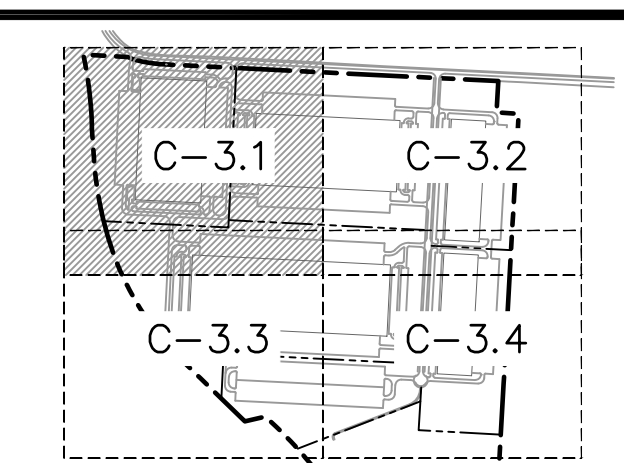
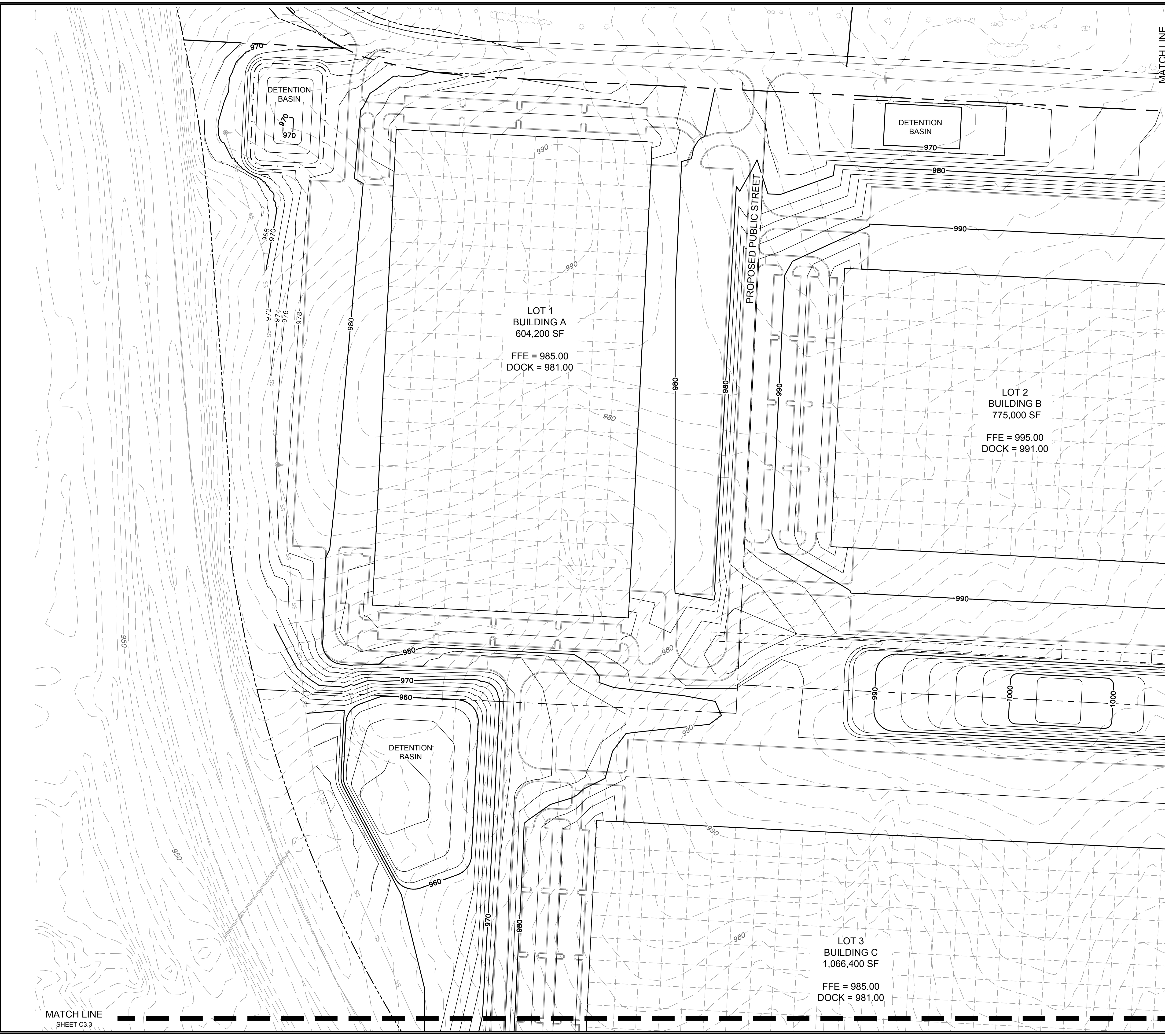
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REV. NO.	DATE	REVISIONS DESCRIPTION	BY

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 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
 OVERALL GRADING PLAN
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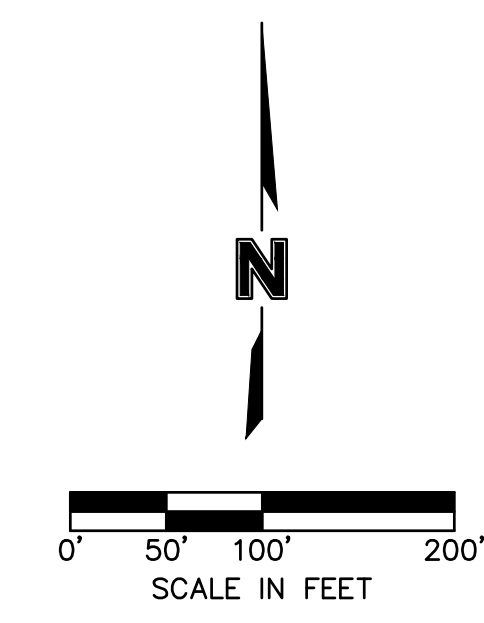
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KEY MAP
NOT TO SCALE

LEGEND

PROPERTY LINE	---
EXISTING CONTOUR	-1000-
PROPOSED CONTOUR	—1000—
PROPOSED RETAINING WALL	—
SECTION LINE	---
PUBLIC RIGHT-OF-WAY	---
UTILITY EASEMENT	---



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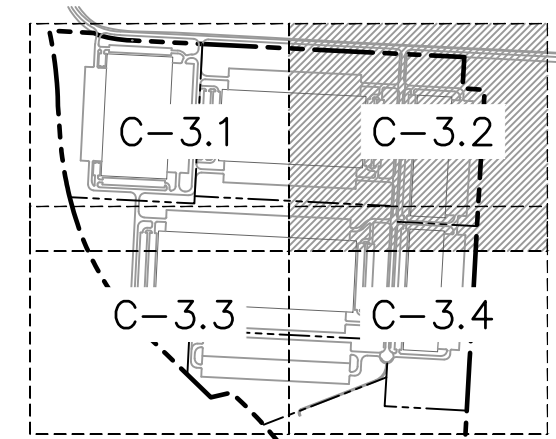
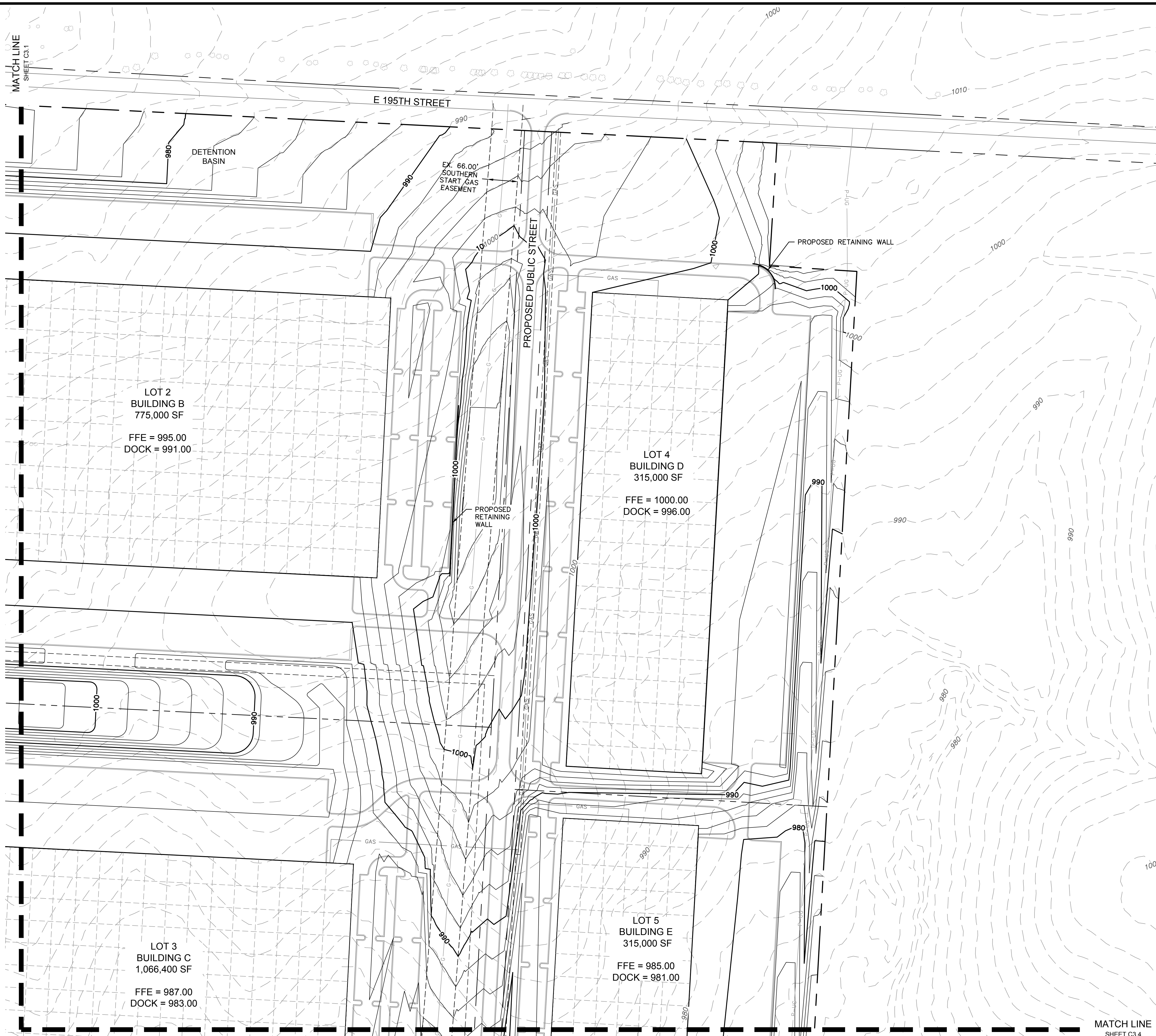
REV. NO.	DATE	REVISIONS DESCRIPTION	BY

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 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
GRADING PLAN

SHEET:
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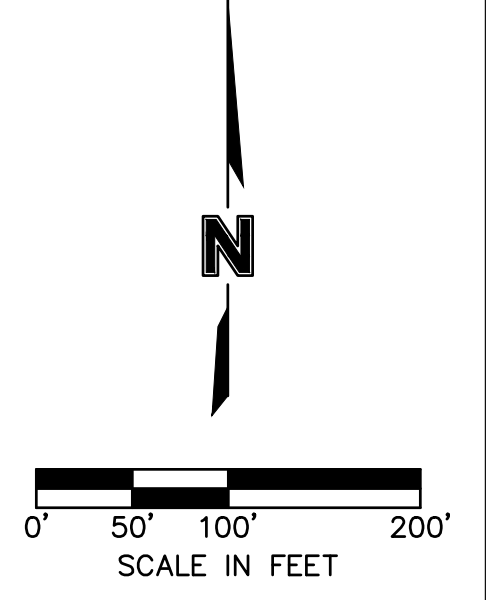
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 USER: msolson



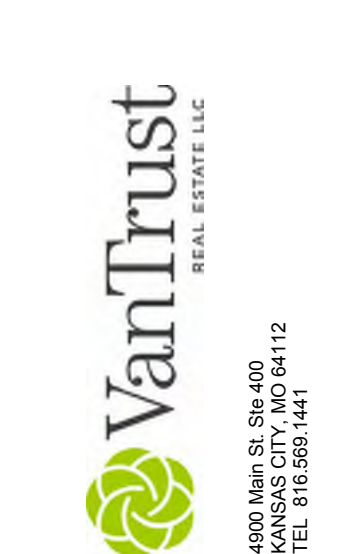
KEY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RETAINING WALL
- SECTION LINE
- PUBLIC RIGHT-OF-WAY
- UTILITY EASEMENT



