



RAYMORE PLANNING AND ZONING COMMISSION AGENDA

Tuesday, January 5, 2021 - 7:00 p.m.

Harrelson Hall at Centerview
227 Municipal Circle
Raymore, Missouri 64083

This Planning Commission regular meeting will be conducted virtually with commissioners conferencing into Harrelson Hall.

In consideration of the rising numbers of COVID-19 cases in Cass County and the City of Raymore, the public is encouraged to participate from home. There is limited space available in Centerview should the public wish to attend.

The public can also view the meeting live by going to www.raymore.com/video

The public can submit comments prior to the meeting by emailing Katie Jardieu, City Planner, at kjardieu@raymore.com and those comments will be read aloud during the corresponding case or during Section 10 - Public Comments part of the agenda.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Personal Appearances - None
5. Consent Agenda
 - a. Approval of Minutes from December 1, 2020 meeting
6. Unfinished Business - None
7. New Business
 - a. Case #20028 - Heartland Dental, 826 W. Foxwood Drive - Site Plan
8. City Council Report
9. Staff Report
10. Public Comment
11. Commission Member Comment
12. Adjournment

MEETING PROCEDURES

The following rules of conduct apply:

1. Public can only speak during the meeting under the following circumstances:
 - a. The citizen has made a formal request to the Development Services Department to make a personal appearance before the Planning Commission; or,
 - b. A public hearing has been called by the Chairman and the Chairman has asked if anyone from the public has comments on the application being considered; or
 - c. A citizen may speak under Public Comment at the end of the meeting.
2. If you wish to speak to the Planning Commission, please proceed to the podium and state your name and address. Spelling of your last name would be appreciated.
3. Please turn off (or place on silent) any pagers or cellular phones.
4. Please no talking on phones or with another person in the audience during the meeting.
5. Please no public displays, such as clapping, cheering, or comments when another person is speaking.
6. While you may not agree with what an individual is saying to the Planning Commission, please treat everyone with courtesy and respect during the meeting.

Every application before the Planning Commission will be reviewed as follows:

1. Chairman will read the case number from the agenda that is to be considered, and open the public hearing, if applicable.
2. Applicant will present their request to the Planning Commission.
3. Staff will provide a staff report.
4. If the application requires a public hearing, Chairman will invite anyone to speak on the request.
5. Chairman will close the public hearing.
6. Planning Commission members can discuss the request amongst themselves, ask questions of the applicant or staff, and may respond to a question asked from the public.
7. Planning Commission members will vote on the request.

THE **PLANNING AND ZONING COMMISSION** OF THE CITY OF RAYMORE, MISSOURI, MET IN REGULAR SESSION **TUESDAY, DECEMBER 1, 2020**, IN HARRELSON HALL AT CENTERVIEW, 227 MUNICIPAL CIRCLE, RAYMORE, MISSOURI WITH THE FOLLOWING COMMISSION MEMBERS PRESENT: CHAIRMAN MATTHEW WIGGINS, WILLIAM FAULKNER, KELLY FIZER, JEREMY MANSUR (via video conference), JIM PETERMANN, MARIO URQUILLA, CALVIN ACKLIN, AND ERIC BOWIE (arrived at 7:02 p.m.). MAYOR KRIS TURNBOW WAS ABSENT. ALSO PRESENT WAS CITY PLANNER KATIE JARDIEU, DEVELOPMENT SERVICES DIRECTOR JIM CADORET, PUBLIC WORKS DIRECTOR MIKE KRASS, AND CITY ATTORNEY JONATHAN ZERR.

1. **Call to Order** – Chairman Wiggins called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance**
3. **Roll Call** – Roll was taken and Chairman Wiggins declared a quorum present to conduct business.
4. **Personal Appearances** – None
5. **Consent Agenda**
 - a. **Approval of the minutes of the November 17, 2020 meeting.**
 - b. **Approval of Case # 20024 - Raymore Commerce Center - First Plat**
 - c. **Approval of Case # 20025 - Raymore Galleria North Third Plat**

Motion by Commissioner Faulkner, Seconded by Commissioner Urquilla, to accept the consent agenda with the minutes as corrected.

Roll Call Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Bowie	Absent
Commissioner Acklin	Aye
Commissioner Fizer	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye
Mayor Turnbow	Absent

Motion passed 7-0-0.

Commissioner Bowie arrived at 7:02 p.m.

6. **Unfinished Business - None**
7. **New Business -**
 - a. **Case #20023 - Park Side Subdivision - Preliminary Plat (public hearing)**

Chairman Wiggins opened the public hearing at 7:03 pm.

Mr. Joe Duffey gave an overview of the 155 acre property that is to the east of Creekmoor. The project will be all single family residential.

City Planner Katie Jardieu stated that the property was approved to be rezoned from “A” Agricultural District to “R-1P” Single Family Planned Residential District on October 28, 2020. Fifty-four property owners were notified of the Preliminary Plat and the required Good Neighbor Meeting held on

November 19, 2020. One neighbor attended the meeting to discuss drainage onto his property. The Engineering department has reviewed the application, Traffic Study and Stormwater Study is in compliance with city standards. Ms. Jardieu also pointed out the 75-foot right-of-way for the extension of 163rd Street and the additional 50 feet of right-of-way for the extension of Sunset Lane. The Raymore-Peculiar School Board was given the preliminary plat and stated they were aware of the proposed development and did not have any concerns. The Raymore Parks and Recreation Board approved the land dedication and fee-in-lieu on June 23, 2020. Staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and forward the case #20023 - Park Side Subdivision - Preliminary Plat to the City Council with a recommendation of approval subject to the two conditions recommended by staff.

Chairman Wiggins asked if any public would like to speak.

Ms. Pam Townsend of 1002 N. Madison asked when the construction was planned to start and when the surveying would be complete.

Robert Walquist, the engineer for the project, stated that construction for the first phase could potentially start in the Spring of 2021 and that surveys should be finished this week as they have some additional information to wrap up.

Commissioner Faulkner asked as to the plans for the pond currently on the property. Mr. Walquist answered that since it is not the jurisdiction of the Army Corps of Engineers, it will be filled in and homes later potentially placed on it. Commissioner Faulkner then asked if the MOU or the Staff Report was correct in regards to the right-of-way being sixty feet or eighty feet. Ms. Jardieu stated the MOU is correct that it is eighty feet of right of way for 163rd Street and sixty feet for Sunset Lane. Commissioner Faulkner then asked who was responsible for the portion of 163rd Street not shown on this preliminary plat. Ms. Jardieu stated that the property was under the ownership of Creekmoor and their responsibility to complete once they reached those phases. Commissioner Faulkner then repeated the question to Public Works Director Mike Krass. Mr. Krass stated that it was the responsibility of Creekmoor, however based on conversations with them it was not likely that they would develop that area for several more years and the City may step in to finish the road if needed. Commissioner Faulkner then repeated the question to City Attorney Jonathan Zerr. Mr. Zerr stated that Creekmoor had the extension of 163rd Street in that area as part of their MOU but if the City felt it needed to extend the street prior to that, then that would be up to the City.

Commissioner Bowie asked if connectivity between subdivisions through trail connections was taken into account. Ms. Jardieu stated that while sidewalk connections are taken into account, trails may not necessarily connect through subdivisions. She stated that would be looked into with the Strategic Plan updates that are underway.

Commissioner Urquilla asked about how these homes would affect traffic at 155th Street and Foxwood Drive. Mr. Krass stated that with the extension of Sunset Lane, the current roads have capacity to handle the subdivision. Additionally, based on the recent findings from the Traffic Study, Highway 58 within the City of Raymore functions at a level of service A and B which is unheard of for similar roads.

Chairman Wiggins closed the public hearing at 7:15 pm.

Motion by Commissioner Faulkner, Seconded by Commissioner Bowie, to accept staff proposed findings of fact and forward case #20023 Park Side Subdivision Preliminary Plat to City Council with a recommendation of approval, subject to the two conditions recommended by staff.

Roll Call Vote on Motion:

Chairman Wiggins	Aye
Commissioner Faulkner	Aye
Commissioner Bowie	Aye
Commissioner Acklin	Aye
Commissioner Fizer	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye
Mayor Turnbow	Absent

Motion passed 8-0-0.

8. City Council Report

City Attorney Jonathan Zerr provided a review of the Council meeting held on November 23rd.

9. Staff Report

Ms. Jardieu stated the staff report was in the Commissioners packets. One meeting date to note was that on December 15th the Planning Commission would be presented the new Strategic Plan initiative for their input and feedback. Additionally, all commissioners should have received instructions on their new city email address. The email address provides a legally compliant way for information requests to be answered without the divulgence of personal emails as well.

10. Public Comment

No public comment.

11. Commission Member Comment

Commissioner Bowie thanked the staff.

Commissioner Acklin thanked the staff.

Commissioner Urquilla thanked staff.

Commissioner Petermann thanked the staff.

Commissioner Fizer thanked the staff and shared two items. New public art is on display at TB Hanna Station and will be there for a few years before moving to another city as it is not a permanent exhibit. Also, the Mayor's Christmas Tree Lighting was going to be a virtual event so be on the look out for how to view it..

Commissioner Faulkner thanked everyone.

Commissioner Mansur thanked staff for making the video conferencing available.

Chairman Wiggins thanked everyone.

12. Adjournment

Motion by Commissioner Urquilla, Seconded by Commissioner Petermann, to adjourn the December 1, 2020 Planning and Zoning Commission meeting.

Roll Call Vote on Motion:

Chairman Wiggins	Aye
Commissioner Faulkner	Aye
Commissioner Bowie	Aye
Commissioner Acklin	Aye
Commissioner Fizer	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye
Mayor Turnbow	Absent

Motion passed 8-0-0.

The December 1, 2020 meeting adjourned at 7:40 p.m.

Respectfully submitted,

Katie Jardieu



To: Planning and Zoning Commission
From: Katie Jardieu, City Planner
Date: January 5, 2021
Re: Case #20028 - Heartland Dental Site Plan

GENERAL INFORMATION

Applicant: John R Davis, Jr.
Foresight Real Estate Services, LLC

Property Owner: Raymore Group, LLC
3955 W. 83rd Street
Prairie Village, KS 66208

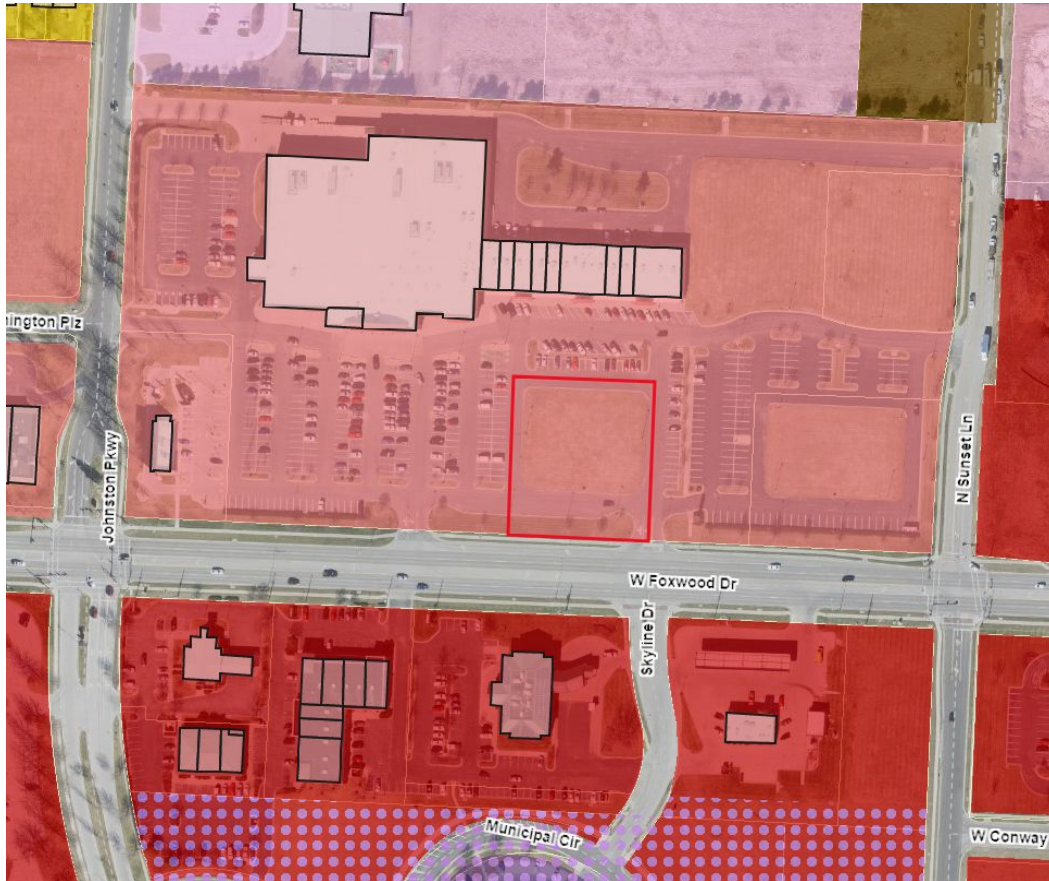
Requested Action: Site Plan approval for Lot 3 at Raymore Market Center

Property Location: 826 W. Foxwood Drive



Existing Zoning:

C-3 Regional Commercial District



Existing Surrounding Uses:

North: R-3B & PO

South: C-2

East: C-2

West: C-3

Total Tract Size: 1.01 acres

Growth Management Plan: The Future Land Use Plan Map contained in the Growth Management Plan identifies this property as appropriate for Commercial development.