MATCH LINE
SHEET C3.4



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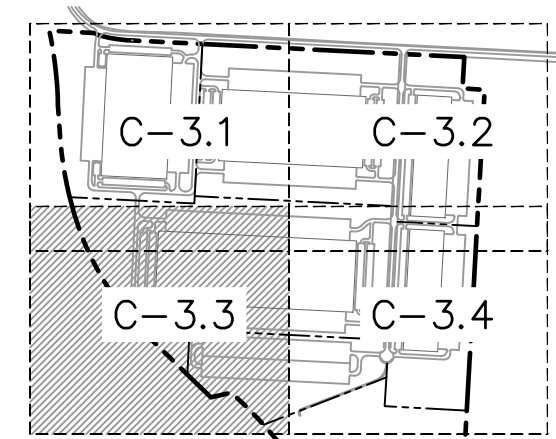
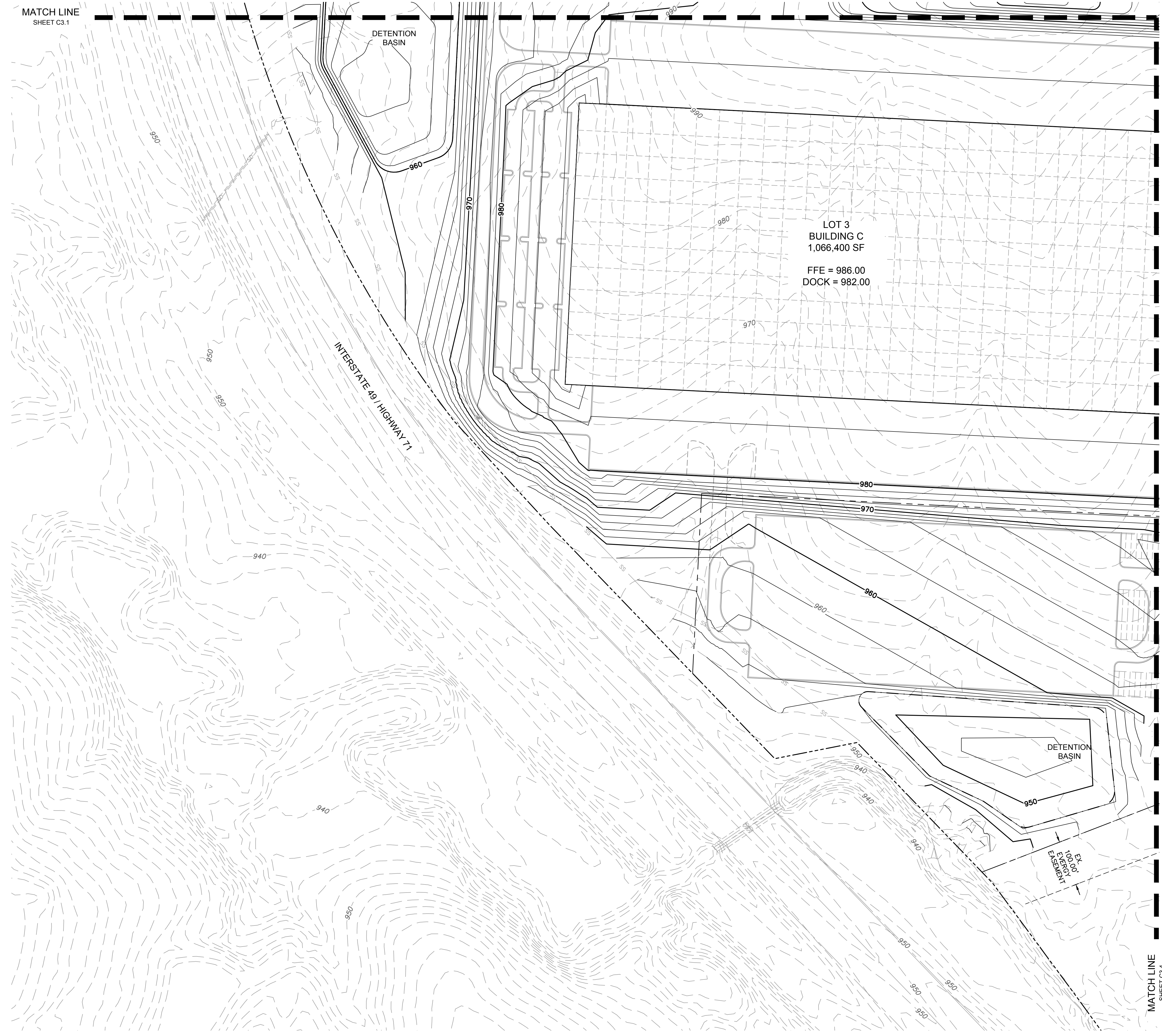
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RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
 GRADING PLAN
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C-3.2

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MATCH LINE
SHEET C3.1



KEY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RETAINING WALL
- SECTION LINE
- PUBLIC RIGHT-OF-WAY
- UTILITY EASEMENT



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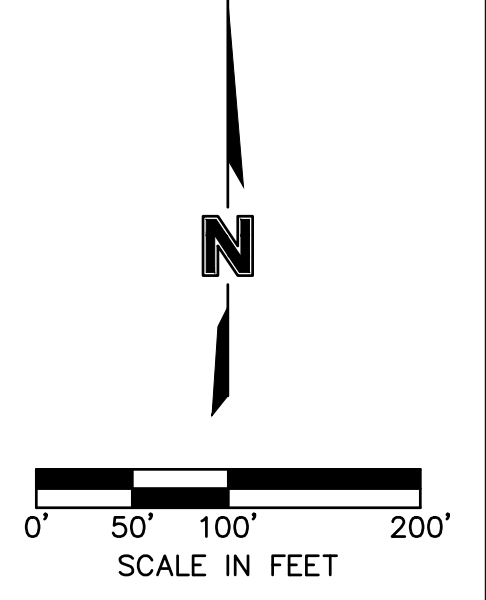
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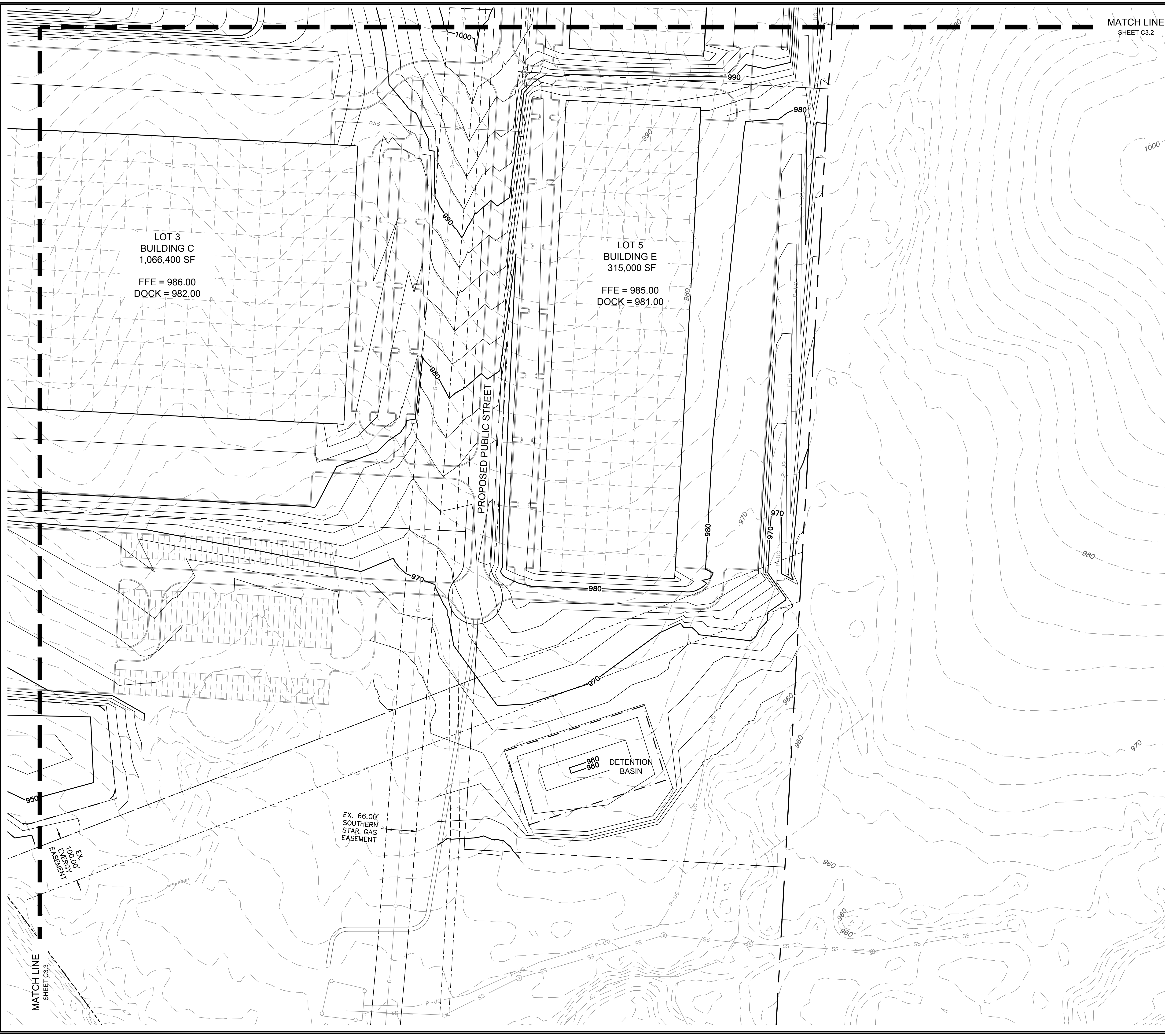
RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

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GRADING PLAN

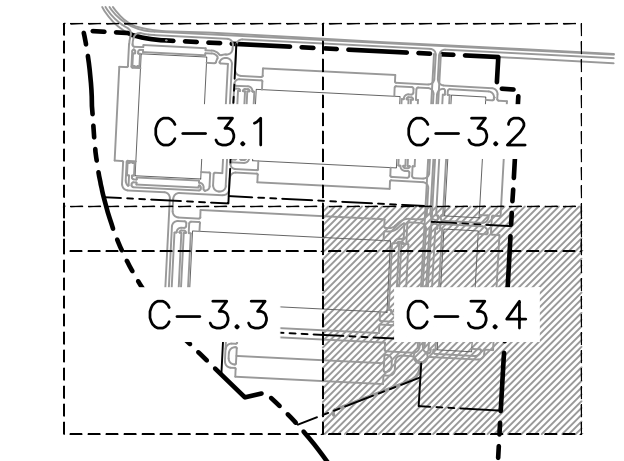
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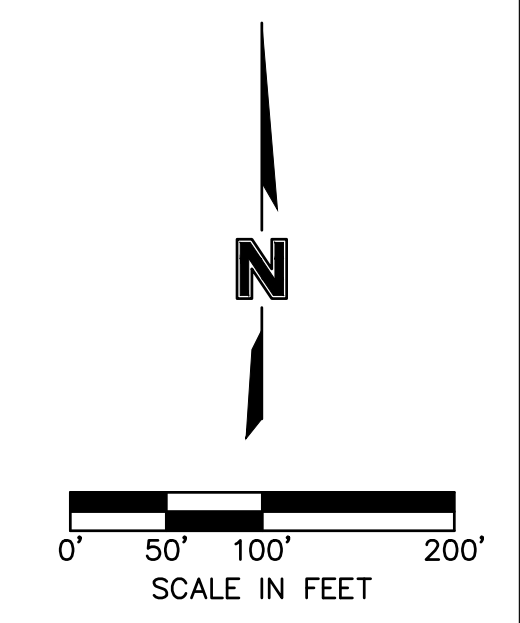
MATCH LINE SHEET C3.2



KEY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RETAINING WALL
- SECTION LINE
- PUBLIC RIGHT-OF-WAY
- UTILITY EASEMENT