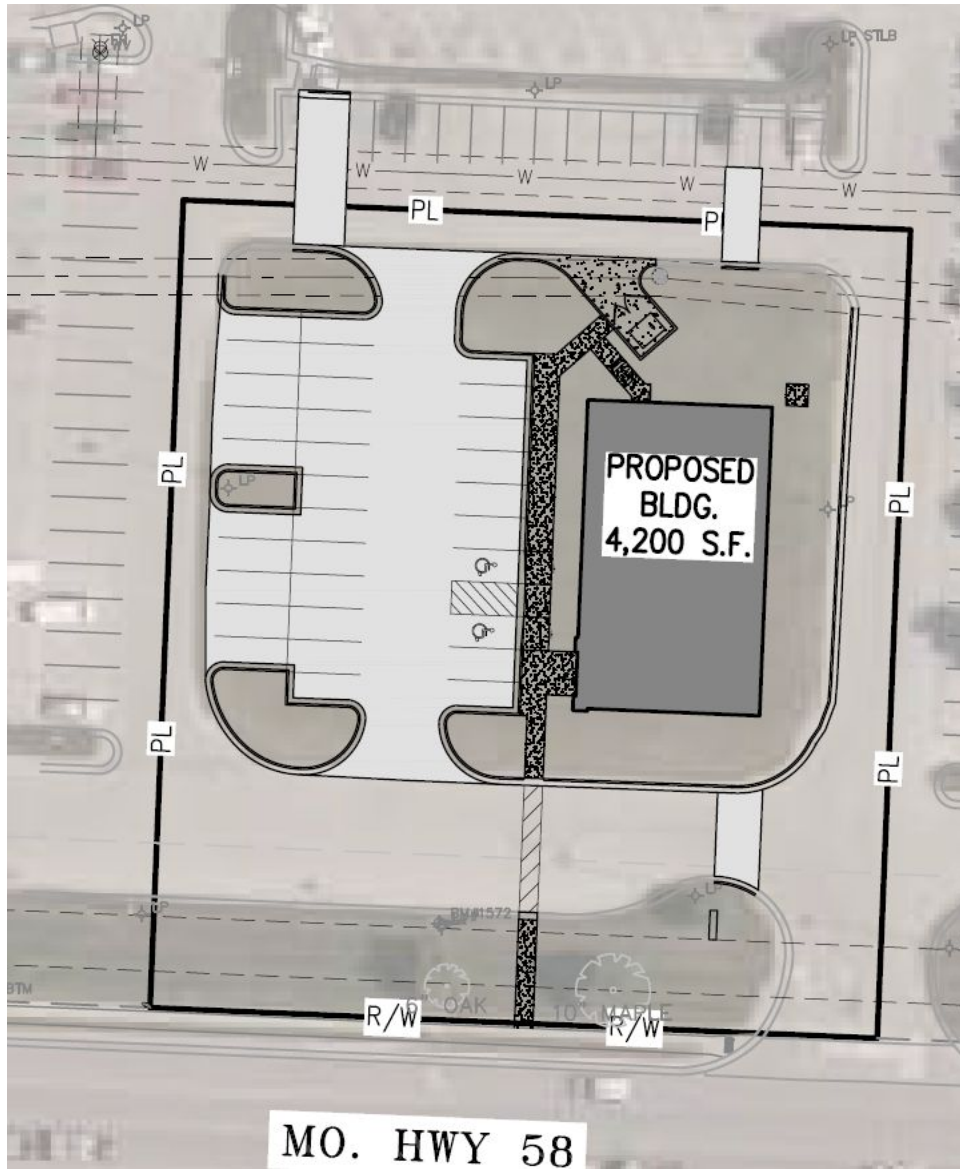
Major Street Plan: The Major Thoroughfare Plan Map contained in the Growth Management Plan identifies W. Foxwood Drive as a major arterial road. N. Sunset Lane to the east is identified as a minor collector road.

Advertisement: City Ordinance does not require advertisement for Site Plans.

Public Hearing: City Ordinance does not require a public hearing for Site Plans.

PROPOSAL

Outline of Requested Action: The applicant seeks to obtain site plan approval for a proposed 4,200 square foot dental office. The building will include 32 parking spots, including two accessible parking spaces.



SITE PLAN REQUIREMENTS AND STANDARDS

In order for the applicant to accomplish the aforementioned action, they must meet the provisions of the Unified Development Code. Chapter 470 of the Unified Development Code outlines the requirements and actions that need to be taken in order to site plan property, specifically Section 470.160.

Section 470.160 Site Plan Review

A. Purpose

The City of Raymore recognizes that the nature of land development creates the potential for traffic congestion, overcrowding, adverse visual and environmental impacts, and health problems. The City strives to promote growth in Raymore while stabilizing the established residential character of the area. Site plan review regulates the development of structures and sites in a manner that takes into consideration the following considerations:

1. the balancing of landowners' rights to use their land, with the corresponding rights of neighboring landowners, residents and the general public, to live without undue disturbances (e.g., noise, smoke, vibration, fumes, dust, odor, glare, stormwater runoff, etc.);
2. the convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent areas or roads;
3. the adequacy of waste disposal methods and protection from pollution of surface or groundwater;
4. the protection of historic and environmental features on the site under review and in adjacent areas;
5. the stability of the built environment, particularly residential neighborhoods, by promoting urban development which is compatible with clearly identified natural resources; and
6. the adequacy of provisions for resulting additional system demands which may be imposed by the development upon roads and streets, water supply and storage, storm sewerage, sanitary sewerage and wastewater treatment and the consistency of the development with the City's Growth Management Plan.

B. Applicability

1. All applications for building permits for developments in the multi-family, commercial and industrial zoning districts are subject to site plan review in accordance with this section. All nonresidential uses in residential districts require site plan review.
2. No building permit will be issued without being granted site plan approval when it is required by this subsection.

C. Application

Applications for site plan review may be obtained from the Development Services Director. The application must be completed in its entirety in accordance with Section 470.010C and filed with the Development Services Director. The applicant must submit copies in accordance with the submission schedule regularly adopted by the Planning and Zoning Commission.

D. Procedure

1. Development Services Director Action
 - a. All site plans will be reviewed by the Development Services Director.

- b. The Development Services Director has the authority to take final action (approve, conditionally approve or deny) on applications for:
 - (1) developments that have an approved site plan on file where the application proposes to expand the existing use by less than 10 percent or 5,000 square feet, whichever is less; or
 - (2) developments that have an approved site plan on file where the application proposes to modify signage, parking, landscaping or other minor feature and the proposed modifications will be in compliance with all requirements of this Code.
 - c. The Development Services Director must complete the review within 20 days of receiving a complete application.
2. Planning and Zoning Commission Action
 With the exception of those cases identified in paragraph 1 above, all other applications for site plan review will be reviewed by the Development Services Director, and forwarded to the Planning and Zoning Commission for review and action. The Commission has the authority to take final action, and may approve, approve with conditions or disapprove the application.
3. Conditions of Approval
 In approving a site plan, the Planning and Zoning Commission or, when applicable the Development Services Director may impose reasonable conditions, safeguards and restrictions upon the applicant and the premises.
- E. Findings of Fact
1. In order to be approved, the Development Services Director or Planning and Zoning Commission must find that the following conditions are met:
- a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;
 - b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;
 - c. the proposed use is allowed in the district in which it is located;
 - d. vehicular ingress and egress to and from the site, and circulation within the site provides provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;
 - e. the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;
 - f. the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services;
 - g. open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;
 - h. the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;
 - i. provides adequate parking for the use, including logical and safe parking and circulation;

- j. provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates; and
- k. includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.

F. Effect of Approval

If the Planning and Zoning Commission or, when applicable, the Development Services Director approves a site plan, it will be considered permission to prepare and submit a building permit application that complies with the approved site plan and conditions of approval.

G. Appeals

1. The applicant may appeal the decision of the Development Services Director to the Planning and Zoning Commission.
 - a. The applicant must notify the Development Services Director of their intent to appeal within 10 days of the date of decision from the Development Services Director.
 - b. The Development Services Director will schedule the appeal for the next regularly scheduled Planning and Zoning Commission meeting which is no sooner than 15 days from the date the intent to appeal was filed.
 - c. The applicant must provide an additional 15 review copies of the drawings and the additional required fee along with the intent to appeal.
2. The applicant may appeal the decision of the Planning and Zoning Commission to the City Council.
 - a. The applicant must notify the Development Services Director of their intent to appeal, in writing, within 10 days of the date of the Planning and Zoning Commission meeting when the application was considered.
 - b. The Development Services Director will schedule the appeal for the next regularly scheduled City Council meeting provided it is at least 15 days from the date the intent to appeal was filed.
 - c. The applicant will provide an additional 15 review copies of the drawings along with the intent to appeal.

PREVIOUS ACTIONS ON THE PROPERTY

1. The subject property was rezoned to "C3" Regional Commercial District on May 21, 2006.
2. The Final Plat for the subject property was recorded in April 2007.
3. The subject property is part of the Raymore Market Center shopping center.

ENGINEERING DIVISION COMMENTS

The Engineering Division of Public Works has reviewed the application and determined that it complies with all of the applicable requirements of City Code.

STAFF COMMENTS

- 1. Development Standards:** The current bulk and dimensional standards for the “C3” General Commercial District zoning classification for the property is provided below.

C-3	
Minimum Lot Area	
per lot	-
Minimum Lot Width (feet)	100
Minimum Lot Depth (feet)	100
Yards, Minimum (feet)	
front	30
rear	20
side	10
side, abutting residential district	20
Maximum Building Height (feet)	80
Maximum Building Coverage (%)	50

The property and proposed building comply with the C-3 district development standards.

- 2. Parking:** The minimum parking standards for the uses allowed within the proposed development are as follows:

Use	Minimum Parking Spaces Required
COMMERCIAL USES	
Medical or Dental Clinic	1 per 600 square feet

With 32 parking spaces provided, including 2 ADA compliant parking spaces, the building complies with the required 7 spaces minimum parking standards.

- 3. Landscaping**

Twenty percent (20%) of the site is required to be reserved for landscaped area. A landscaped area a minimum of six feet (6') in width shall be provided along each street frontage and along all perimeter property lines.

Two existing trees along Foxwood Drive will be preserved. A third existing tree near the access aisle to Foxwood Drive will be removed and replaced.

The minimum six-foot (6') landscaped area is provided along all street frontages.

The required interior parking lot area landscaping and perimeter parking lot landscaping, including a tree, has been provided.

The proposed landscape plan does comply with the landscaping requirements of the UDC.

4. Building Design:

The proposed development must comply with the building design standards contained in Section 440.010 of the UDC.

Section 440.010 Building Design Standards

C. Building Materials

1. Masonry Construction

A minimum of 50 percent of the front and side facades shall consist of materials described by this sub-section.

- a. Masonry construction shall include all masonry construction which is composed of solid, cavity, faced or veneered-wall construction, or similar materials approved by the Planning and Zoning Commission.
- b. Stone materials used for masonry construction may consist of granite, sandstone, slate, limestone, marble or other hard and durable all-weather stone. Ashlar, cut stone and dimensioned stone construction techniques are acceptable.
- c. Brick material used for masonry construction shall be composed of hard-fired (kiln-fired), all weather common brick or other all-weather common brick or all-weather-facing brick.
- d. Concrete finish or precast concrete panel (tilt wall) construction shall be exposed or aggregate, hammered, sandblasted or other finish as approved by the Planning and Zoning Commission.
- e. Stucco or approved gypsum concrete/plaster materials are also permitted.

2. Glass Walls

Glass walls shall include glass-curtain walls or glass-block construction. A glass-curtain wall shall be defined as an exterior wall which carries no floor or roof loads and which may consist of a combination of metal, glass and other surfacing materials supported in a metal frame.

3. Metal Walls

- a. The use of metal siding is permitted only in industrial districts and only for side and rear façades. The materials used on the front façade shall be incorporated into any façade visible from a public street to break up the monotony of those facades.

- b. The use of corrugated panels, with a depth of less than three-quarter inch or a thickness less than U.S. Standard 26 gauge is prohibited.
- c. The use of unpainted metal panels, excluding panels made from copper, weathering steel, or stainless steel, is prohibited. The color finish of metal panels and exposed fasteners shall have extended durability with high resistance to fade and chalk.
- d. Corrugated metal facades shall be complemented with masonry, brick, stone, stucco or split-face block. Architectural metal panels may be an acceptable substitute for masonry. Appropriate landscaping shall be used to complement and enhance a building's design, color and material.

Four-sided architecture is proposed for the building. Building materials consist of stone, wood siding and aluminum metal accents and soffits. Articulation of the building walls are provided at one of the building corners. Window and door canopies are proposed to add articulation to the walls.

The proposed development does comply with the building design standards of the UDC.

5. Pedestrian Access:

Sidewalk and ADA compliant access to the building is provided from Foxwood Drive at the southeast property corner.

A five-foot wide sidewalk is required to be installed from Foxwood Drive to the site and will be appropriately striped in the parking area.

6. Signage:

Signs are not approved as part of the site plan review. The site plan does reflect a potential location and landscaping for a monument sign.

7. Fire District Review:

The site plan was reviewed by the South Metropolitan Fire Protection District.

The Fire District requires the issuance of a building permit separate from the building permit issued by the City of Raymore.

8. Stormwater Management:

Stormwater runoff is collected and detained in an underground enclosed storm sewer system. This system will then connect to the public stormwater system that crosses through the front of the property.

Stormwater treatment is being provided on site through the use of a Nyoplast Envirohood over the outlet pipe to catch trash and debris.

9. Site Lighting:

There are two existing light poles on the property that will remain. Building accent lighting will also be provided. The site is currently in compliance with the lighting standards of the City.

10. Trash/Recycling Enclosure:

A trash enclosure is provided in the parking/access area to the north of the building. The trash enclosure is proposed to have a stone base to match the stone of the building. UDC section 430.110 states the trash and recycling enclosure to be permanently screened from view and all screens must match the primary color and material of the structure served. The trash enclosure is in compliance with City Code.

11. Screening of Mechanical Equipment:

All electrical and mechanical equipment located on the property shall be screened from view from adjacent properties and any adjacent street. Accessory utility facilities that are in excess of 3 ½ feet shall be screened. This requirement will be monitored when the equipment is installed to determine the applicability of the requirement.

The landscape plan identifies plantings to screen the transformer and utility connections near the northeast corner of the building.

12. Wetlands

No wetlands are on site.

13. Site Access:

Access to the site will be provided off of Foxwood Drive, Johnston Drive and Sunset Lane through cross access agreements with the shopping center.

14. Off-site Improvements: None

STAFF PROPOSED FINDINGS OF FACT

Section 470.160 of the Unified Development Code states that the Planning and Zoning Commission must make findings of fact taking into consideration the following:

a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;

The site plan does comply with all applicable standards of the Unified Development Code and all other applicable City ordinances and policies.

b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;

The site plan does not conflict with any of the adopted master plans of the City or the purpose and intent of the Unified Development Code.

c. the proposed use is allowed in the district in which it is located;

The proposed use(s) are allowed within the existing "C-3" Regional Commercial District.

d. vehicular ingress and egress to and from the site, and circulation within the site provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;

Vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of vehicles.

e. the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;

The site provides access from the existing sidewalk along highway 58 to the site with a pedestrian crossing, as well as crossing at the northern property lines to allow pedestrian access from the shopping center parking to the site.

f. the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services;

The placement of the building on the site does allow for efficient use of the land and minimizes potential adverse impacts on existing and planned municipal infrastructure and services as well as the existing commercial property to the north.

- g. open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;**

Open space is provided to the north and south of the building as well as through larger than typical parking islands, which help to delineate parking and vehicle movement through the site.

- h. the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;**

The site plan avoids unnecessary alterations to the site. There is minimal site grading necessary to develop the property.

- i. provides adequate parking for the use, including logical and safe parking and circulation;**

Parking for the use exceeds the minimum requirement and is provided in a logical manner. Circulation through the site is well planned.

- j. provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates; and**

Adequate landscaping is provided for the site. The required site trees are provided in addition to the on-site landscaping.

- k. includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.**

The site lighting plan is in compliance with the UDC and minimizes adverse impacts on adjacent properties.

REVIEW OF INFORMATION AND SCHEDULE

Action
Site Plan Review

Planning Commission
January 5, 2021

STAFF RECOMMENDATION

Staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and approve Case #20028 Heartland Dental Site Plan subject to the following conditions:

Prior to commencement of any land disturbance activities:

1. State of Missouri and City of Raymore land disturbance permits shall be obtained prior to the commencement of any site grading or land disturbance activities.
2. All erosion control measures identified on the site disturbance plan and required by the land disturbance permit must be installed prior to grading and these measures must be maintained until the requirements of the SWPPP are satisfied.

Prior to issuance of a Building Permit

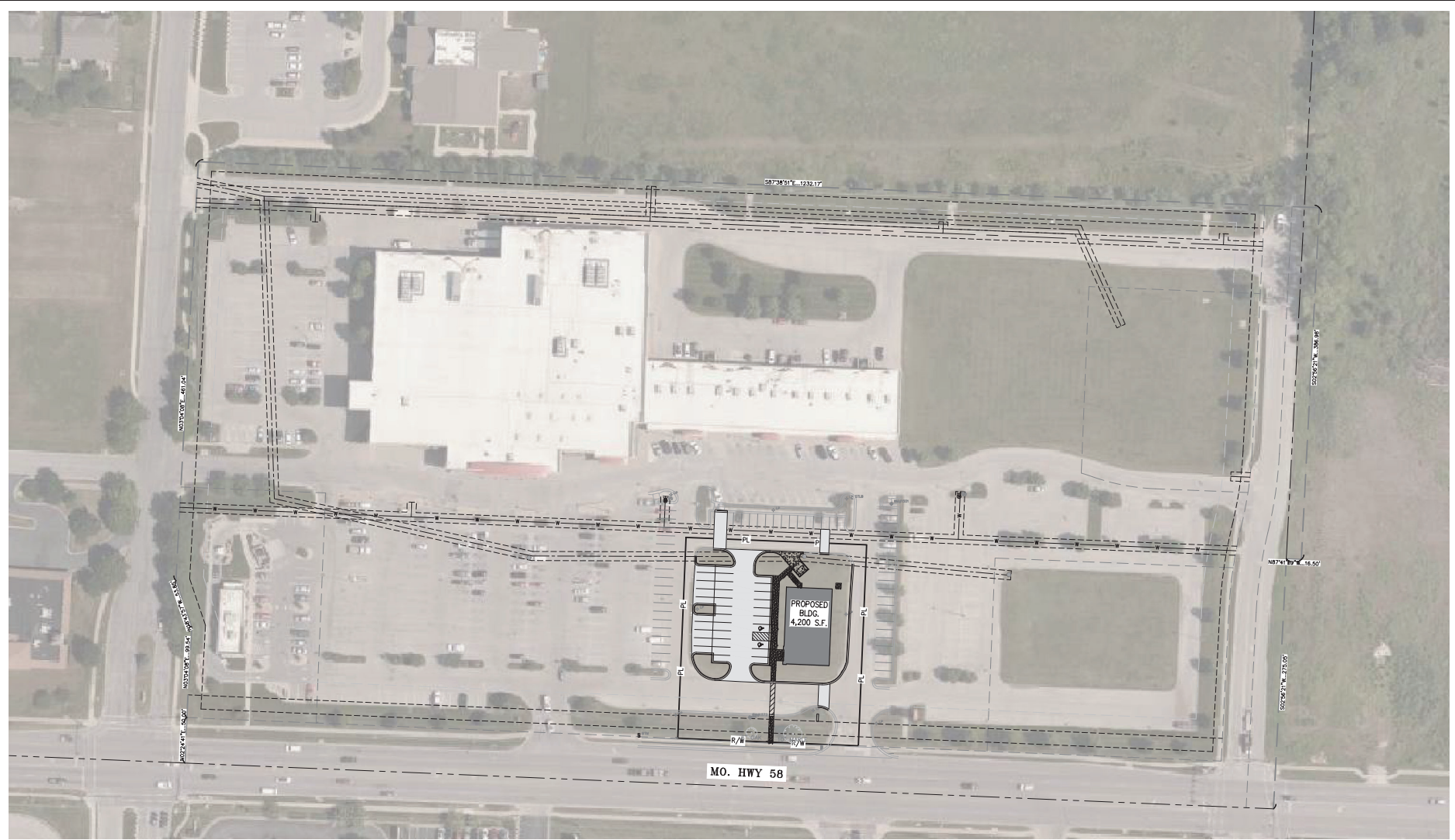
3. Building construction plans shall be approved by the Building Official.

Prior to issuance of a Certificate of Occupancy:

4. All accessible parking spaces must be identified by signs complying with the Manual of Uniform Traffic Control Devices and the Department of Justice, Code of Federal Regulation 28 CFR Part 36, ADA Standards for Accessible Design. The sign must be vertically mounted on a post or wall no more than five feet from the space and centered on the width of the space.
5. Van accessible parking spaces shall be served by an access aisle a minimum of ninety-six inches wide and shall be designated "lift van accessible only" with signs that meet the requirements of the federal Americans with Disabilities Act.
6. The electrical transformer box and any other accessory utility facility is taller than three and one-half feet or covers more than twenty-five square feet in area then it must be screened in accordance with Section 420.040D of the Unified Development Code.
7. Exterior utility connections to the building shall be screened.
8. All work shall be completed in accordance with the site plan approved by the Planning and Zoning Commission.

Perpetual Conditions:

9. Prior to removing erosion control measures at the conclusion of the project, the contractor must obtain concurrence from the City.
10. A signed copy of the weekly and post rain event erosion control inspection reports shall be submitted to the City upon completion of each report.
11. Owner must immediately notify City staff of any illicit discharge that enters or has the potential to enter the storm sewer system.



MO. HWY 58

S87°34'51\"/>

E02°42'21\"/>

N87°41'39\"/>

S07°42'31\"/>

N02°34'00\"/>

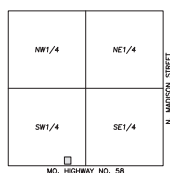
S42°24'41\"/>

N02°34'00\"/>

PREPARED & SUBMITTED BY:
 PHELPS ENGINEERING, INC.
 1270 N. WINCHESTER
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DEVELOPER:
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 105 NORTH STEWART COURT, SUITE 225
 LIBERTY, MO 64068
 CONTACT: JOHN DAVIS

OWNER:
 RAYMORE GROUP, LLC
 3845 W. 83RD STREET
 PRAIRIE VILLAGE, KS 66208
 CONTACT: KYLIE STOCK



VICINITY MAP
 SEC. 9-46-32

LEGEND

- PL — PROPERTY LINE
- - - LL - - LOT LINE
- - - R/W - - RIGHT-OF-WAY
- 2" CURB & GUTTER
- 4" CURB
- - - B/L - - BUILDING SETBACK LINE
- ASPHALT PAVEMENT
- PROPOSED BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK

LEGAL DESCRIPTION:
 LOT 3, RAYMORE MARKET CENTER, A SUBDIVISION OF LAND IN THE CITY OF RAYMORE, CASS COUNTY, MISSOURI.
GROSS AREA = ±1.0068 ACRES / ± 43,856 SQ.FT.



UTILITY NOTES:
 VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



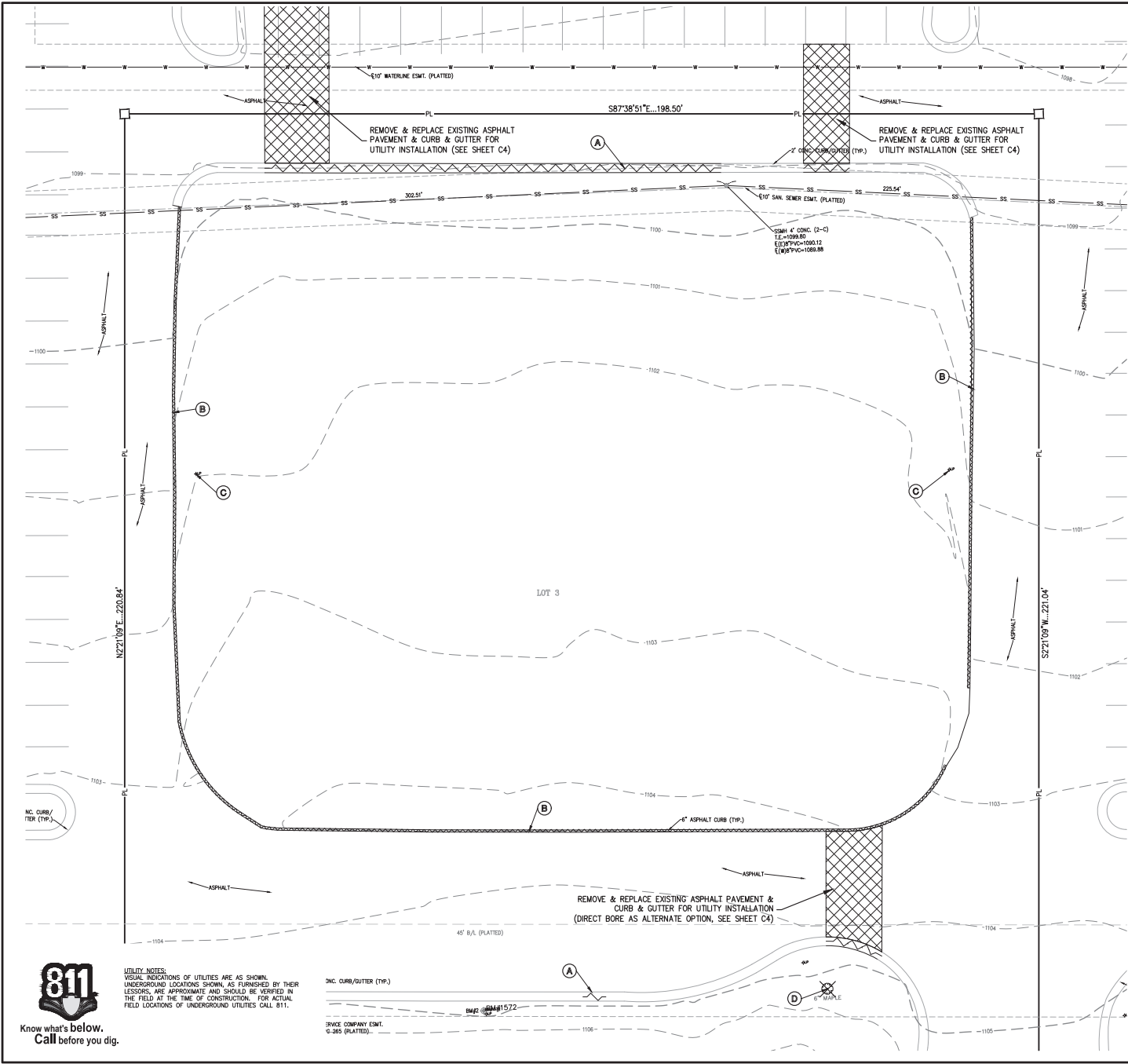
PHelps Engineering, Inc.
 1270 N. Winchester
 Olathe, MO 66061
 913-393-1155
 www.phelpseng.com



OVERALL SITE PLAN
 HEARTLAND DENTAL
 LOT 3, RAYMORE MARKET CENTER
 RAYMORE, CASS COUNTY, MISSOURI

PROJECT NO.	DATE	BY	REVISION
201117	11-23-20	SMI/DAF	RELEASED FOR STATE COMMENTS
NO.	DATE	BY	REVISION
1	11-23-20	SMI/DAF	RELEASED FOR STATE COMMENTS
2			
3			
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SHEET
 C0

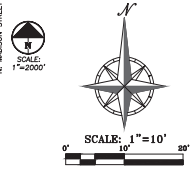
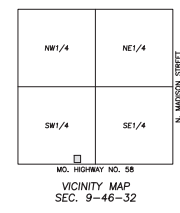


- DEMOLITION KEY NOTES:**
- (A) REMOVE EXISTING PRIVATE CONCRETE CURB & GUTTER.
 - (B) REMOVE EXISTING PRIVATE ASPHALT CURB.
 - (C) EXISTING LIGHT POLE TO REMAIN (RE: UTILITY PLAN).
 - (D) REMOVE EXISTING TREE.

LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- - - R/W - - - RIGHT-OF-WAY
- ~ ~ ~ REMOVE EXISTING CURB & GUTTER
- [Hatched Box] EXISTING BUILDING TO BE REMOVED
- [Cross-hatched Box] EXISTING ASPHALT PAVEMENT TO BE REMOVED
- [Dotted Box] EXISTING CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED
- [Stippled Box] EXISTING GRAVEL TO BE REMOVED
- [Circle with X] EXISTING TREE TO REMAIN
- [Circle with X] REMOVE TREE
- [Line with dots] EXISTING BURIED TELEPHONE
- [Line with dots] EXISTING CABLE TELEVISION LINE
- [Line with dots] EXISTING FIBER OPTIC LINE
- [Line with dots] EXISTING WATER LINE
- [Line with dots] EXISTING GAS LINE
- [Line with dots] EXISTING BURIED ELECTRIC
- [Line with dots] EXISTING OVERHEAD POWER LINE
- [Line with dots] EXISTING SANITARY SEWER
- [Line with dots] EXISTING STORM SEWER
- [Line with dots] EXISTING FIRE WYHOAST
- [Line with dots] EXISTING LIGHT POLE
- [Line with dots] EXISTING CHAIN LINK FENCE

- DEMOLITION NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
 - THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 - DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.



811
Know what's below.
Call before you dig.

UTILITY NOTES:
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INC. CURB/GUTTER (TYP.)
SMZ @ #1572
GRADE COMPANY EMT.
C-365 (PLATTED)

STATE OF MISSOURI
JUDGE CLAYTON
NUMBER
17579
DATE
12/28/2017

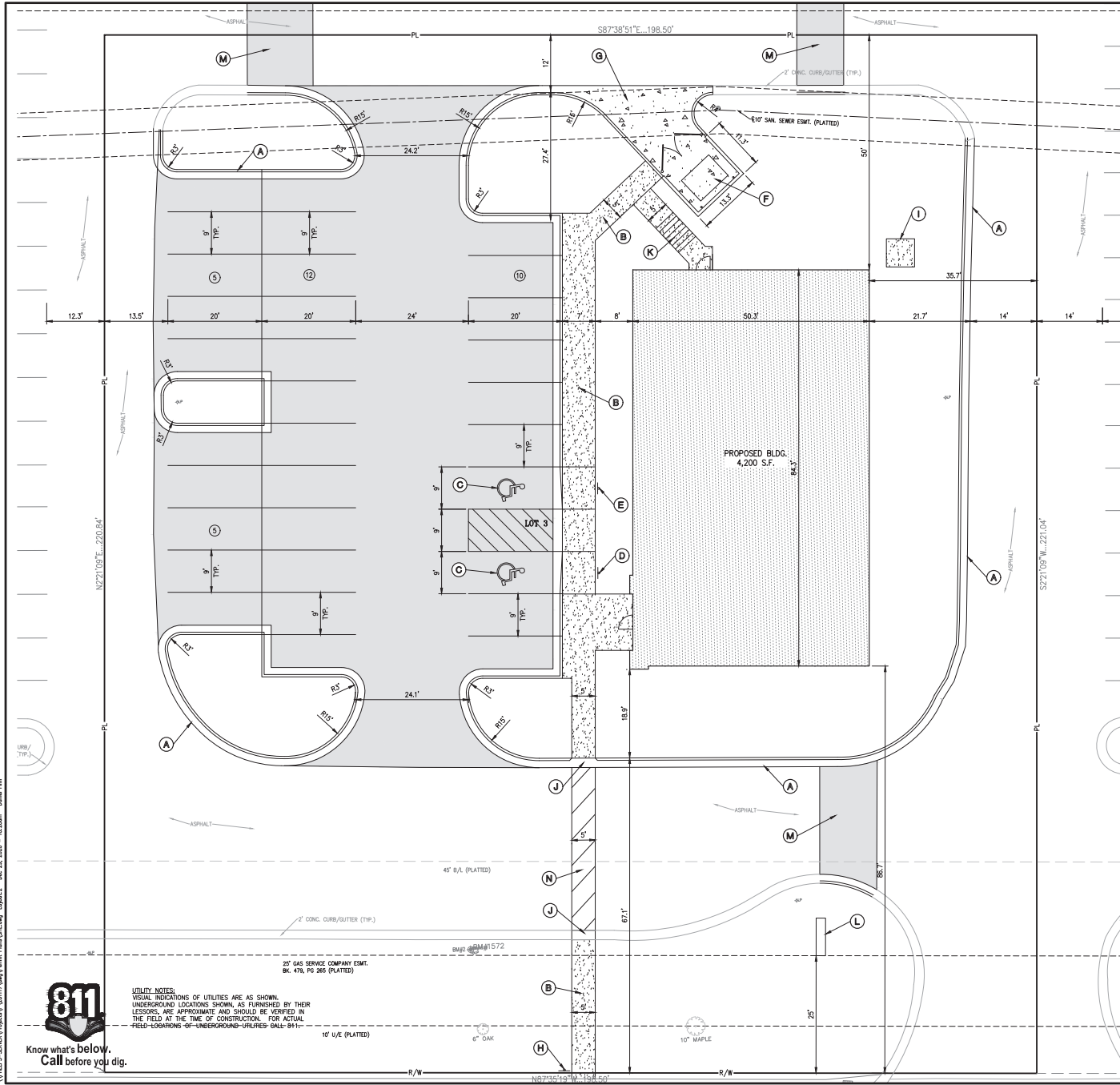
Produced by: [Logo]
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DEMOLITION PLAN
HEARTLAND DENTAL
LOT 3, RAYMORE MARKET CENTER
RAYMORE, CASS COUNTY, MISSOURI

PROJECT NO.	201717	NO.	11	DATE	12-28-17
BY	SMZ	REVISION	RELEASED FOR STATE COMMENTS		
DATE		DATE			
DATE		DATE			
DATE		DATE			
DATE		DATE			
DATE		DATE			
DATE		DATE			
DATE		DATE			
DATE		DATE			

PROJECT NO. 201717
VICINITY MAP
SEC. 9-46-32

SHEET
C1



SITE PLAN NOTES:

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference:
 - City ordinances & O.S.A. Regulations.
 - The City of Raymore, MO Technical Specifications and Municipal Code.
- The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Raymore, MO, and all other governing agencies (including, but not limited to, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
- The demolition and removal/relocation of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste materials removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste materials. The disposal of waste materials shall be in accordance with all local, state and federal regulations.
- Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
- All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All underground utilities shall be protected at the contractor's expense. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall report all damages at his expense.
- The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
- SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include notice of the adequacy of the contractor's safety measures, in, or to meet the construction site.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

SITE DIMENSION NOTES:

- BUILDING SETBACKS SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDING.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FROM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
- TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERMAN WILLIAMS S-W TRAFFIC MARKING SERIES 300-025 OR APPROVED EQUAL. THE PAVEMENT MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

LEGAL DESCRIPTION:
 LOT 3, RAYMORE MARKET CENTER, A SUBDIVISION OF LAND IN THE CITY OF RAYMORE, CASS COUNTY, MISSOURI.
GROSS AREA = ±1.0066 ACRES / ± 43,866 SQ.FT.

SITE KEY NOTES:

- (A) CONSTRUCT PRIVATE 2' CURB & GUTTER (TYPICAL).
- (B) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- (C) CONSTRUCT ACCESSIBLE PARKING SPACE. INSTALL MARKINGS PER STANDARD DETAIL.
- (D) INSTALL ACCESSIBLE PARKING SIGN.
- (E) INSTALL VAN ACCESSIBLE PARKING SIGN.
- (F) TRASH ENCLOSURE (SEE ARCHITECT PLANS).
- (G) CONSTRUCT CONCRETE PAD FOR TRASH ENCLOSURE.
- (H) INSTALL "NON ADA ROUTE" SIGN. SEE SHEET CT.1 FOR DETAIL.
- (I) CONSTRUCT CONCRETE TRANSFORMER PAD (RE: UTILITY PLAN).
- (J) INSTALL LAYDOWN CURB & GUTTER AT SIDEWALK CONNECTION.
- (K) CONSTRUCT CONCRETE STEPS W/ HANDRAIL ON EACH SIDE.
- (L) PROPOSED MONUMENT SIGN LOCATION (RE: BUILDING PLANS).
- (M) STREET PATCH & REPAIR FOR UTILITY INSTALLATION (SEE SHEET C4).
- (N) INSTALL PAINTED CROSSWALK (TYP.)

LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2' CURB & GUTTER
- 6" CURB
- B/A — BUILDING SETBACK LINE
- ASPHALT PAVEMENT
- PROPOSED BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK

VICINITY MAP
 SEC. 9-46-32
 N. MADISON STREET
 MO. HIGHWAY NO. 58
 SCALE: 1" = 2000'

BUILDING & LOT DATA

Site Area	1.0066 Ac.
Zones	1 Story
Proposed Building No. of Stories	4,200
Total Building S.F.	0.0958
Floor Area Ratio (FAR)	

PARKING SUMMARY

Parking Provided - Lot	30 Spaces
Standard Parking Provided	2 Spaces
Handicap Accessible Parking Spaces Provided	3/2 Spaces
Total Parking Provided	
Parking Required:	7 Spaces
1 Space For Every 600 SF (Medical or Dental Clinic)	



UTILITY NOTES:
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SEAL OF MISSOURI
 JUDGE DAVID L. CASH
 NUMBER 1753/2017
 EXPIRES 12/31/2022

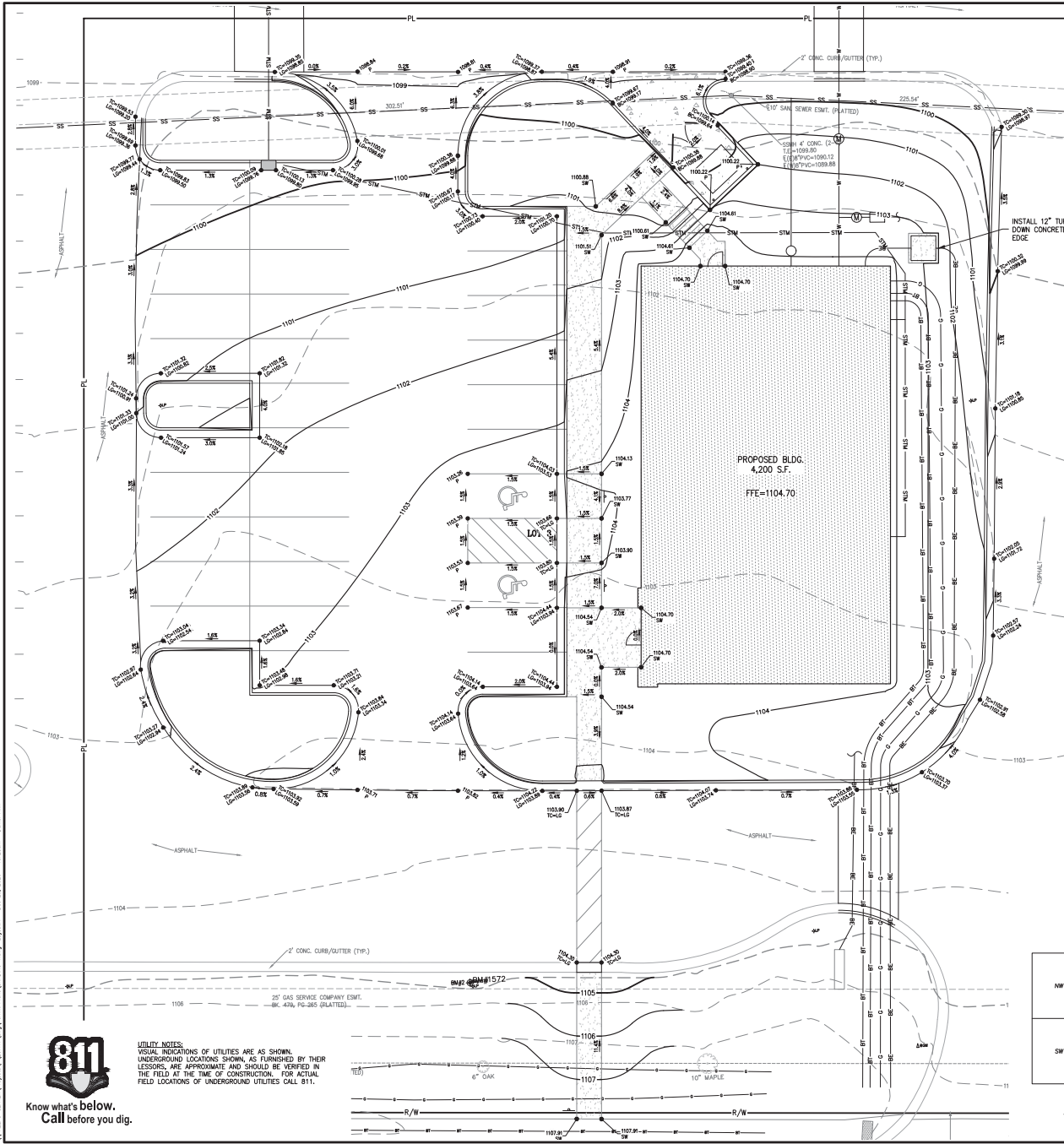
Project description, title, date, and other administrative information.