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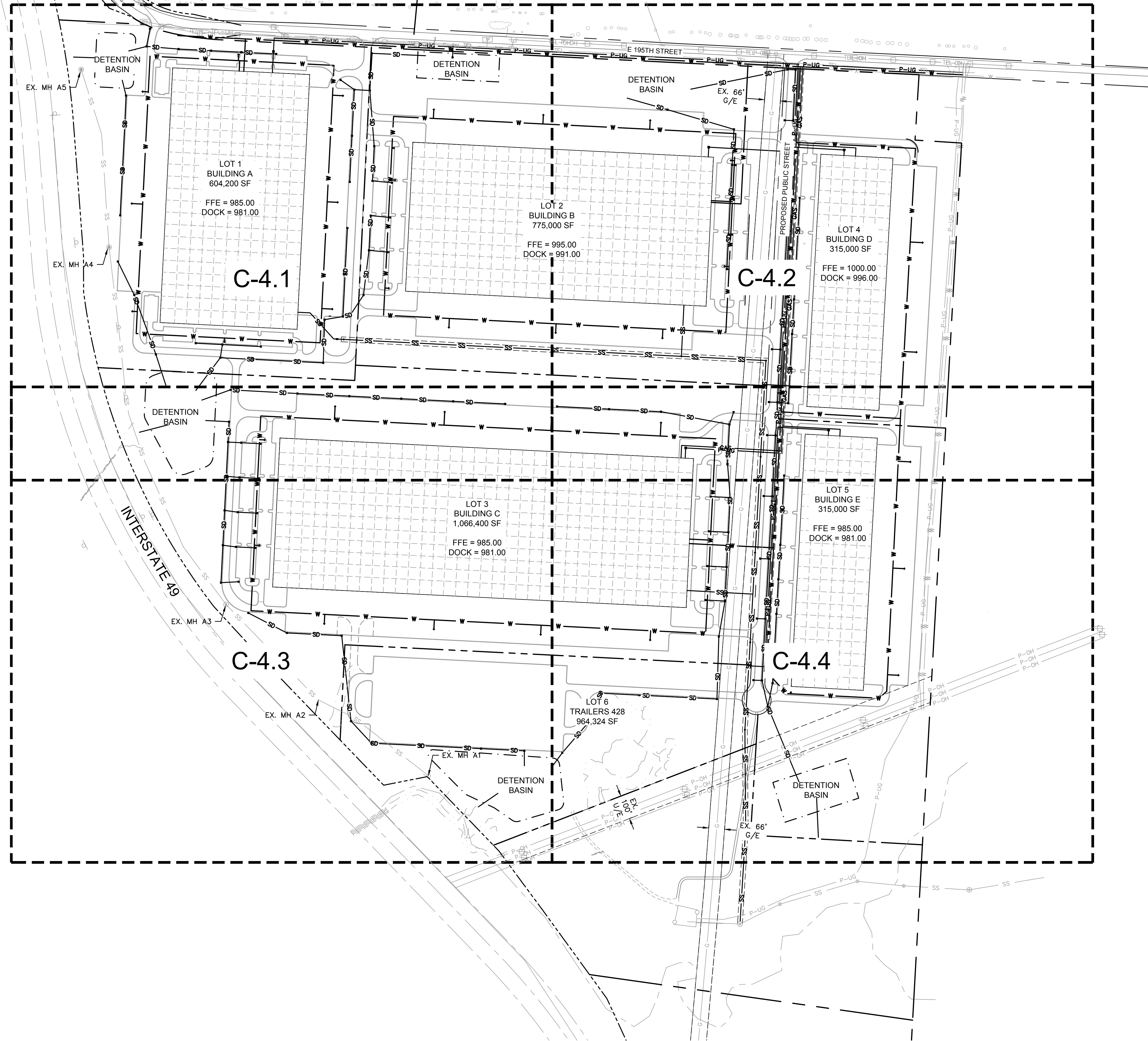
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 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
GRADING PLAN

SHEET:
C-3.4

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 DATE: Apr 14, 2022 2:07pm XREFS: C_PBASE_02105673 C_TTLBLK_02105673 C_XTOPO_02105673
 USER: msolson



LEGEND

---	PROPERTY LINE
---	EXISTING UTILITY EASEMENT
SS	EXISTING SANITARY SERVICE MAIN
W	EXISTING WATER MAIN
G	EXISTING GAS MAIN
P-UG	EXISTING UNDERGROUND POWER
SS	PROPOSED SANITARY SERVICE LINE
W	PROPOSED WATER SERVICE LINE
P-UG	PROPOSED UNDERGROUND POWER SERVICE LINE
FP	PROPOSED FIRE PROTECTION LINE
COMM	PROPOSED COMMUNICATIONS SERVICE LINE
SD	PROPOSED STORM SEWER
G	PROPOSED GAS LINE
□	PROPOSED LIGHT POLE, SEE LIGHTING PLANS

VanTrust
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 TEL: 816.868.1401

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STATE OF MISSOURI
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 NUMBER
 PS-201202879
 EXPIRES
 4-15-22

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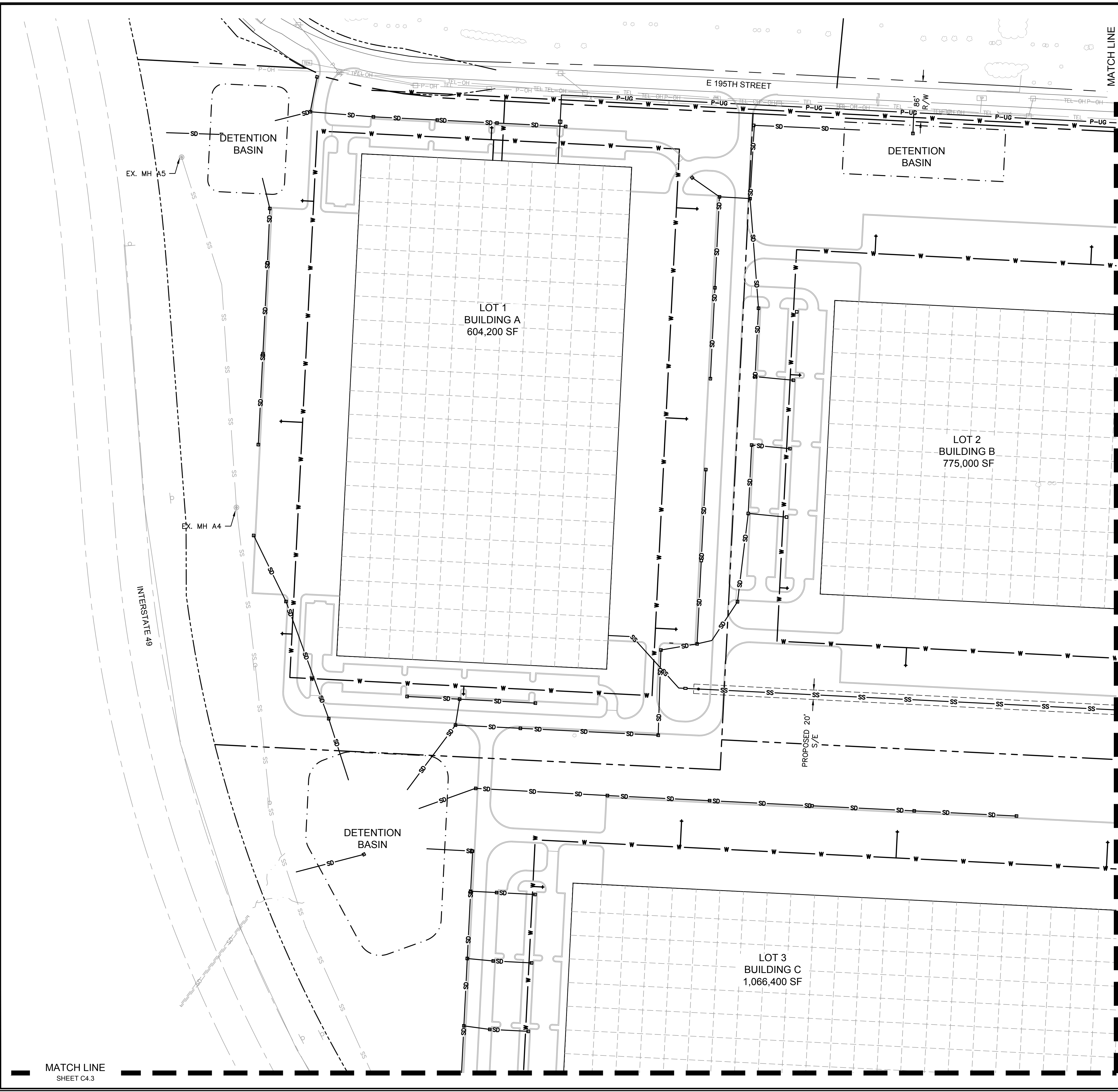
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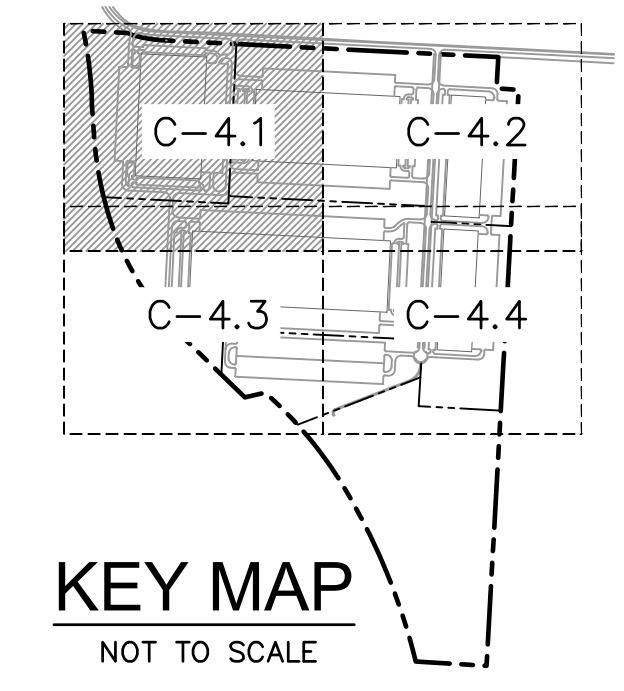
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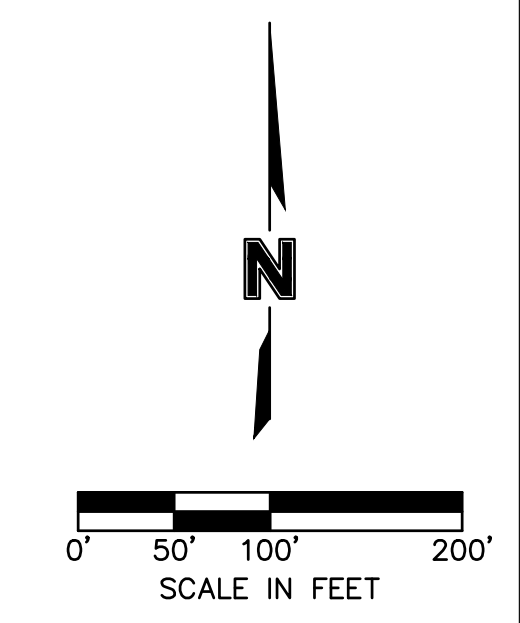
MATCH LINE
SHEET C4.3

MATCH LINE
SHEET C4.2



LEGEND

PROPOSED PROPERTY LINE	---
SECTION LINE	---
PUBLIC RIGHT-OF-WAY	---
PROPOSED GAS MAIN	---
PROPOSED WATER MAIN	---
PROPOSED SANITARY MAIN	---
PROPOSED STORM SEWER	---
PROPOSED UNDERGROUND POWER	---
EXISTING COMMUNICATIONS	---
EXISTING OVERHEAD POWER	---
EXISTING UNDERGROUND POWER	---
EXISTING SANITARY MAIN	---
UTILITY EASEMENT	---
EXISTING GAS MAIN	---
PROPOSED FIRE HYDRANT	●