SITE PLAN
 HEARTLAND DENTAL
 LOT 3, RAYMORE MARKET CENTER
 RAYMORE, CASS COUNTY, MISSOURI

PROJECT NO. 201717
 DATE 11-17-2017
 NO. 11
 SCALE 1" = 2000'

REVISIONS TABLE

SHEET
 C2



SITE GRADING NOTES:

- CONTOURS AND ELEVATIONS:** Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finish grade. Contractor shall field check subgrade to allow for pavement and sub-base thickness.
- If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- CLEARING AND DRAINAGE:** Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of post-stripping operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping material shall not be recycled into the structure.
- TOPSOIL STRIPPING:** Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. A completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed during construction. Topsoil shall be stored to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil grades areas shall be visually inspected and accepted by the owner and the Engineer.
- Contractor shall adjust and/or cut existing pavement as necessary to ensure a smooth fit and continuous grade. Contractor shall ensure positive drainage away from buildings for all natural and paved areas.
- SUBGRADE PREPARATION:** Prior to placement of new fill material, the existing subgrade shall be profiled and approved under the direction of the Geotechnical Engineer or his representative.
- PROFILES:** Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill shall be systematically profiled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished grading areas to receive paving shall be profiled within 48 hours of paving. Unstable soils that are detected and that can not be reconstructed shall be over-excavated and replaced with controlled structural fill.
- EARTHWORK:**
 - GEOTECHNICAL:** All earthwork shall conform to the recommendations of the Geotechnical report. Soil report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
 - SURFACE WATER:** Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS:** All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris in areas where the thickness of the engineered fill is greater than five feet, but building and pavement construction shall not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
 - BUILDING SUBGRADE:** As specified in the Geotechnical Engineering Report, the upper section of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.
 - EXISTING SLOPES:** Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be bench graded providing a minimum vertical face of two feet (2'). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding six inches (6") (lower lift measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS:** The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (Standard Proctor Compaction). The moisture content at the time of placement and compaction shall within a range of 0.2% below to 0.4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture content shall be maintained within this range until completion of the work. Where compaction of earth fill is by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- All cut or fill slopes shall be 3:1 or better. All regraded parking areas shall be a minimum of 1% slope but not more than 0.5% slope unless otherwise noted. All pavements within asphalt parking areas shall not exceed 2% total slope. All grades around building shall be held three (3) feet from finish floor and slope away another 4" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
- TESTING AND INSPECTION:** Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fill and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
- CLASSIFICATION:** All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
- PERMANENT RESTORATION:** All areas disturbed by earthwork operations shall be seeded, unless shown otherwise by the landscaping plan or erosion control plan.
- UTILITIES:** The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- LAND DISTURBANCE:** The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state NPDES permit for storm water discharge associated with construction activities, refer to project S&P.P. requirements.

Earthwork Summary
Heartland Dental - Raymore, MO
12/3/2020

Raw Excavation	205 Cu. Yds.
In Place Compaction (+15%)	-583 Cu. Yds.
Pavement Adjustment	330 Cu. Yds. (assume 11" of additional excavation)
Building Adjustment	311 Cu. Yds. (assume 24" of additional excavation)
On Site Soil	261 Cu. Yds.

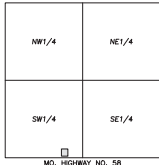
* EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING SOIL. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED TO RAW FILL QUANTITY TO ACCOUNT FOR SHRINKAGE.

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF RAYMORE, COMMUNITY NO. 20020, CASS COUNTY, MISSOURI, MAP NO. 29037C0037F AND 29037C0029F, AND DATED JANUARY 3, 2015.

- VERTICAL DATUM = NAVD83 BASED ON GPS OBSERVATION USING WOODT VMS
- FOUND FINISH FLOOR OF RETAIL BUILDING NORTH OF LOT 3
ELEVATION = 1096.70
 - SET "L" CUT ON CURB INLET AT THE SOUTHWEST CORNER OF CURB INLET AT THE NORTHEAST CORNER OF LOT 3.
ELEVATION = 1077.77
 - SET "R" CUT ON NORTH SIDE 2 FOOT CONCRETE BASE OF LIGHT POLE AT THE SOUTH MD LOT 3.
ELEVATION = 1087.78

LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2" — 2" CURB & OUTER
- 0.00 — EXISTING CONTOURS
- 0.20 — PROPOSED CONTOURS
- 0.50 — PROPOSED CONTOURS
- 1.00 — PROPOSED CONTOURS
- 2.00 — PROPOSED CONTOURS
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- 48.00 — PROPOSED CONTOURS
- 49.00 — PROPOSED CONTOURS
- 50.00 — PROPOSED CONTOURS



UTILITY NOTES:
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PROFESSIONAL SEAL

JAMES RAYMOND
LICENSED PROFESSIONAL ENGINEER
NUMBER 22528
EXPIRES 12/31/2025

PHelps ENGINEERING, INC.
1111 W. WASHINGTON
RAYMORE, MISSOURI 64083
WWW.PHELPSENGINEERING.COM

PHelps ENGINEERING, INC.
1111 W. WASHINGTON
RAYMORE, MISSOURI 64083
WWW.PHELPSENGINEERING.COM

GRADING PLAN
HEARTLAND DENTAL
LOT 3, RAYMORE MARKET CENTER
RAYMORE, CASS COUNTY, MISSOURI

PROJECT NO. 201717	DATE 11/23/2020	REVISIONS	BY	APP	CHK
OWNER OF APPLICABLE ZONING	DATE OF APPROVAL	DESCRIPTION OF REVISION	DATE OF REVISION	DATE OF APPROVAL	DATE OF APPROVAL

SHEET
C3



Professional Seal: JUDITH HAYD, License No. 1757, State of Missouri. Includes contact information for the engineering firm.



UTILITY PLAN
HEARTLAND DENTAL
LOT 3, RAYMORE MARKET CENTER
RAYMORE, CASS COUNTY, MISSOURI

PROJECT NO.	DATE	NO.	DESCRIPTION	BY	APP.
201117	11-25-20	1	RELEASED FOR STATE COMMENTS	JRH	JRH
201117	11-25-20	2	RELEASED FOR STATE COMMENTS	JRH	JRH
201117	11-25-20	3	RELEASED FOR STATE COMMENTS	JRH	JRH
201117	11-25-20	4	RELEASED FOR STATE COMMENTS	JRH	JRH
201117	11-25-20	5	RELEASED FOR STATE COMMENTS	JRH	JRH
201117	11-25-20	6	RELEASED FOR STATE COMMENTS	JRH	JRH
201117	11-25-20	7	RELEASED FOR STATE COMMENTS	JRH	JRH
201117	11-25-20	8	RELEASED FOR STATE COMMENTS	JRH	JRH
201117	11-25-20	9	RELEASED FOR STATE COMMENTS	JRH	JRH
201117	11-25-20	10	RELEASED FOR STATE COMMENTS	JRH	JRH

SHEET
C4

UTILITY NOTES:

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the utility companies and where possible, measurements taken in the field. The contractor is to be held on a daily basis to complete the contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate A/R to remove all existing utilities which conflict with the proposed improvements shown on the plans.
- The construction of storm sewers on this project shall conform to the requirements of the City's Technical Specifications and Design Criteria.
- The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation of locations where the proposed storm sewer collection or retention is existing. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
- It will be the contractor's responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. The top of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6 inches above finished ground elevations in non-paved areas. All separate or additional compensation shall be made to the contractor for making field adjustments to the manholes and boxes.
- Install locations, horizontal pipe information and vertical pipe information to be shown to the center of the structure. Deflection angles shown for storm sewer lines are measured from the center of each bend and manhole. The contractor shall adjust the horizontal location of the pipe to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide details on roof drain lines at 100' max. Spacing end of all lead points. Do not connect roof drains directly to storm sewer pipes.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other accessories required for a complete operable fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of the City.
- The contractor shall be responsible for furnishing and installing all fire and domestic water service lines from the buildings to the public line. All work shall conform to the requirements of the City.
- The contractor shall be responsible for securing all permits, bonds and insurances required by the local government, City, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurances shall be the contractor's responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and sewer harmless for any and all injuries, claims, losses or damages related to the project.
- The Contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include conduit, service lines, meters, electrical panel and all other hardware required for a complete and operational system as required by the owner and the public utility. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- All materials to be in the stock, complete and undamaged condition of the manufacturer. On-site installation engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the field area. All utilities to be placed in trench condition.
- Contractor shall notify the utility authorities 48 hours before excavation of any existing line.
- Water lines shall be as follows (unless otherwise shown on plans):
1. Sanitary Copper Tubing, Type "K", with copper ASTM B88.
2. Flexible Braided Copper (ULS) to delivery water pipe, C900E B 1423.
3. Minimum trench width shall be 2 feet.
- Contractor shall maintain a minimum of 42" cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to City's specifications for commercial services.
- All electric lines shall be kept low, ten (10) feet (ten feet) from sanitary sewer lines or manholes. Or when crossing in 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
- Sanitary conflicts will be resolved prior to permit issuance.
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection report prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with utility companies for installation requirements and specifications.
- Refer to building plans for the lighting electrical plan, integration, parking lot security system and associated conduit requirements. Coordinate with owner that all required conduits are in place & tested prior to pouring.
- Make a building utility connection from the utilities leading up to the building canopy to be made immediately, temporarily mark all such utility connections.
- Refer to the building plans for all lighting electrical requirements, including conduits, pole boxes, pull boxes, etc.

UTILITY KEY NOTES:

- (D1) PROPOSED ROOF DRAIN CONNECTION. SEE ARCH PLANS FOR DOWNSPOUT LOCATIONS. CONNECT DOWNSPOUTS TO EXTERNAL UNDERGROUND STORM LINE.
- (D2) INSTALL 4" HDPE PRIVATE STORM SEWER.
- (D3) INSTALL 2x4" NYPLAST CURB INLET W/ DIAGONAL GRATE, 24" NYPLAST DRAIN BASIN, & NYPLAST ENVIROWOOD OVER OUTLET PIPE. TOP ELEV=1100.00 (TOP OF CURB ELEVATION) FL IN (E) 8"=1096.00 FL OUT 12"=1098.40 BOTTOM ELEV=1091.90
- (D4) INSTALL 41 L.F. 12" HDPE PRIVATE STORM SEWER @ 10.00%
- (D5) FINISHED GRADE=1099.30 EX. 8" SANITARY FL=1088.993 PROP. 12" STORM FL=1088.26 VERTICAL SEPARATION = 4.8 FT
- (D6) EXISTING GRADE=1098.12 EX. 8" WATER FL=1094.24 (ASSUMED PER PUBLIC WATER PLANS) PROP. 12" STORM FL=1091.37 VERTICAL SEPARATION = 2.0 FT
- (D7) CONNECT TO EXISTING PRIVATE CURB INLET. EX. 30" FL IN (E)=1081.13 EX. 30" FL OUT (W)=1086.88 PROP. 12" FL IN (S)=1089.30
- (S1) CONNECT TO BUILDING INTERIOR PLUMBING TRANSITION FROM 4" INTERIOR TO 6" EXTERIOR AT FOUNDATION WALL. FL=1100.00
- (S2) INSTALL 6" SANITARY SEWER CLEANOUT. EX. 12" FL IN (S)=1103.90 FL=1103.50
- (S3) FINISHED GRADE=1103.50 PROP. 8" SANITARY FL=1100.00 PROP. 12" STORM FL=1091.20 VERTICAL SEPARATION = 2.0 FT
- (S4) INSTALL 6" PVC SANITARY SEWER SERVICE LINE (SDR=26) @ 1.0% MINIMUM SLOPE.
- (S5) CONNECT TO EXISTING 8" PVC PUBLIC SANITARY SEWER MAIN W/ INSERT-TEE CONNECTION. INSTALL 12 L.F. 8" PVC RISER (SDR=26). EX. 8" FL = 1099.34 PROP. 8" FL = 1100.44
- (T1) CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE TELEPHONE COMPANY FOR THE INSTALLATION OF BURIED TELEPHONE LINES. CONTRACTOR TO PROVIDE TWO (2) 4" PVC SCH. 40 CONDUITS FROM BUILDING TO R/W. CONTRACTOR TO TERMINATE IN GROUND BOX WITH CONDUIT FROM BUILDING TO TELEPHONE TIE POINT. CONTRACTOR TO VERIFY EXACT ROUTING AND TIE POINT WITH TELEPHONE COMPANY.
- (G1) GAS ENTRY WITH GAS METER. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR TYPE OF INDIVIDUAL METER. SIZE OF GAS MAIN SHALL BE AS DETERMINED BY UTILITY AS SHOWN ON BUILDING PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GAS COMPANY REGARDING THE SIZE & INSTALLATION OF GAS SERVICE LINE.
- (W1) CONTRACTOR TO COORDINATE 1" TAP ON EXISTING MAIN FOR PROPOSED DOMESTIC SERVICE LINE W/ WATER UTILITY. CONTACT WATER UTILITY FOR TAPPING REQUIREMENTS. CONTRACTOR TO PAY ALL FEES FOR WATER MAIN TAP. YIMBE BELL SERVICE CONTRACTOR FOR ACTUAL METER & SYSTEM DEVELOPMENT FEES ACCORDING TO WATER UTILITY.
- (W2) PROVIDE AND INSTALL 1" PRIMARY WATER METER PIT PER CITY REQUIREMENTS. CONTRACTOR TO COORDINATE AND PAY ALL FEES. ALL LABORS AND MATERIALS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR'S PLUMBER IN ACCORDANCE WITH CITY STANDARDS.
- (W3) 1-1/2" DOMESTIC WATERLINE ENTRY TO BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPROPRIATE DEVICES (IE. BUILDING PLANS), GATE VALVES, REDUCERS, BRICKS, TEES, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH WATER UTILITY. CONTRACTOR TO TRANSITION FROM 1" TO 1-1/2" AT THE POINT OF DOWNSPOUT OF WATER.
- (W4) PROVIDE AND INSTALL IRRIGATION DUCT WATER METER PIT AND RISE SHOWER PER CITY OF RAYMORE REQUIREMENTS. IRRIGATION METER, SYSTEM, AND BACKFLOW TO BE DESIGNED AND SIZED BY IRRIGATION CONTRACTOR. CONTRACTOR TO COORDINATE AND PAY ALL FEES. ALL LABORS AND MATERIALS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR'S PLUMBER IN ACCORDANCE WITH CITY OF RAYMORE STANDARDS.
- (E1) INSTALL OVERHEAD ELECTRICAL CONDUIT FOLLOW ELECTRIC COMPANY REQUIREMENTS AND SPECIFICATIONS FOR PRIMARY ELECTRICAL SERVICE.
- (E2) INSTALL CONCRETE TRANSFORMER PAD. CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH ELECTRIC COMPANY PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF CONCRETE PAD AND CONDUIT AS REQUIRED BY THE ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE S&W WORK WITH THE ELECTRIC COMPANY.
- (E3) ELECTRIC ENTRY INTO BUILDING. FOLLOW ELECTRIC COMPANY REQUIREMENTS FOR SECONDARY SERVICE (REFER TO BUILDING ELECTRICAL PLANS).
- (E4) ROUTE ONE (1) - 2" PVC SCH. 40 CONDUIT TO PROPOSED MOUNTING SIGN FOR SIGN LIGHTING.
- (L1) DISCONNECT AND REMOVE CONDUCTORS FROM EXISTING CONDUIT, INTERCEPT CONDUIT NEAR POLE BASE (SET BELOW GRADE SPACE BOX IF NECESSARY) AND CIRCUIT THIS POLE BASE TO PANEL IN LOT 3 BUILDING ELECTRICAL ROOM.
- (L2) SET BELOW GRADE SPACE BOX AND MAINTAIN FEED THROUGH POWER FOR COMMON AREA LIGHTING BUT CIRCUIT THIS POLE BACK TO PANEL IN LOT 3 BUILDING ELECTRICAL ROOM.

LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- CW — EXISTING CABLE TELEVISION LINE
- SW — EXISTING SATELLITE TELEVISION LINE
- PE — EXISTING POWER OPTIC LINE
- EL — EXISTING BURIED ELECTRIC LINE
- EP — EXISTING OVERHEAD POWER LINE
- ET — EXISTING OVERHEAD TELEPHONE LINE
- ES — EXISTING SANITARY SEWER LINE
- ST — EXISTING STORM SEWER LINE (8" SIZE)
- BT — EXISTING BURIED TELEPHONE LINE
- WT — EXISTING WATER LINE (8" SIZE)
- G — PROPOSED GAS LINE
- BE — PROPOSED BURIED ELECTRIC LINE
- BS — PROPOSED BURIED TELEPHONE LINE
- BW — PROPOSED BURIED WATER LINE
- W — PROPOSED WATER LINE
- ST — PROPOSED STORM SEWER

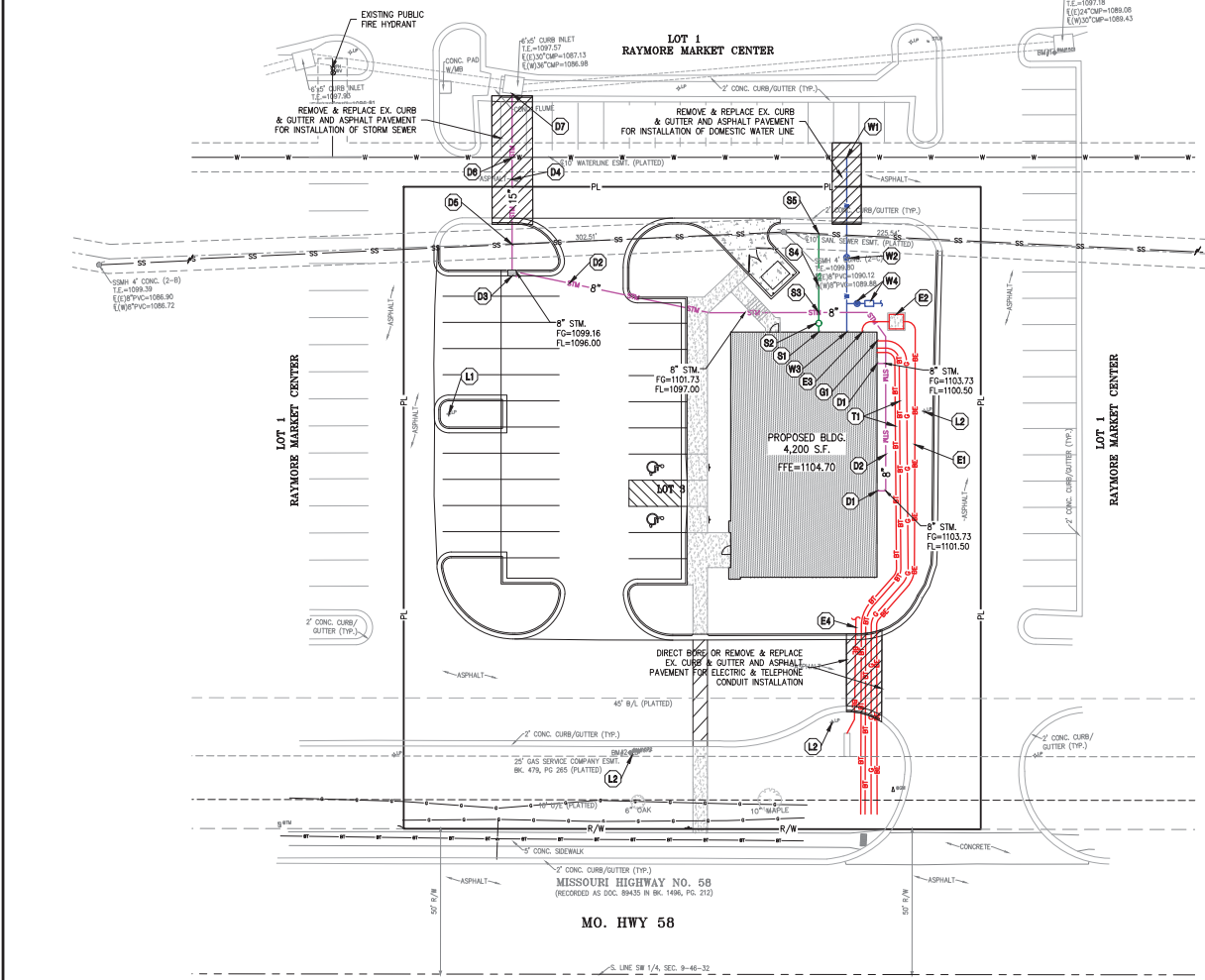
PARKING LOT LIGHTING NOTE:

ALL EXISTING PARKING LOT LIGHTS SHALL REMAIN IN PLACE. NO ADDITIONAL PARKING LOT LIGHTS SHALL BE PROVIDED WITH THIS PROJECT.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



Know what's below.
Call before you dig.



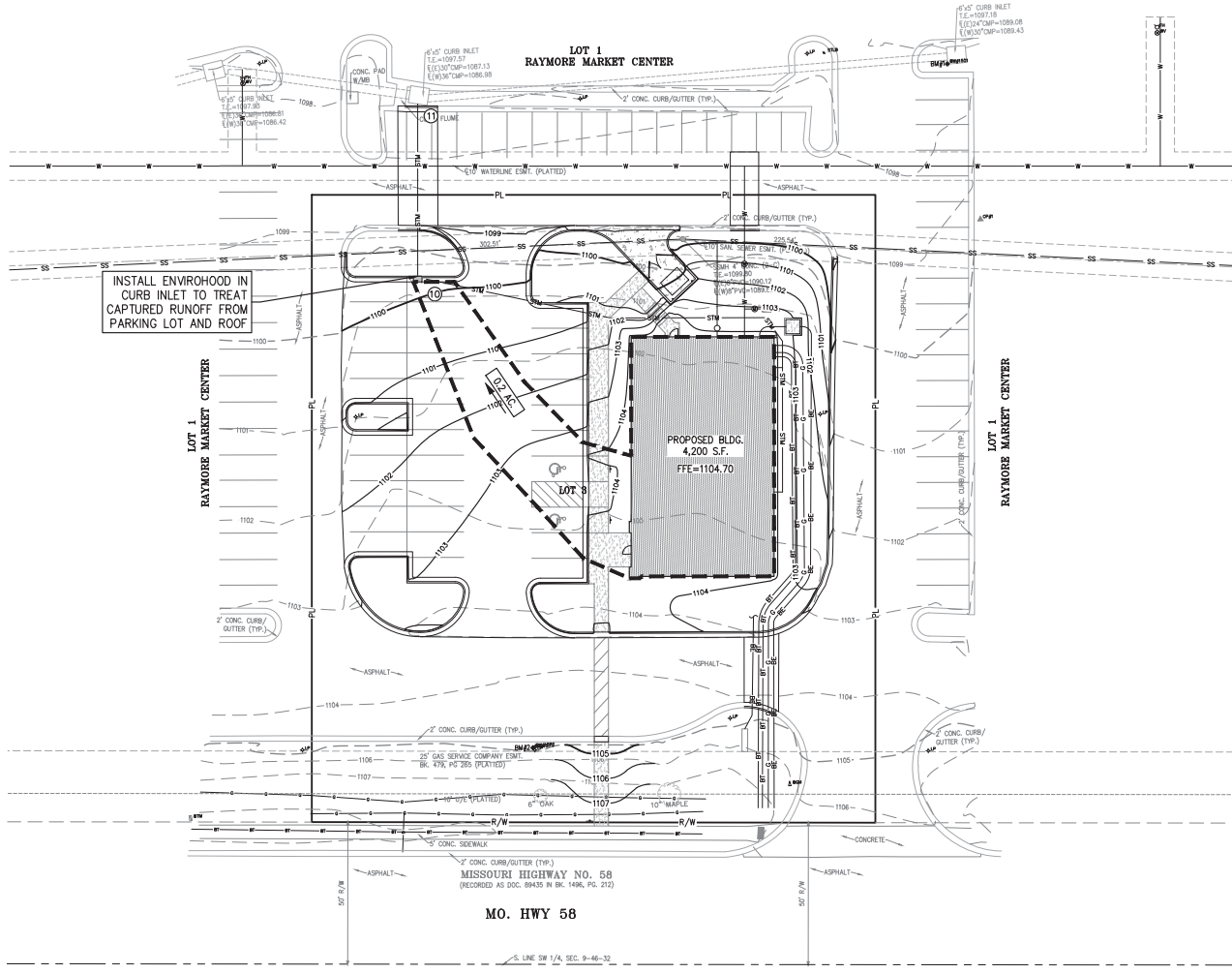
PROJECT: HEARTLAND DENTAL, LOT 3, RAYMORE MARKET CENTER, RAYMORE, MO. DATE: 11/25/20. DRAWN BY: JRH. CHECKED BY: JRH. SCALE: 1"=20'. SHEET: C4.

L:\MISC\GEN\Projects\2017\170117\Drawings\Plan\DRAINAGE_MW.dwg, Layout1, Dec 29, 2016 - 10:23am, David Pim



Know what's below.
Call before you dig.

UTILITY NOTES:
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UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL
FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



STORM DRAINAGE CALCULATIONS

DESIGN CRITERIA: $K25=1.1$; $K20=1.25$; $n=0.019$ (RCP); STORM FREQUENCY = 10 YEAR; A1 = AREA INLET; J.B = JUNCTION BOX; CI = CURB INLET; CC = CURB CUT; GI = GRATE INLET; HEIGHT OF STRUCTURE = RIM ELEV MINUS FLOWLINE ELEV.

LINE	NO.	I. RUNOFF				SYSTEM TIME OF CONCENTRATION "T" AT STRUCTURE (MIN)	RAINFALL INTENSITY "I" AT STRUCTURE (IN/HR)	ANTECEDENT PRECIPITATION "P" FACTOR ("K ₁ " / "K ₂ ")	RUNOFF "Q ₁ " / "Q ₂ " (CFD)	III. PIPE DESIGN										REMARKS				
		INCREMENTAL RUNOFF COEFFICIENT "C"	AREA "A" (ACRES)	C.S.A.	CUMULATIVE C.S.A.					STRUCTURE	PIPE													
									Upstream Structure Number	Downstream Structure Number	Upstream Invert Elevation	Downstream Invert Elevation	Segment "S" (FT)	Travel Time in Pipe "T" (min)	Velocity "V" (FPS)	Runoff "Q ₁ " (CFS)	Runoff "Q ₂ " (CFS)	Full Flow "Q ₃ " (CFS)	Pipe Material					
1	10	0.50	0.20	0.18	0.20	0.18	5.00	8.53	1.10	1.7	10	11	1100.10	15	61.00	1095.40	1089.30	0.1000	0.06	16.8	1.7	2.3	20.4	HDPE

ENVIROHOOD STRUCTURE

The HydroHood® EnviroHood™ is an innovative stormwater management device designed to be installed in the gutter of a curb and roadway. It is designed to prevent the overflow of flooding water out.

The hood for clear stormwater has curved multiple blades to channel floodwater quickly to the gutter to improve the overall water quality. The EnviroHood offers lower installed costs and less frequent maintenance than conventional devices.

ENGINEERED FOR OPTIMAL PERFORMANCE

The innovative design incorporates the same proven computerized technology used in ADS 1.2" pipe products. This allows maximum strength to resist loads and ensure the protection of existing hydraulic forces of a curbstone.

FEATURES & BENEFITS:

- Made from High Density Polyethylene (HDPE)
- No sharp edges for safety
- Complete design eliminates flat surfaces and provides increased structural capacity
- Effective low cost solution for storm water treatment
- Easy to install
- High corrosion resistant for long service life

ADS and ADS representatives are committed to providing you with the best products, service, and support.

The Most Advanced Storm Water Drainage System

NYLOPLAST ENVIROHOOD SPECIFICATION

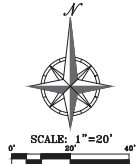
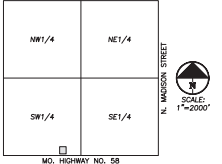
SCOPE
This specification describes the EnviroHood to be used in stormwater management systems.

REQUIREMENTS

- All details shall be constructed of polyethylene.
- The size and position of the hood shall be determined by the hood size and manufacturer's recommendations.
- The bottom of the hood shall extend downward a minimum distance of 1" (25 mm) for pipes 1.2" (30 mm).
- Installation methods and construction shall be provided to manufacturer.
- Installation shall be in accordance with the manufacturer's instructions and those listed by local building construction regulations.

PIPE SIZE (IN)	MINIMUM HOOD WIDTH (IN)	MINIMUM HOOD LENGTH (IN)	MINIMUM HOOD HEIGHT (IN)	MINIMUM HOOD WEIGHT (LBS)
1.2	12	12	1.2	1.2
1.5	15	15	1.5	1.5
1.8	18	18	1.8	1.8
2.1	21	21	2.1	2.1
2.4	24	24	2.4	2.4
2.7	27	27	2.7	2.7
3.0	30	30	3.0	3.0
3.3	33	33	3.3	3.3
3.6	36	36	3.6	3.6
3.9	39	39	3.9	3.9
4.2	42	42	4.2	4.2
4.5	45	45	4.5	4.5
4.8	48	48	4.8	4.8
5.1	51	51	5.1	5.1
5.4	54	54	5.4	5.4
5.7	57	57	5.7	5.7
6.0	60	60	6.0	6.0
6.3	63	63	6.3	6.3
6.6	66	66	6.6	6.6
6.9	69	69	6.9	6.9
7.2	72	72	7.2	7.2
7.5	75	75	7.5	7.5
7.8	78	78	7.8	7.8
8.1	81	81	8.1	8.1
8.4	84	84	8.4	8.4
8.7	87	87	8.7	8.7
9.0	90	90	9.0	9.0
9.3	93	93	9.3	9.3
9.6	96	96	9.6	9.6
9.9	99	99	9.9	9.9
10.2	102	102	10.2	10.2
10.5	105	105	10.5	10.5
10.8	108	108	10.8	10.8
11.1	111	111	11.1	11.1
11.4	114	114	11.4	11.4
11.7	117	117	11.7	11.7
12.0	120	120	12.0	12.0

For more information on EnviroHood and other ADS products, please contact our Customer Service Representatives at 1-800-821-8118.



Project No. 2017-170117
 Date: 12-29-16
 Scale: 1"=20'
 Drawing Title: DRAINAGE MAP
 Project Location: HEARTLAND DENTAL CENTER, LOT 3, RAYMORE MARKET CENTER, RAYMORE, CASS COUNTY, MISSOURI

Author: David Pim
 Checker: David Pim
 Designer: David Pim
 Approver: David Pim

Revision:
 1. RELEASE FOR STATE COMMENTS

SHEET
C5



Professional Seal
 State of Missouri
 License No. 17572
 JUDITH HAYD
 CIVIL ENGINEER



EROSION CONTROL PLAN
 HEARTLAND DENTAL
 LOT 3, RAYMORE MARKET CENTER
 RAYMORE, CASS COUNTY, MISSOURI

PROJECT NO.	DATE	BY	REVISION
201717	11-23-20	JSH	RELEASED FOR STATE COMMENTS

PROJECT NO. 201717
 DATE 11-23-20
 BY JSH
 REVISION RELEASED FOR STATE COMMENTS

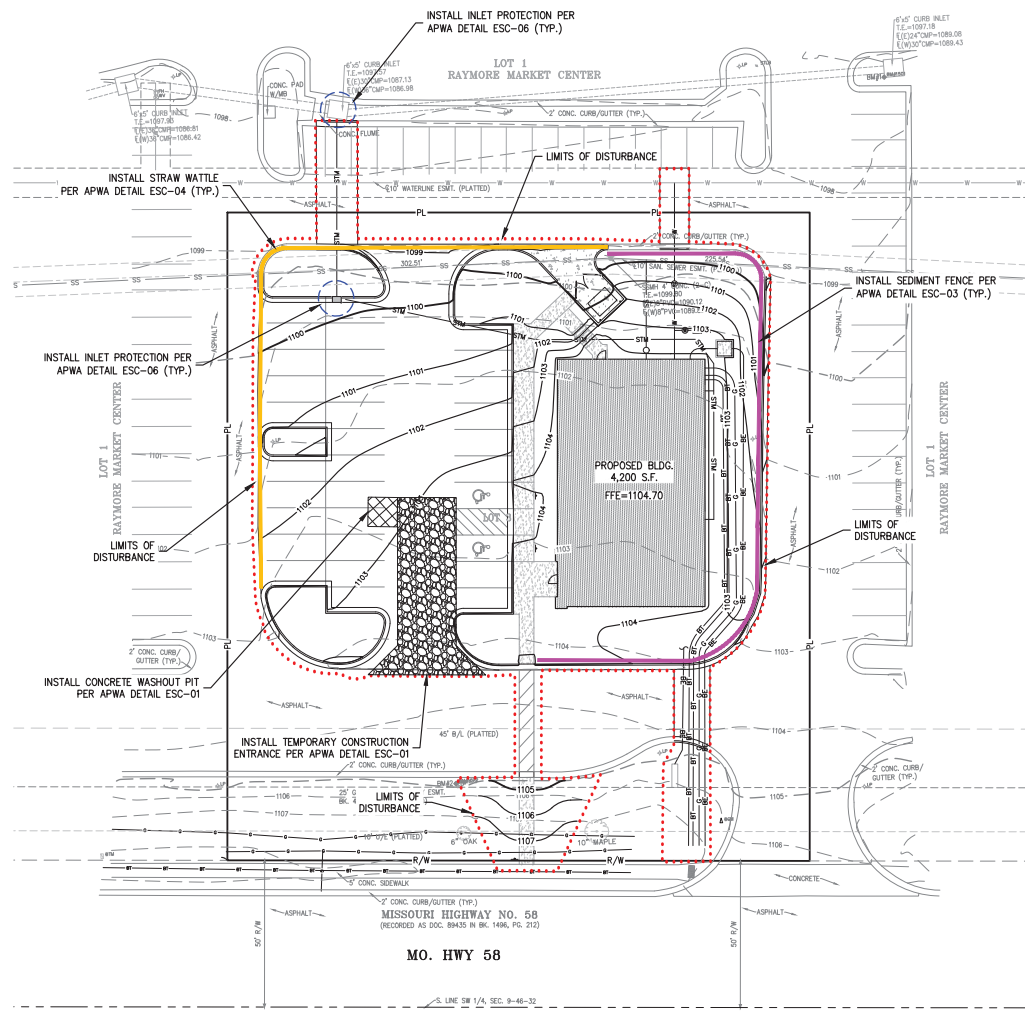
SHEET
C6

EROSION AND SEDIMENT CONTROL GENERAL NOTES:

- Prior to Land Disturbance activities, the contractor shall:
 - Delineate the outer limits of any tree or stream preservation designated to remain with construction fencing.
 - Construct a stabilized entrance/parking/delivery area and install oil perimeter sediment controls on the site.
 - Install and request the inspection of the preconstruction erosion and sediment control measures designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.
 - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, placement of physical barriers or other means acceptable to the contractor and the City Inspector.
- Erosion and sediment control devices protecting the public right-of-way shall be installed as soon as the right-of-way has been backfilled and graded.
- The contractor shall comply with all requirements of City Ordinances or State permit requirements, such as:
 - The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.
 - The contractor shall perform inspections of erosion and sediment control measures at least once every 14 days and within 24 hours following each rainfall event of 1/2" or more within any 24-hour period.
 - The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The log shall be available for review by the City, the State of Missouri, or other authorities having jurisdiction.
- Unless otherwise noted in the plans, all seeding must conform to the Missouri Department of Transportation (MCDOT) Standard Specifications for State Road and Bridge Construction, current edition, as amended by the most current Special Provisions.
- The contractor shall maintain installed erosion and sediment control devices on a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, tree preservation areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel. Failure to do so is a violation of the provisions of City Ordinances and State permit requirements.
- The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMP's in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.
- Concrete wash or rinsewater from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc., may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place and excess water evaporated or infiltrated into the ground.
- Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials store outside must be in closed and sealed water-proof containers and located outside of drainageways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.
- The construction covered by these plans shall conform to the current City Standards specifications of the City Planning & Development and Public Works Departments, Raymore, Missouri, except as noted.
- The contractor shall provide all materials, tools, equipment and labor as necessary to install and maintain adequate erosion control to prevent soil from leaving the project site. It shall be the contractor's responsibility to insure that the methods utilized comply with the requirements of the governmental agencies having jurisdiction over the work.
- The contractor shall control the grading operation so that the site is well drained at all times and shall schedule the work to minimize the erosion of material by the use of stacked straw bales and other acceptable methods to protect the abutting properties, streets, and all utilities.
- Erosion control devices shall remain in place for the duration of the project.
- The contractor shall seed/mulch and or sod all areas disturbed during the construction activities.
- All erosion control measures shall conform to the "Erosion and Sediment Control Specifications", as adopted by the City of Raymore, Missouri official document No. 940100.

MAINTENANCE:

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
 - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
 - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TYPING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TYPING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

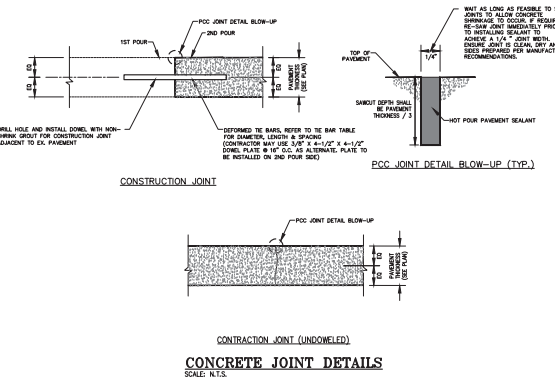


UTILITY NOTES:
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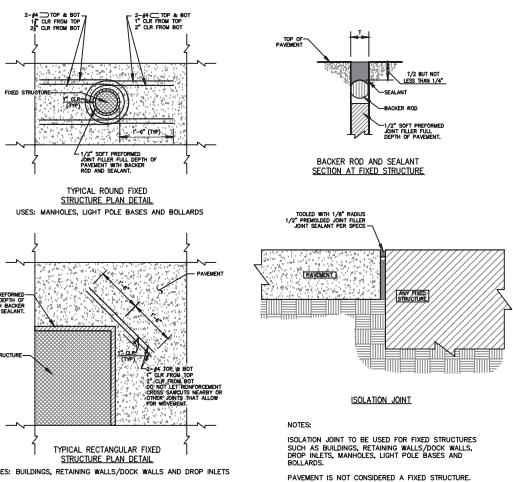
Dowel size*		
Slab depth, in. (mm)	Dowel diameter, in. (mm)	Total dowel length, in. (mm)
5 (125)	5/8 (146)	5 (125)
6 (150)	3/4 (190)	6 (150)
7 (180)	3/8 (22)	6 (150)
8 (200)	1 (25)	6 (150)
9 (225)	1-1/8 (29)	7 (180)

*All dowels spaced at 12 in. (300 mm) centers.
Use each side of joint.
Rebar must be placed in joint openings and for rebar errors in positioning dowels.

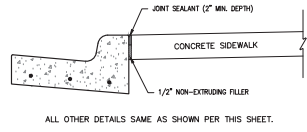
Tie bar dimensions			
Slab depth, in. (mm)	Tiebar size, in. (mm)	Tiebar spacing	
		Distance to nearest free edge or to nearest joint where movement can occur	24 ft. in. (mm)
5 (125)	1/2 x 24 (13 x 610)	30 (760)	30 (760)
5-1/2 (140)	1/2 x 24 (13 x 610)	30 (760)	30 (760)
6 (150)	1/2 x 24 (13 x 610)	30 (760)	30 (760)
6-1/2 (165)	1/2 x 24 (13 x 610)	30 (760)	30 (760)
7 (180)	1/2 x 24 (13 x 610)	30 (760)	30 (760)
7-1/2 (190)	1/2 x 24 (13 x 610)	30 (760)	30 (760)
8 (200)	1/2 x 24 (13 x 610)	30 (760)	30 (760)
8-1/2 (215)	1/2 x 24 (13 x 610)	30 (760)	30 (760)
9 (225)	1/2 x 30 (13 x 760)	36 (910)	36 (910)



CONCRETE JOINT DETAILS
SCALE: N.T.S.

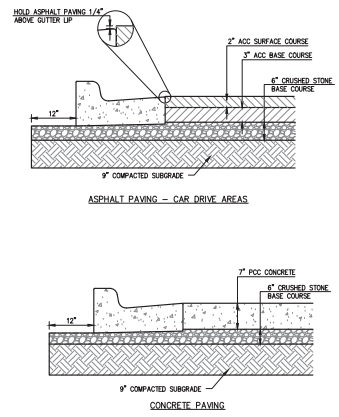


PRIVATE CURB & GUTTER DETAILS
SCALE: N.T.S.

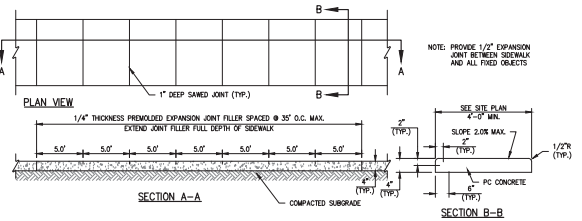


SIDEWALK AT CURB DETAIL
SCALE: N.T.S.