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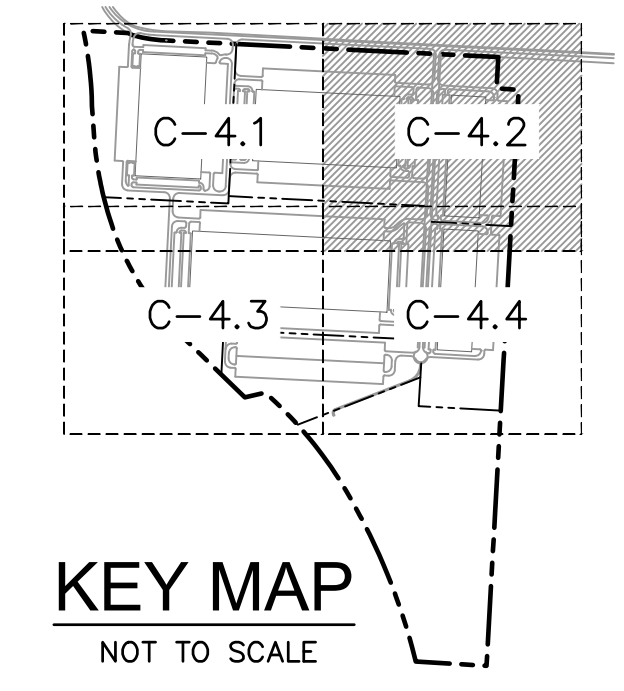
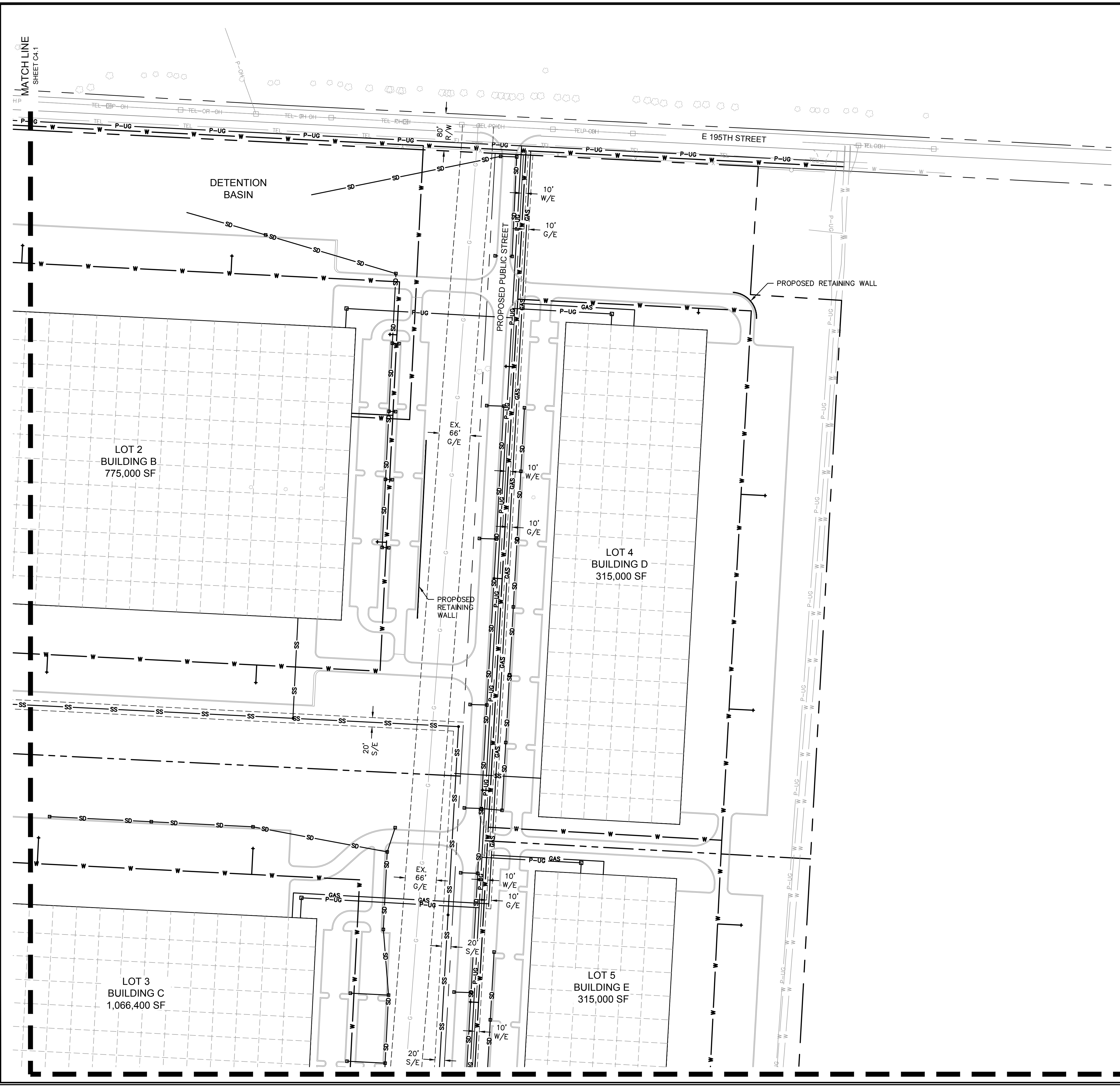
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SHEET NAME:
 UTILITY PLAN
 SHEET:
C-4.1

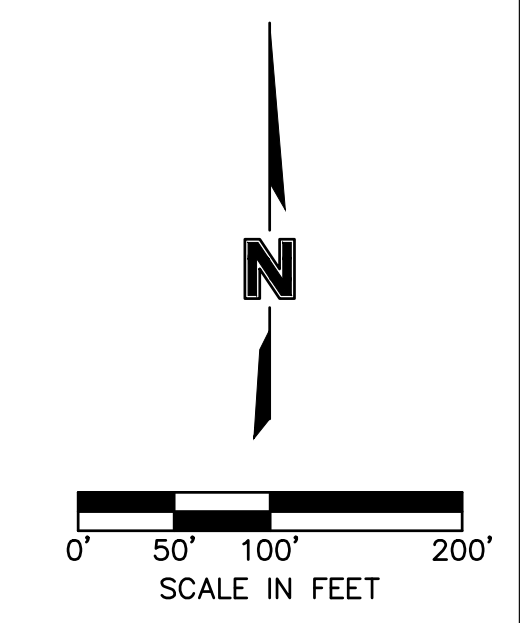
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 USER: msolson



KEY MAP
NOT TO SCALE

LEGEND

PROPOSED PROPERTY LINE	---
SECTION LINE	---
PUBLIC RIGHT-OF-WAY	---
PROPOSED GAS MAIN	G
PROPOSED WATER MAIN	W
PROPOSED SANITARY MAIN	SS
PROPOSED STORM SEWER	SD
PROPOSED UNDERGROUND POWER	P-UG
EXISTING COMMUNICATIONS	COMM
EXISTING OVERHEAD POWER	P-OH
EXISTING UNDERGROUND POWER	P-UG
EXISTING SANITARY MAIN	SS
UTILITY EASEMENT	---
EXISTING GAS MAIN	G
PROPOSED FIRE HYDRANT	●



MATCH LINE
SHEET C4.1



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 TEL 913.381.1170 www.olsson.com

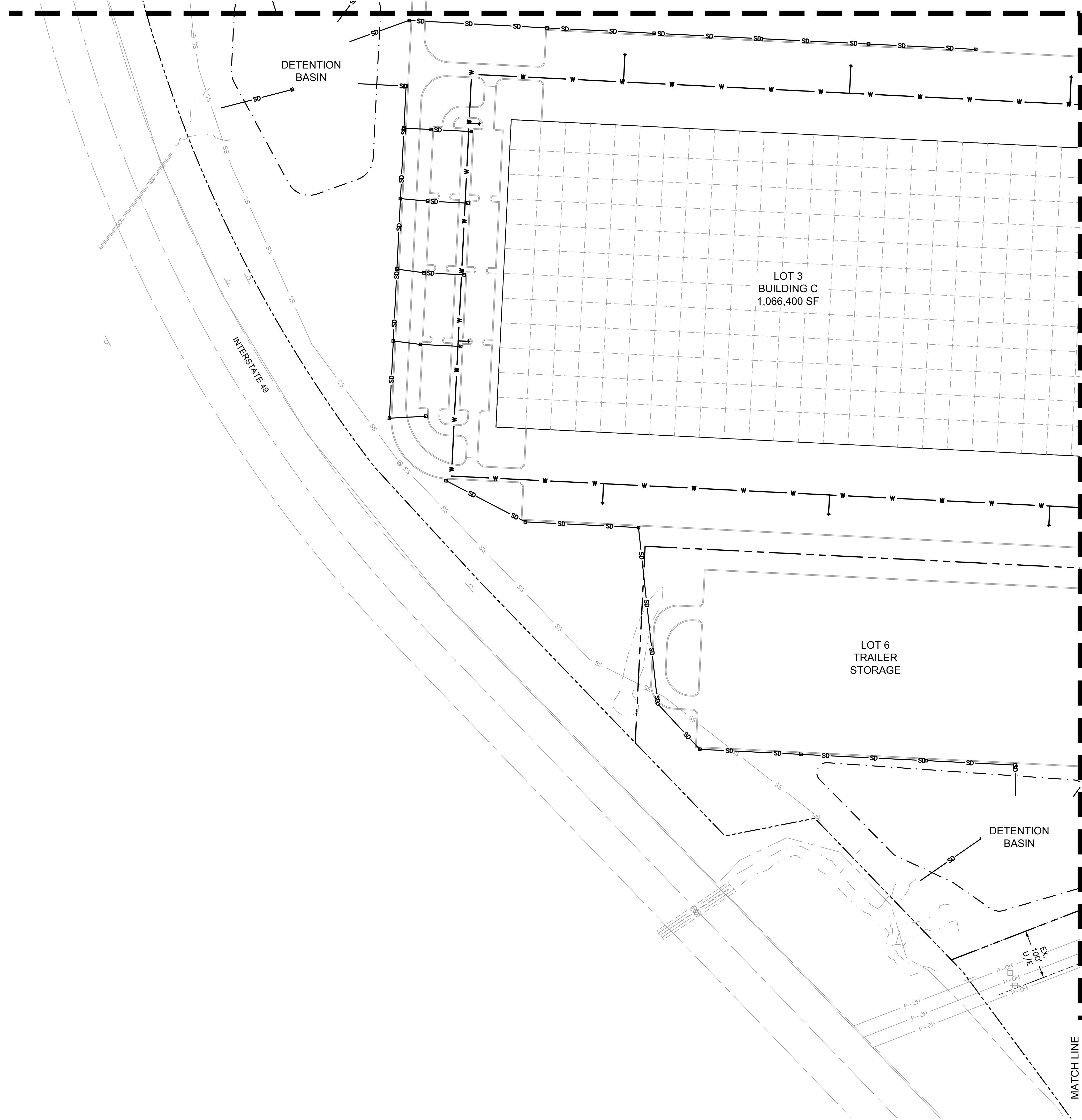
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RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

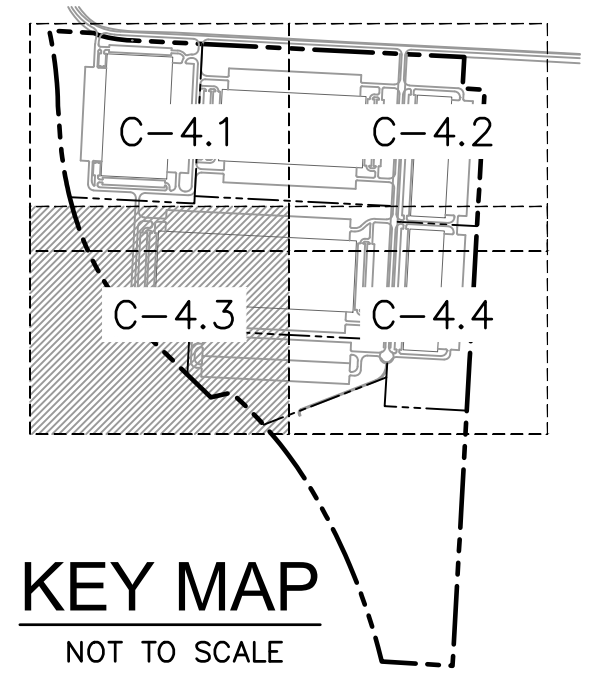
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MATCH LINE
SHEET C4.1



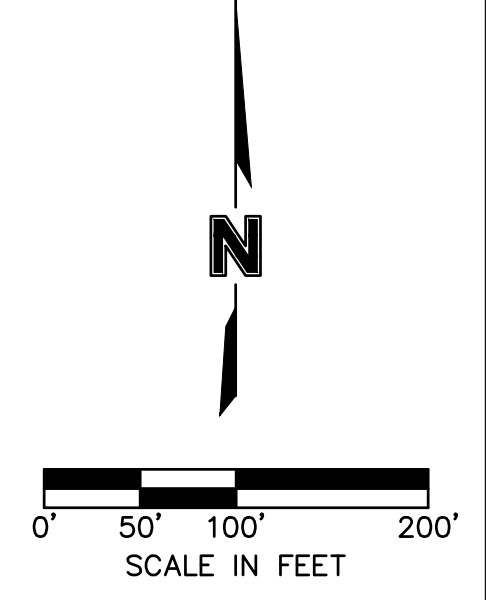
MATCH LINE
SHEET C4.4



KEY MAP
NOT TO SCALE

LEGEND

PROPOSED PROPERTY LINE	---
SECTION LINE	---
PUBLIC RIGHT-OF-WAY	---
PROPOSED GAS MAIN	G
PROPOSED WATER MAIN	W
PROPOSED SANITARY MAIN	SS
PROPOSED STORM SEWER	SD
PROPOSED UNDERGROUND POWER	P-UG
EXISTING COMMUNICATIONS	COMM
EXISTING OVERHEAD POWER	P-OH
EXISTING UNDERGROUND POWER	P-UG
EXISTING SANITARY MAIN	SS
UTILITY EASEMENT	---
EXISTING GAS MAIN	G
PROPOSED FIRE HYDRANT	●



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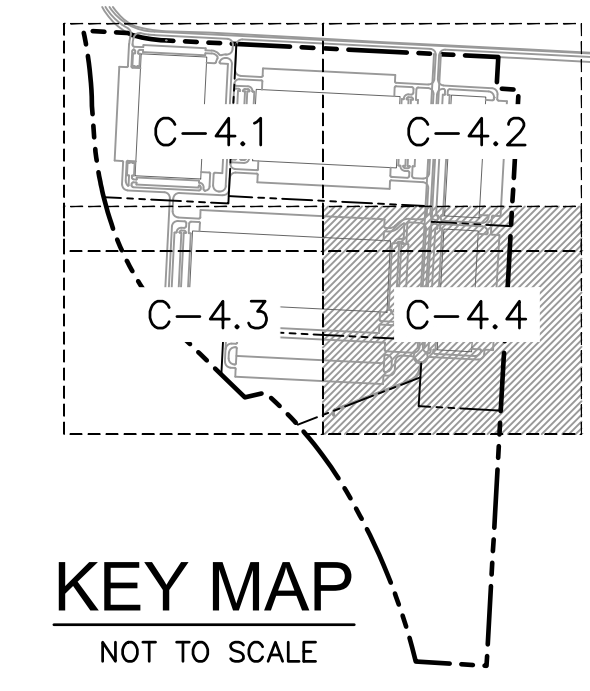
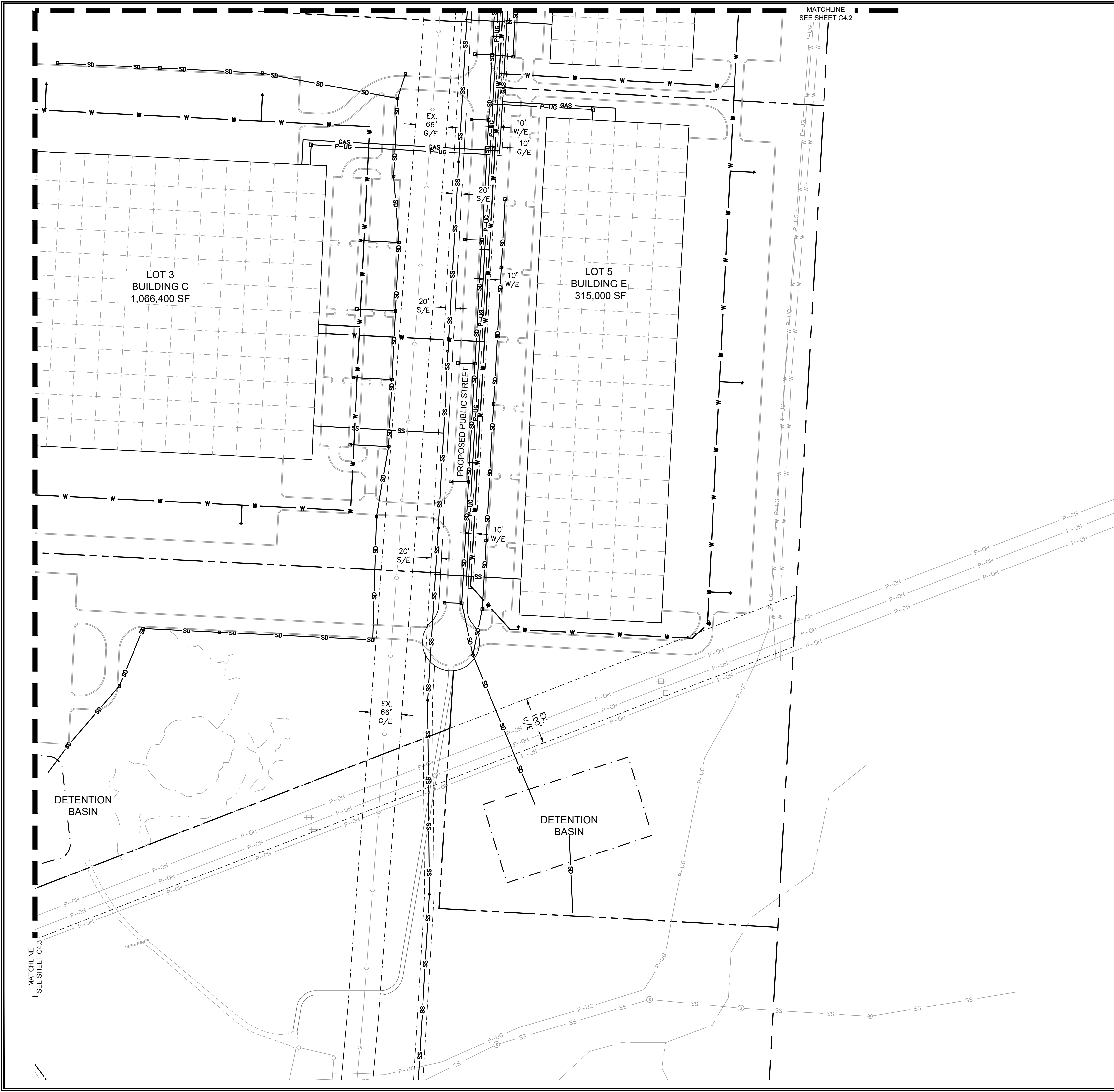
REV. NO.	DATE	REVISIONS DESCRIPTION	BY

RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
UTILITY PLAN

SHEET:
C-4.3

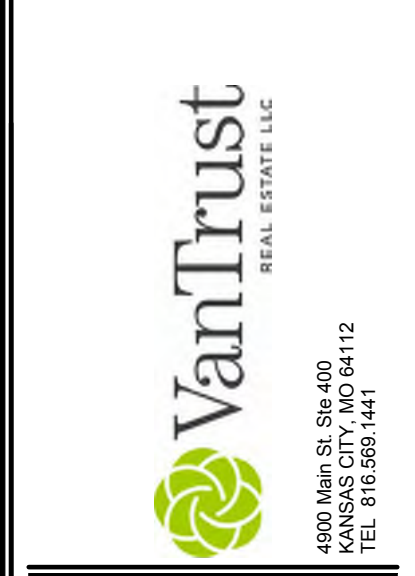
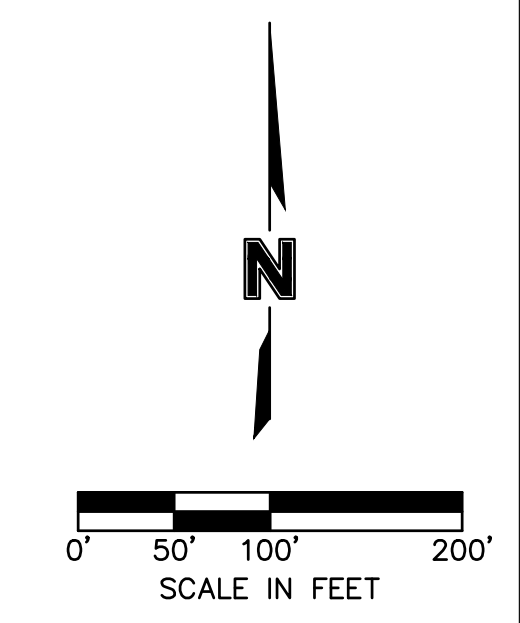
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 USER: msolson



KEY MAP
NOT TO SCALE

LEGEND

- PROPOSED PROPERTY LINE ————
- SECTION LINE ————
- PUBLIC RIGHT-OF-WAY ————
- PROPOSED GAS MAIN — G ————
- PROPOSED WATER MAIN — W ————
- PROPOSED SANITARY MAIN — SS ————
- PROPOSED STORM SEWER — SD ————
- PROPOSED UNDERGROUND POWER — P-UG ————
- EXISTING COMMUNICATIONS — COMM ————
- EXISTING OVERHEAD POWER — P-OH ————
- EXISTING UNDERGROUND POWER — P-UG ————
- EXISTING SANITARY MAIN — SS ————
- UTILITY EASEMENT ————
- EXISTING GAS MAIN — G ————
- PROPOSED FIRE HYDRANT — ● ————



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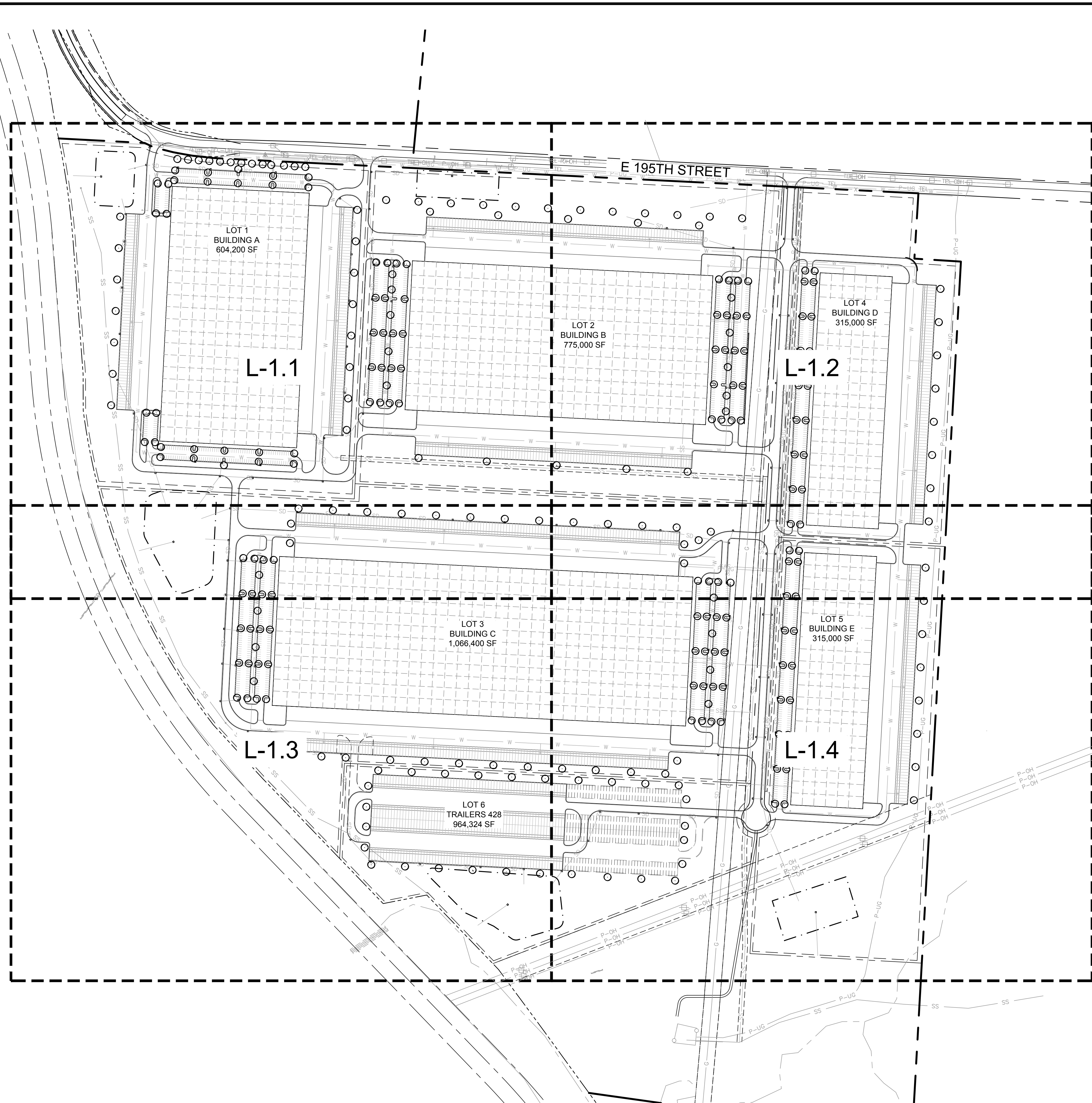
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 Overland Park, KS 66213-4750
 TEL 913.381.1170 www.olsson.com

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
UTILITY PLAN
 SHEET:
C-4.4

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 USER: msolson



LANDSCAPE CALCULATIONS

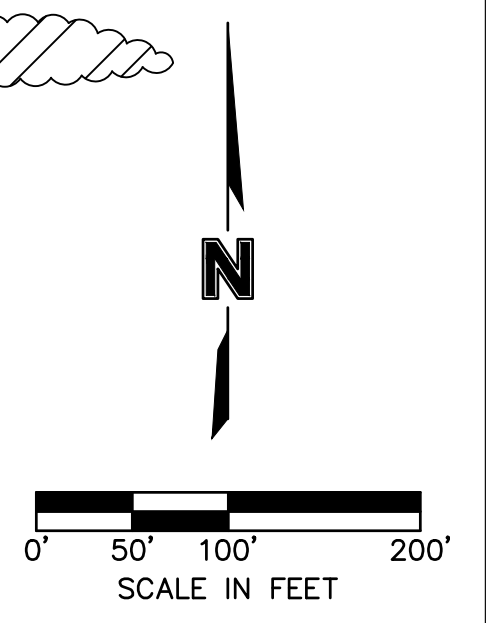
BUILDING A	BUILDING C	BUILDING D	BUILDING E
FOUNDATION LANDSCAPING 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.	FOUNDATION LANDSCAPING 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.	FOUNDATION LANDSCAPING 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.	FOUNDATION LANDSCAPING 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.
INTERIOR PARKING LOT LANDSCAPING 1 TREE PER 10 PARKING SPACES (276 SPACES) 28 TREES REQUIRED 28 TREES PROVIDED 3 SHRUB PER 10 PARKING SPACE 83 SHRUBS REQUIRED 83 SHRUBS PROVIDED	INTERIOR PARKING LOT LANDSCAPING 1 TREE PER 10 PARKING SPACES (480 SPACES) 48 TREES REQUIRED 48 TREES PROVIDED 3 SHRUB PER 10 PARKING SPACE 144 SHRUBS REQUIRED 144 SHRUBS PROVIDED	INTERIOR PARKING LOT LANDSCAPING 1 TREE PER 10 PARKING SPACES (218 SPACES) 22 TREES REQUIRED 22 TREES PROVIDED 3 SHRUB PER 10 PARKING SPACE 65 SHRUBS REQUIRED 65 SHRUBS PROVIDED	INTERIOR PARKING LOT LANDSCAPING 1 TREE PER 10 PARKING SPACES (218 SPACES) 22 TREES REQUIRED 22 TREES PROVIDED 3 SHRUB PER 10 PARKING SPACE 65 SHRUBS REQUIRED 65 SHRUBS PROVIDED
INTERIOR PARKING LOT LANDSCAPING - TRAILER STORAGE 1 TREE PER 10 PARKING SPACES (147 SPACES) 15 TREES REQUIRED 15 TREES PROVIDED 3 SHRUB PER 10 PARKING SPACE 45 SHRUBS REQUIRED 45 SHRUBS PROVIDED	INTERIOR PARKING LOT LANDSCAPING - TRAILER STORAGE 1 TREE PER 10 PARKING SPACES (694 SPACES) 69 TREES REQUIRED 69 TREES PROVIDED 3 SHRUB PER 10 PARKING SPACE 207 SHRUBS REQUIRED 207 SHRUBS PROVIDED	INTERIOR PARKING LOT LANDSCAPING - TRAILER STORAGE 1 TREE PER 10 PARKING SPACES (83 SPACES) 8 TREES REQUIRED 8 TREES PROVIDED 3 SHRUB PER 10 PARKING SPACE 24 SHRUBS REQUIRED 24 SHRUBS PROVIDED	INTERIOR PARKING LOT LANDSCAPING - TRAILER STORAGE 1 TREE PER 10 PARKING SPACES (83 SPACES) 8 TREES REQUIRED 8 TREES PROVIDED 3 SHRUB PER 10 PARKING SPACE 24 SHRUBS REQUIRED 24 SHRUBS PROVIDED
PERIMETER PARKING LOT LANDSCAPING PARKING AREA ABUTTING PUBLIC STREET 1 TREE PER 40 LINEAR FEET OF FRONTAGE 541 LF/40= 13 TREES REQUIRED 13 TREES PROVIDED	PERIMETER PARKING LOT LANDSCAPING PARKING AREA ABUTTING PUBLIC STREET 1 TREE PER 40 LINEAR FEET OF FRONTAGE 1150 LF/40= 29 TREES REQUIRED 29 TREES PROVIDED	PERIMETER PARKING LOT LANDSCAPING PARKING AREA ABUTTING PUBLIC STREET 1 TREE PER 40 LINEAR FEET OF FRONTAGE 1150 LF/40= 29 TREES REQUIRED 29 TREES PROVIDED	PERIMETER PARKING LOT LANDSCAPING PARKING AREA ABUTTING PUBLIC STREET 1 TREE PER 40 LINEAR FEET OF FRONTAGE 1150 LF/40= 29 TREES REQUIRED 29 TREES PROVIDED

LANDSCAPE NOTES

1. FINAL LANDSCAPE PLANS TO INCLUDE ALL SHRUB PLANTING AND TREE COUNTS AS REQUIRED BY CITY.
2. ALL MONUMENTS SHALL BE LANDSCAPED WITH 3' BED ON ALL SIDES.
3. ALL TRASH ENCLOSURES AND MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
4. NO MORE THAN 20% OF THE (20%) REQUIRED LANDSCAPED AREA BE POROUS NON-LIVING MATERIALS.
5. ALL CITY ROW TO BE LANDSCAPED ACCORDING TO CITY CODE (NOT SHOWN).
6. SEE ALSO MEMORANDUM OF UNDERSTANDING FOR ADDITIONAL INFORMATION AND SIGNAGE NARRATIVE.

LANDSCAPE LEGEND

- DECIDUOUS TREE ○
- EVERGREEN TREE ●
- ORNAMENTAL TREE ○
- SHRUB ○
- ORNAMENTAL GRASS ○
- EXISTING VEGETATION TO REMAIN [hatched symbol]



4900 Main St. Ste 400
KANSAS CITY, MO 64112
TEL: 816.866.1441

RAYMORE COMMERCE CENTER SOUTH

PRELIMINARY DEVELOPMENT PLANS

RAYMORE, MO 64112

PROJECT NUMBER: 021-5673

SUBMITTAL DATE: APRIL 15, 2022

C.O.A. NO. 001592
7301 West 133rd Street, Suite 200
Overland Park, KS 66213-4750
TEL: 913.381.1170
www.olsson.com

REVISIONS DESCRIPTION

DATE

REV. NO.

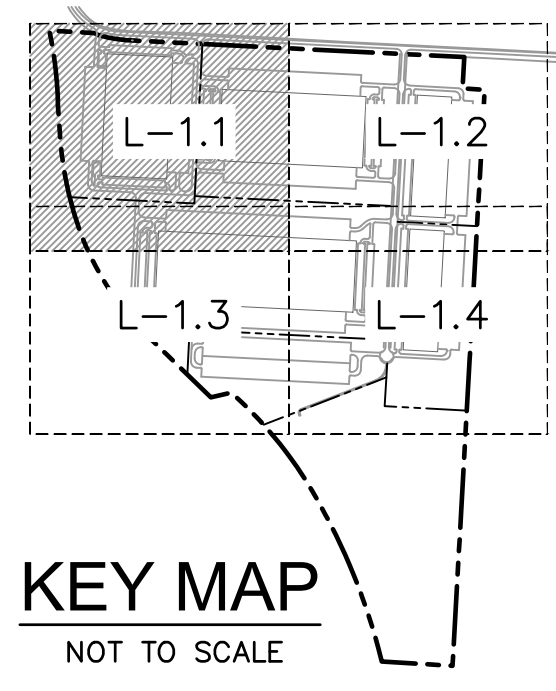
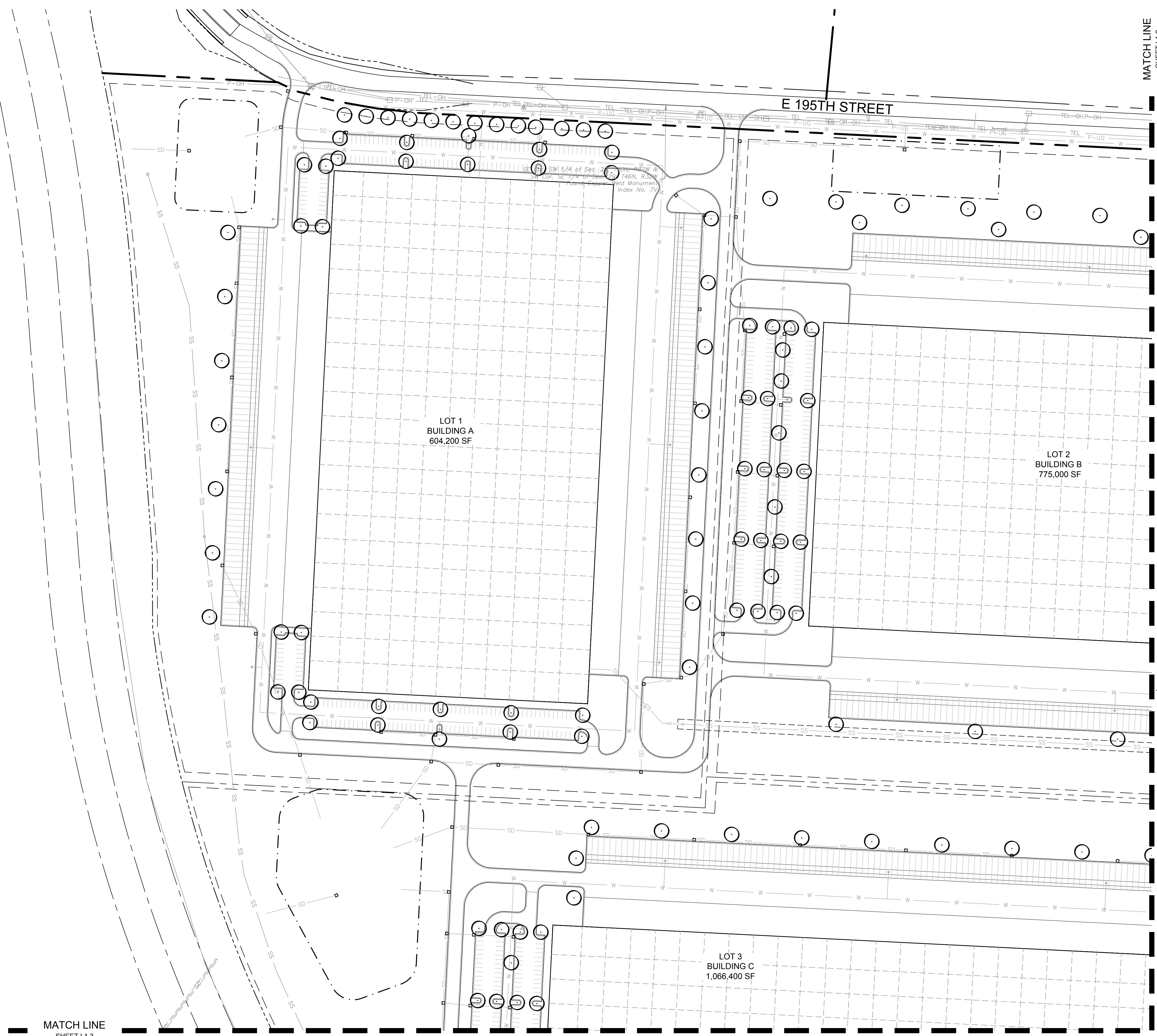
BY

DATE

SHEET NAME:
OVERALL LANDSCAPE PLAN

SHEET:
L-1.0

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LANDSCAPE CALCULATIONS

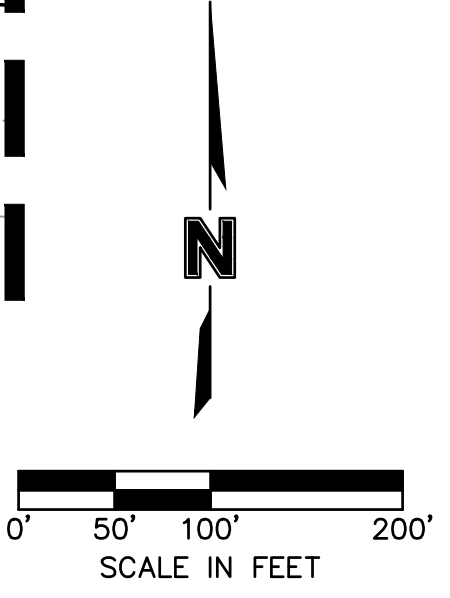
- BUILDING A**
 FOUNDATION LANDSCAPING
 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.
- INTERIOR PARKING LOT LANDSCAPING**
 1 TREE PER 10 PARKING SPACES (276 SPACES)
 28 TREES PROVIDED
- 3 SHRUB PER 10 PARKING SPACE
 83 SHRUBS REQUIRED
 83 SHRUBS PROVIDED
- INTERIOR PARKING LOT LANDSCAPING – TRAILER STORAGE**
 1 TREE PER 10 PARKING SPACES (147 SPACES)
 15 TREES PROVIDED
- 3 SHRUB PER 10 PARKING SPACE
 45 SHRUBS REQUIRED
 45 SHRUBS PROVIDED
- PERIMETER PARKING LOT LANDSCAPING**
 PARKING AREA ABUTTING PUBLIC STREET
 1 TREE PER 40 LINEAR FEET OF FRONTAGE
 541 LF/40= 13 TREES REQUIRED
 13 TREES PROVIDED
- BUILDING B**
 FOUNDATION LANDSCAPING
 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.
- INTERIOR PARKING LOT LANDSCAPING**
 1 TREE PER 10 PARKING SPACES (480 SPACES)
 48 TREES PROVIDED
- 3 SHRUB PER 10 PARKING SPACE
 144 SHRUBS REQUIRED
 144 SHRUBS PROVIDED
- INTERIOR PARKING LOT LANDSCAPING – TRAILER STORAGE**
 1 TREE PER 10 PARKING SPACES (192 SPACES)
 19 TREES PROVIDED
- 3 SHRUB PER 10 PARKING SPACE
 57 SHRUBS REQUIRED
 57 SHRUBS PROVIDED
- PERIMETER PARKING LOT LANDSCAPING**
 PARKING AREA ABUTTING PUBLIC STREET
 1 TREE PER 40 LINEAR FEET OF FRONTAGE
 1150 LF/40= 12 TREES REQUIRED
 12 TREES PROVIDED

LANDSCAPE NOTES

- FINAL LANDSCAPE PLANS TO INCLUDE ALL SHRUB PLANTING AND TREE COUNTS AS REQUIRED BY CITY.
- ALL MONUMENTS SHALL BE LANDSCAPED WITH 3' BED ON ALL SIDES.
- ALL TRASH ENCLOSURES AND MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- NO MORE THAN 20% OF THE (20%) REQUIRED LANDSCAPED AREA BE POROUS NON-LIVING MATERIALS.
- ALL CITY ROW TO BE LANDSCAPED ACCORDING TO CITY CODE (NOT SHOWN).
- SEE ALSO MEMORANDUM OF UNDERSTANDING FOR ADDITIONAL INFORMATION AND SIGNAGE NARRATIVE.

LANDSCAPE LEGEND

- DECIDUOUS TREE ○
- EVERGREEN TREE ●
- ORNAMENTAL TREE ○
- SHRUB ○
- ORNAMENTAL GRASS ○
- EXISTING VEGETATION TO REMAIN



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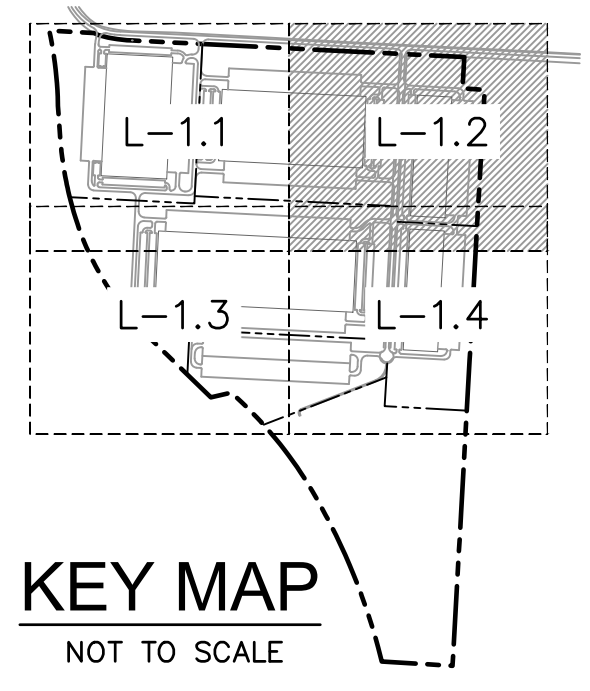
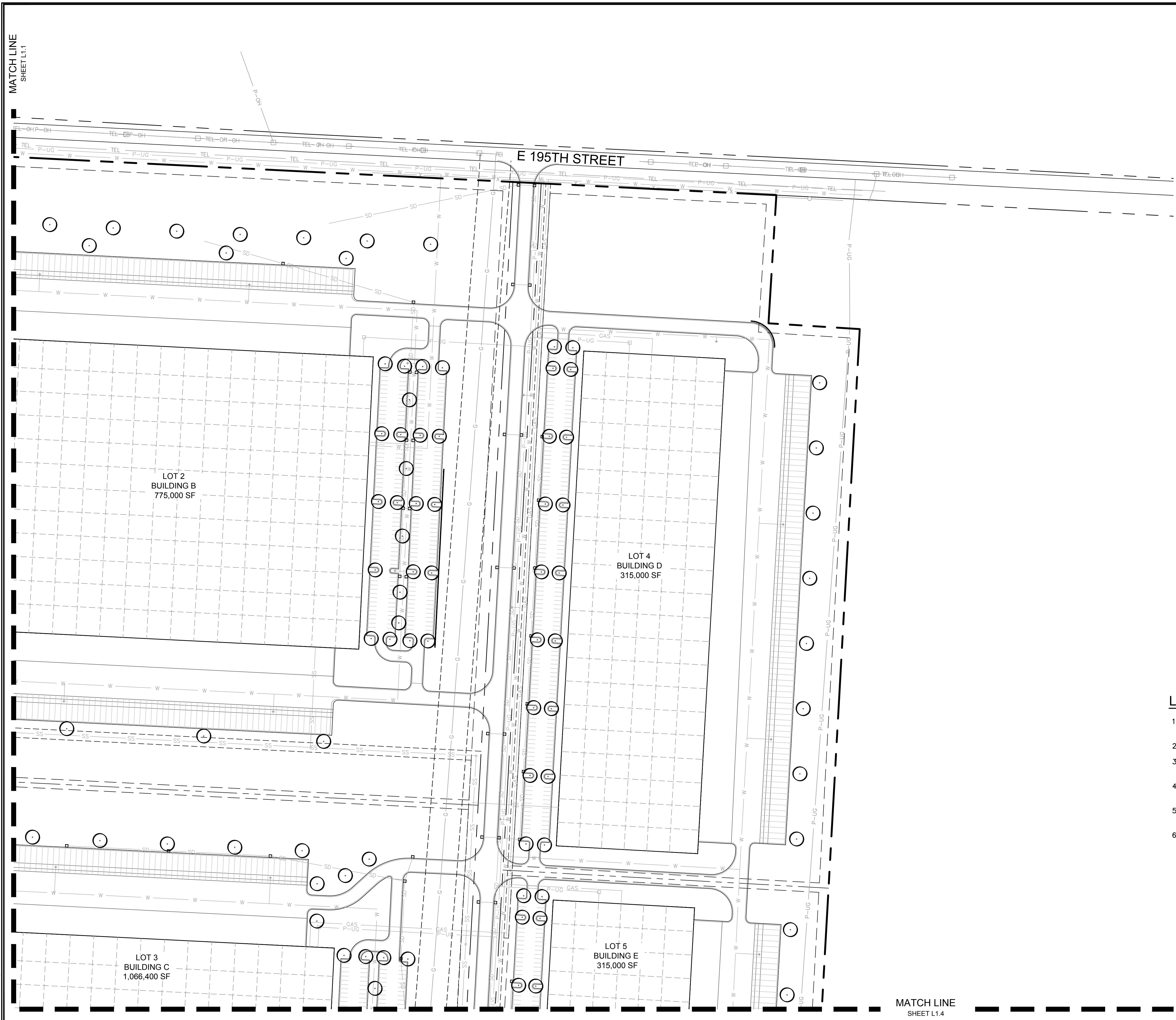
REV. NO.	DATE	DESCRIPTION	BY

RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
 LANDSCAPE PLAN

SHEET:
L-1.1

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LANDSCAPE CALCULATIONS

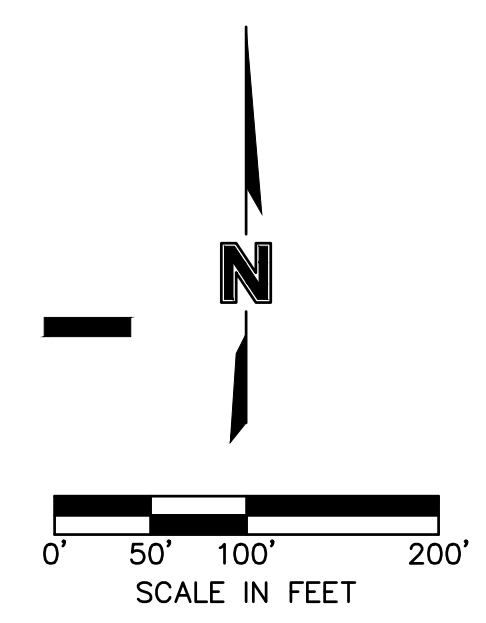
- BUILDING B**
 FOUNDATION LANDSCAPING
 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.
- INTERIOR PARKING LOT LANDSCAPING**
 1 TREE PER 10 PARKING SPACES (480 SPACES)
 48 TREES REQUIRED
 48 TREES PROVIDED
 3 SHRUB PER 10 PARKING SPACE
 144 SHRUBS REQUIRED
 144 SHRUBS PROVIDED
- INTERIOR PARKING LOT LANDSCAPING - TRAILER STORAGE**
 1 TREE PER 10 PARKING SPACES (192 SPACES)
 19 TREES REQUIRED
 19 TREES PROVIDED
 3 SHRUB PER 10 PARKING SPACE
 57 SHRUBS REQUIRED
 57 SHRUBS PROVIDED
- PERIMETER PARKING LOT LANDSCAPING**
 PARKING AREA ABUTTING PUBLIC STREET
 1 TREE PER 40 LINEAR FEET OF FRONTAGE
 1150 LF/40= 12 TREES REQUIRED
 12 TREES PROVIDED
- BUILDING D**
 FOUNDATION LANDSCAPING
 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.
- INTERIOR PARKING LOT LANDSCAPING**
 1 TREE PER 10 PARKING SPACES (218 SPACES)
 22 TREES REQUIRED
 22 TREES PROVIDED
 3 SHRUB PER 10 PARKING SPACE
 65 SHRUBS REQUIRED
 65 SHRUBS PROVIDED
- INTERIOR PARKING LOT LANDSCAPING - TRAILER STORAGE**
 1 TREE PER 10 PARKING SPACES (83 SPACES)
 8 TREES REQUIRED
 8 TREES PROVIDED
 3 SHRUB PER 10 PARKING SPACE
 24 SHRUBS REQUIRED
 24 SHRUBS PROVIDED

LANDSCAPE NOTES

1. FINAL LANDSCAPE PLANS TO INCLUDE ALL SHRUB PLANTING AND TREE COUNTS AS REQUIRED BY CITY.
2. ALL MONUMENTS SHALL BE LANDSCAPED WITH 3' BED ON ALL SIDES.
3. ALL TRASH ENCLOSURES AND MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
4. NO MORE THAN 20% OF THE (20%) REQUIRED LANDSCAPED AREA BE POROUS NON-LIVING MATERIALS.
5. ALL CITY ROW TO BE LANDSCAPED ACCORDING TO CITY CODE (NOT SHOWN).
6. SEE ALSO MEMORANDUM OF UNDERSTANDING FOR ADDITIONAL INFORMATION AND SIGNAGE NARRATIVE.

LANDSCAPE LEGEND

- DECIDUOUS TREE ○
- EVERGREEN TREE ●
- ORNAMENTAL TREE ○
- SHRUB ○
- ORNAMENTAL GRASS ○
- EXISTING VEGETATION TO REMAIN



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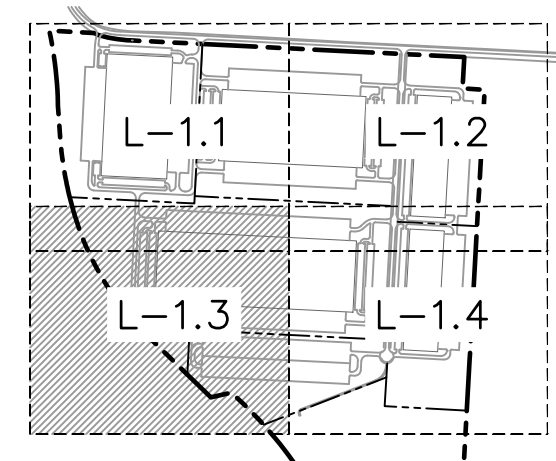
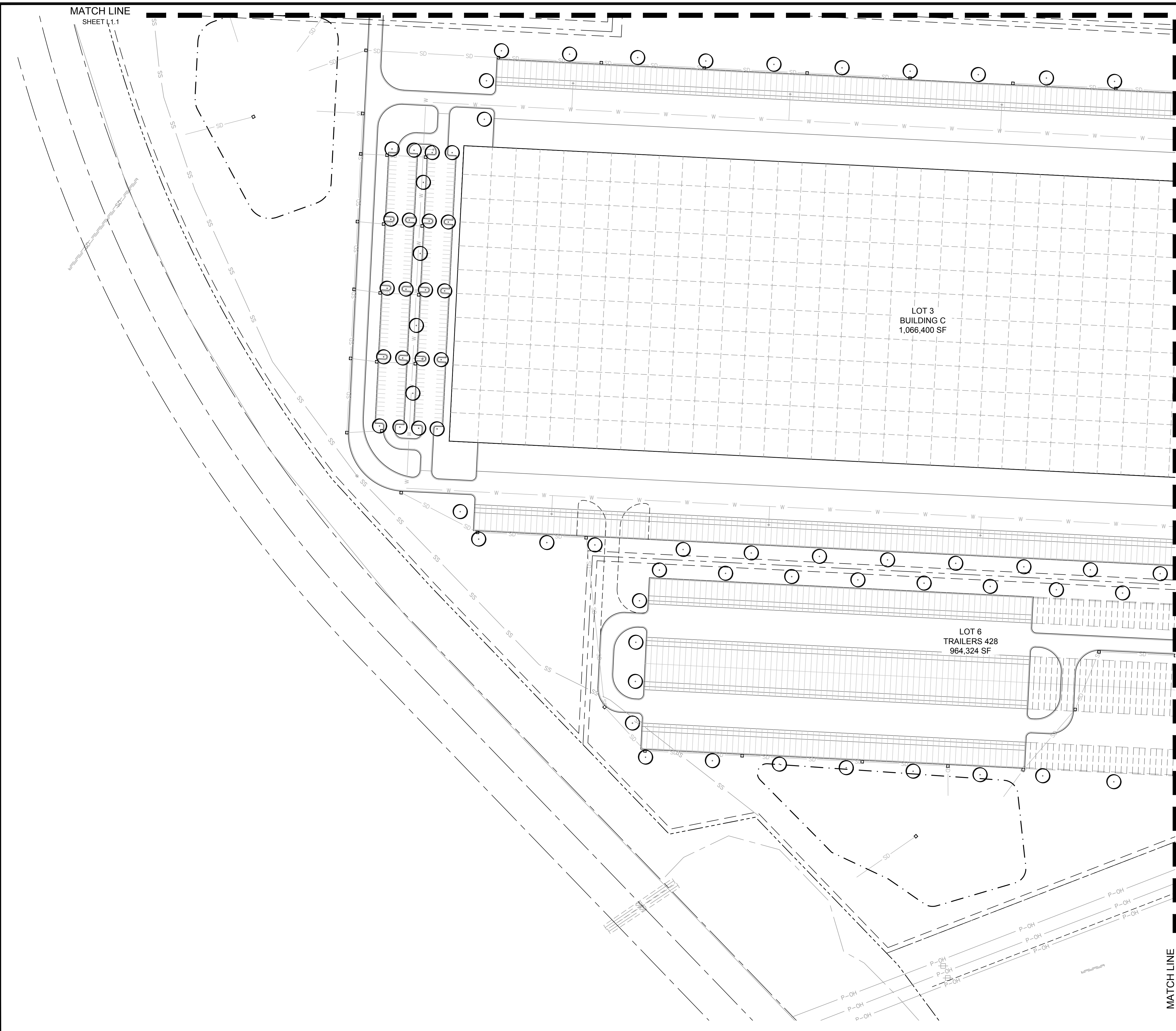
RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
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SHEET NAME:
 LANDSCAPE PLAN

SHEET:
L-1.2

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 USER: msolson

MATCH LINE
SHEET L1.1



KEY MAP
NOT TO SCALE

LANDSCAPE CALCULATIONS

- BUILDING C**
- FOUNDATION LANDSCAPING**
 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.
- INTERIOR PARKING LOT LANDSCAPING**
 1 TREE PER 10 PARKING SPACES (480 SPACES)
 48 TREES REQUIRED
 48 TREES PROVIDED
 3 SHRUB PER 10 PARKING SPACE
 144 SHRUBS REQUIRED
 144 SHRUBS PROVIDED
- INTERIOR PARKING LOT LANDSCAPING - TRAILER STORAGE**
 1 TREE PER 10 PARKING SPACES (694 SPACES)
 69 TREES REQUIRED
 69 TREES PROVIDED
 3 SHRUB PER 10 PARKING SPACE
 207 SHRUBS REQUIRED
 207 SHRUBS PROVIDED

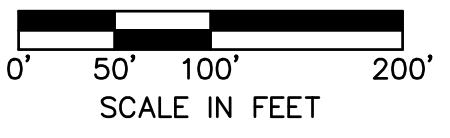
LANDSCAPE NOTES

1. FINAL LANDSCAPE PLANS TO INCLUDE ALL SHRUB PLANTING AND TREE COUNTS AS REQUIRED BY CITY.
2. ALL MONUMENTS SHALL BE LANDSCAPED WITH 3' BED ON ALL SIDES.
3. ALL TRASH ENCLOSURES AND MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
4. NO MORE THAN 20% OF THE (20%) REQUIRED LANDSCAPED AREA BE POROUS NON-LIVING MATERIALS.
5. ALL CITY ROW TO BE LANDSCAPED ACCORDING TO CITY CODE (NOT SHOWN).
6. SEE ALSO MEMORANDUM OF UNDERSTANDING FOR ADDITIONAL INFORMATION AND SIGNAGE NARRATIVE.

LANDSCAPE LEGEND

- DECIDUOUS TREE ○
- EVERGREEN TREE ○
- ORNAMENTAL TREE ○
- SHRUB ○
- ORNAMENTAL GRASS ○
- EXISTING VEGETATION TO REMAIN

MATCH LINE
SHEET L1.4



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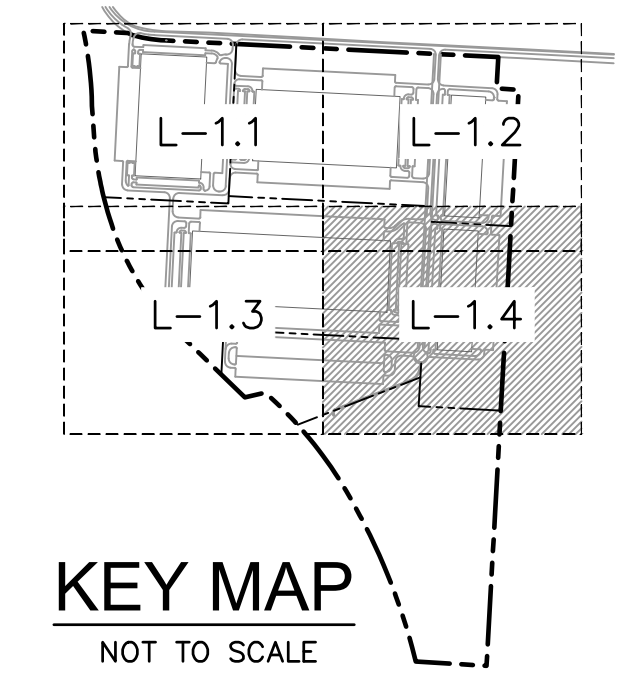
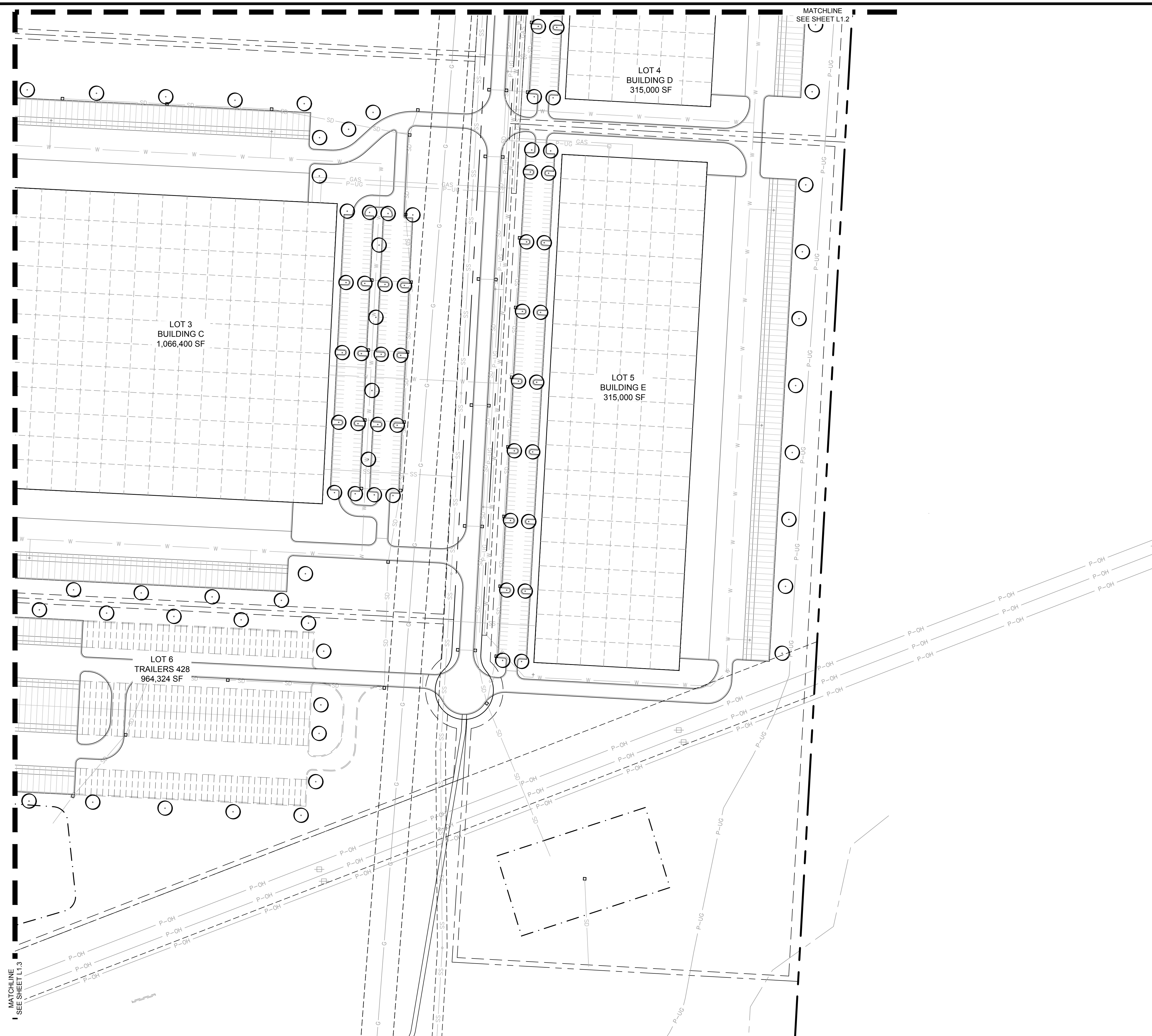
REV. NO.	DATE	DESCRIPTION	BY

RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
LANDSCAPE PLAN

SHEET:
L-1.3

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 USER: msolson



LANDSCAPE CALCULATIONS

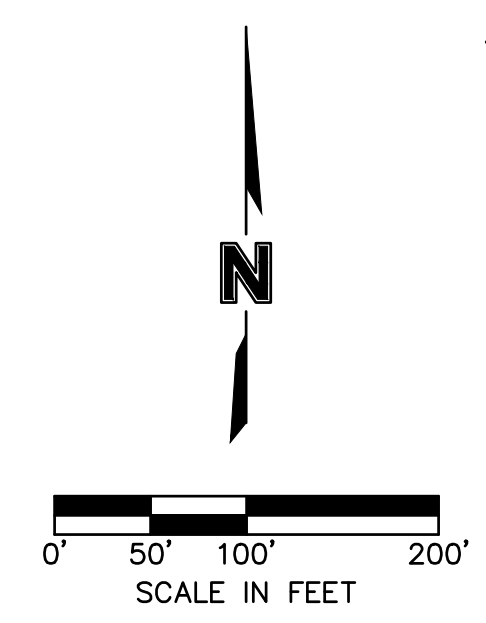
- BUILDING C**
- FOUNDATION LANDSCAPING**
 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.
- INTERIOR PARKING LOT LANDSCAPING**
 1 TREE PER 10 PARKING SPACES (480 SPACES)
 48 TREES REQUIRED
 48 TREES PROVIDED
 3 SHRUB PER 10 PARKING SPACE
 144 SHRUBS REQUIRED
 144 SHRUBS PROVIDED
- INTERIOR PARKING LOT LANDSCAPING - TRAILER STORAGE**
 1 TREE PER 10 PARKING SPACES (694 SPACES)
 69 TREES REQUIRED
 69 TREES PROVIDED
 3 SHRUB PER 10 PARKING SPACE
 207 SHRUBS REQUIRED
 207 SHRUBS PROVIDED
- BUILDING E**
- FOUNDATION LANDSCAPING**
 5 FT WIDE BED AROUND ALL BUILDINGS BESIDES ENTRANCES AND LOADING AREAS. SEE PLAN.
- INTERIOR PARKING LOT LANDSCAPING**
 1 TREE PER 10 PARKING SPACES (218 SPACES)
 22 TREES REQUIRED
 22 TREES PROVIDED
 3 SHRUB PER 10 PARKING SPACE
 65 SHRUBS REQUIRED
 65 SHRUBS PROVIDED
- INTERIOR PARKING LOT LANDSCAPING - TRAILER STORAGE**
 1 TREE PER 10 PARKING SPACES (83 SPACES)
 8 TREES REQUIRED
 8 TREES PROVIDED
 3 SHRUB PER 10 PARKING SPACE
 24 SHRUBS REQUIRED
 24 SHRUBS PROVIDED

LANDSCAPE NOTES

1. FINAL LANDSCAPE PLANS TO INCLUDE ALL SHRUB PLANTING AND TREE COUNTS AS REQUIRED BY CITY.
2. ALL MONUMENTS SHALL BE LANDSCAPED WITH 3' BED ON ALL SIDES.
3. ALL TRASH ENCLOSURES AND MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
4. NO MORE THAN 20% OF THE (20%) REQUIRED LANDSCAPED AREA BE POROUS NON-LIVING MATERIALS.
5. ALL CITY ROW TO BE LANDSCAPED ACCORDING TO CITY CODE (NOT SHOWN).
6. SEE ALSO MEMORANDUM OF UNDERSTANDING FOR ADDITIONAL INFORMATION AND SIGNAGE NARRATIVE.

LANDSCAPE LEGEND

- DECIDUOUS TREE (circle with vertical lines)
- EVERGREEN TREE (circle with horizontal lines)
- ORNAMENTAL TREE (circle with diagonal lines)
- SHRUB (circle with dots)
- ORNAMENTAL GRASS (circle with cross-hatch)
- EXISTING VEGETATION TO REMAIN (cloud-like shape)



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REV. NO.	DATE	REVISIONS DESCRIPTION	BY

RAYMORE COMMERCE CENTER SOUTH
 PRELIMINARY DEVELOPMENT PLANS
 RAYMORE, MO 64112
 PROJECT NUMBER: 021-5673
 SUBMITTAL DATE: APRIL 15, 2022

SHEET NAME:
 LANDSCAPE PLAN

SHEET:
L-1.4