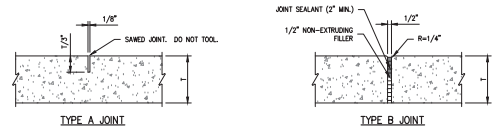
- GENERAL PAVING NOTES:**
- PRIOR TO PLACEMENT OF GRANULAR BASE OR ASPHALT, PROOF ROLL AND RE-COMPACT THE EXPOSED SURFACES UP TO A MINIMUM LATERAL DISTANCE OF TWO (2) FEET OUTSIDE THE PAVEMENT. ANY LOCALIZED SOFT, WET OR LOOSE AREAS IDENTIFIED DURING THE PROOF ROLLING SHOULD BE REPAIRED PRIOR TO PAVING. FILL MATERIAL SHOULD BE PLACED IN LOOSE LIFTS UP TO A MAXIMUM OF EIGHT (8) INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D1557 AT MOISTURE CONTENTS WITHIN ONE AND 1/4% OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF GREATER THAN 40, AND -1/2% TO 1% OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF LESS THAN 40. MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT SHOULD BE DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D 698).
 - PROOFROLL WITH A 25 TON RUBBER TIRE VEHICLE AND REPAIR SUBGRADE DEFECTS. IF ANY SIGNIFICANT DEFECTS, SUCH AS PROTRUSION OCCURS AFTER PROOFROLLING, THE SUBGRADE SHOULD BE REVIEWED BY QUALIFIED PERSONNEL IMMEDIATELY PRIOR TO PAVING THE PAVEMENT.
 - CRUSHED STONE BASE COURSE USED BENEATH CONCRETE PAVING SHALL BE COMPACTED AB-3 OR EQUIVALENT.
 - ASPHALTIC SURFACE COURSE SHALL BE AFPA TYPE 3. THE SURFACE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 92% MARSHALL DENSITY (ASTM SPECIFICATION D 1559). 30% RAP IS ALLOWED.
 - ASPHALTIC BASE COURSE SHALL BE AFPA TYPE 1. THE BASE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 92% MARSHALL DENSITY (ASTM SPECIFICATION D 1559). 30% RAP IS ALLOWED.
 - THE CONTRACTOR SHALL PROVIDE A TACK COAT BETWEEN LIFTS OF ASPHALT.
 - ALL SITE CONCRETE (CURBS, PAVEMENTS, SEEDWALKS, ETC.) SHALL MEET KANSAS CITY MATERIALS METRO BOARD (KCMMB) MIX DESIGN SPECIFICATIONS FOR 4000 P.S.I. AIR ENTRAINED CONCRETE.
 - IN NEW PAVEMENT AREAS, CONTRACTOR SHALL OVER EXCAVATE AS REQUIRED TO ESTABLISH NEW COMPACTED SUBGRADE ELEVATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL PAVEMENT AND SUBGRADE MATERIALS TESTING.



PAVING SECTIONS
SCALE: N.T.S.



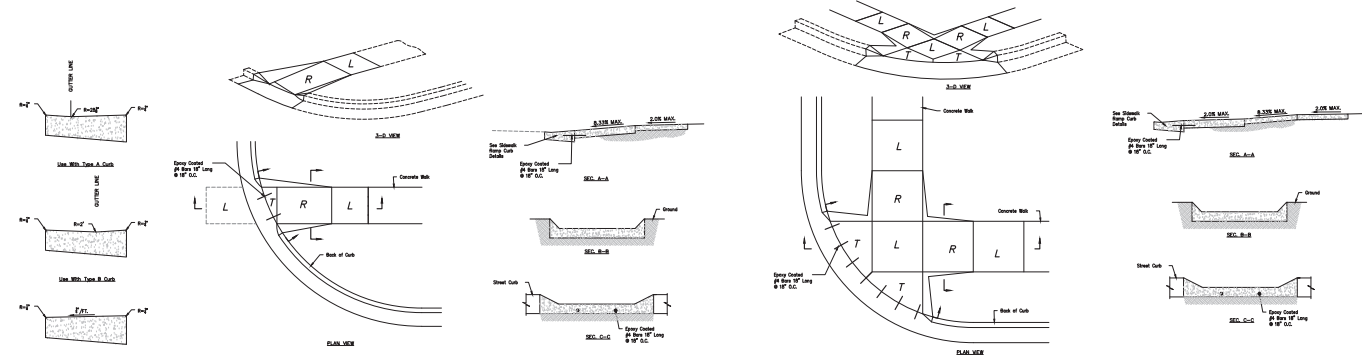
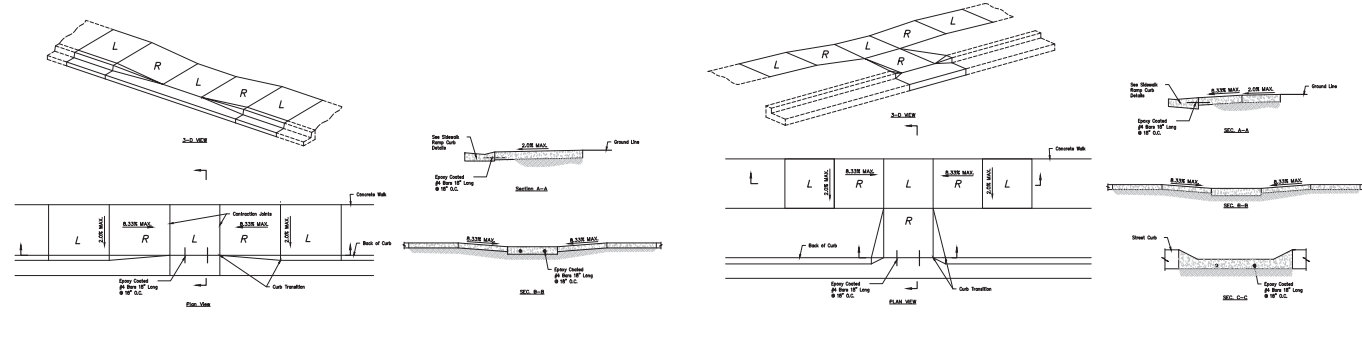
PRIVATE CONCRETE SIDEWALKS (NON REINFORCED)
SCALE: N.T.S.



CONCRETE SIDEWALK JOINT DETAILS
SCALE: N.T.S.

KANSAS CITY MATERIALS METRO BOARD
 LICENSED PROFESSIONAL ENGINEER
 NUMBER 15757/2007
 PROJECT NO. 201117
 SHEET NO. 11
 DATE 11-17-2010
 PROJECT TITLE: RELEASER FOR STATE COMMENTS
 DRAWING DATE: 11-17-2010
 DRAWING NO.: C-11
 SCALE: AS SHOWN
 PROJECT LOCATION: HEARTLAND DENTAL
 PROJECT ADDRESS: LOT 3, RAYMORE MARKET CENTER
 CITY: RAYMORE, MO
 COUNTY: CASS COUNTY, MISSOURI
 SHEET
C7

PROJECT NO.	2017-11	DATE	11-22-17	REVISION	RELEASER
BY	SMH/STP	DATE		FOR STATE COMMENTS	
DATE		DATE			

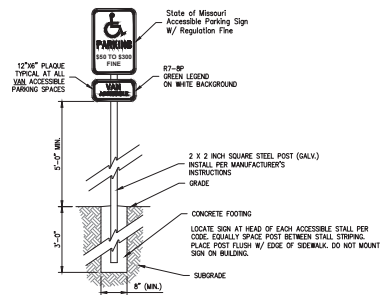


L = LANDING
 R = RAMP
 T = TRANSITION

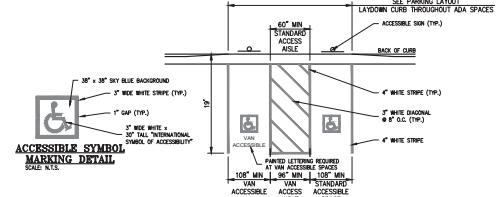
RAMP (Required to transition direction) Min. Length of Steps = 8.50
 Min. Landing = 3.00
 Min. Width = 3'
 Min. Slope = 1:12

LANDING (Required to change direction of travel) Min. Length of Steps = 2.00
 Min. Width = 3'
 Min. Slope = 1:12

PRIVATE SIDEWALK RAMPS
 SCALE: N.T.S.



ACCESSIBLE SIGN DETAIL
 IN GRASS AREA
 SCALE: N.T.S.



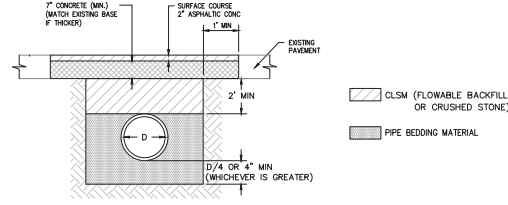
ACCESSIBLE SYMBOL
 MARKING DETAIL
 SCALE: N.T.S.

- GENERAL NOTES:
1. ALL PAVEMENT MARKINGS SHALL BE APPLIED BY A QUALIFIED CONTRACTOR USING AN AIRLAPED 3/4" (19MM) SPINDLE IN TRAFFIC SPACES PERMANENT MARKING APPLICATIONS.
 2. PAINT SHALL BE A NON-SLIPPING, QUICK-DRYING ALKYL PHTHALATE BASE PAINT SUITABLE FOR TRAFFIC-BEARING SURFACES AND SHALL MEET ITS TOP-DECK AND FINISH REQUIREMENTS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION.
 3. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL & DUST.
 4. APPLY TWO (2) COATS OF PAINT AT MANUFACTURER'S RECOMMENDED RATE BETWEEN THE HOURS OF DAWN WITH A NUMBER OF TWO SQUARE FEET PER GALLON. APPLY WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. AT CORNERS, CURVES AND SIDEWAYS USE A STRAIGHTEDGE TO ENSURE A UNIFORM, CLEAN & STRAIGHT STRIPE.
 5. THE FOLLOWING ITEM SHALL BE FINISHED WITH THE COLORS NOTED BELOW:
 A. HANDCAPP SYMBOLS SEE DETAIL THIS SHEET.
 B. PARKING STALL STRIPING PAINT.
 6. ACCESSIBLE PARKING SPACE DESIGN LAYOUT SHALL BE IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
 7. SEE SITE PLANS FOR COMPLETE PARKING LAYOUT.

ACCESSIBLE PARKING SPACE DETAIL
 SCALE: N.T.S.



NOT AN ACCESSIBLE
 ROUTE SIGN
 SCALE: N.T.S.



STREET CUT RESTORATION DETAIL

Section 2723
Engineered Surface Drainage Products

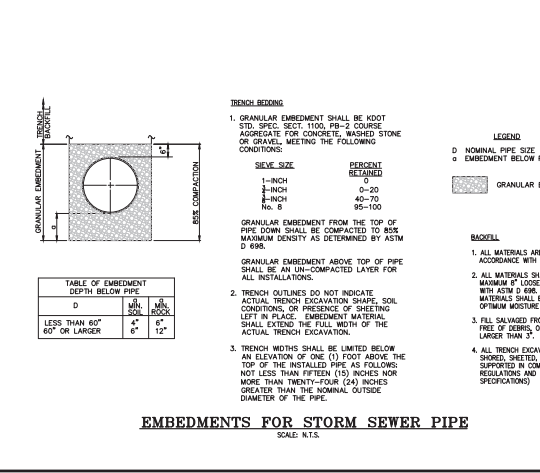
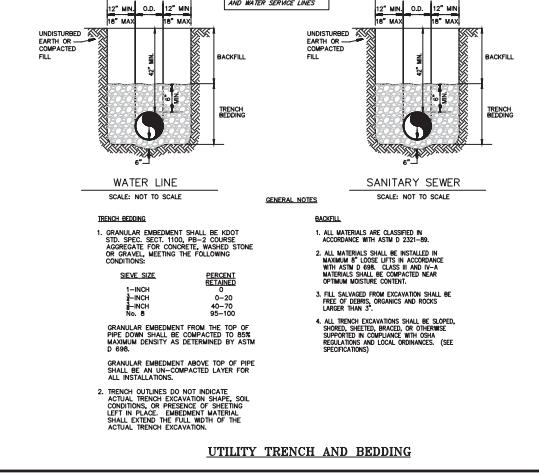
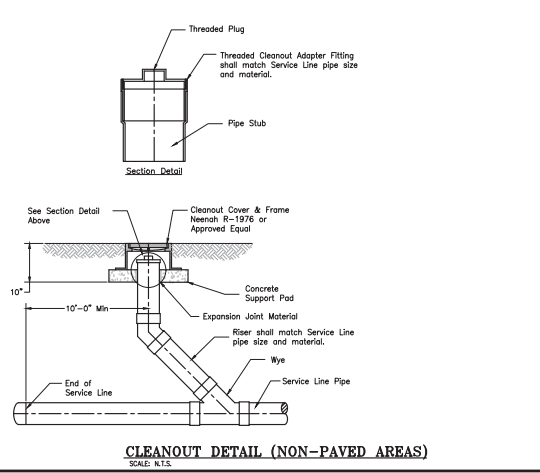
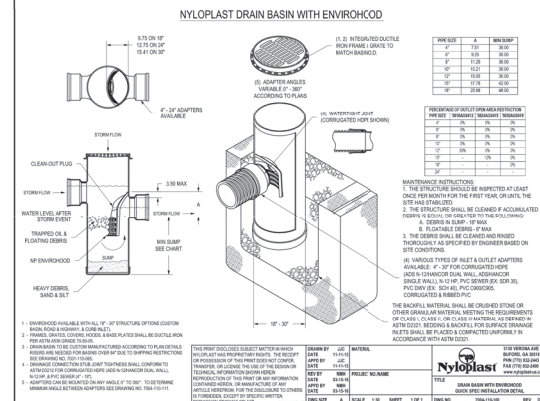
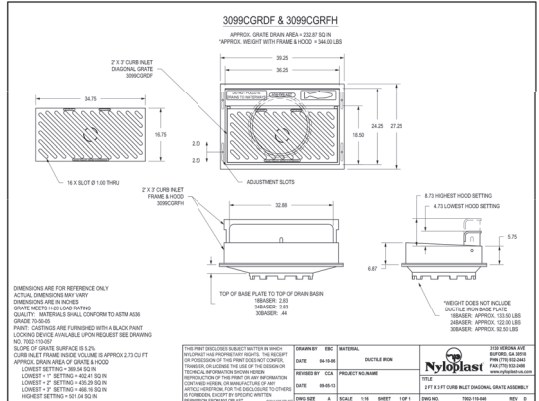
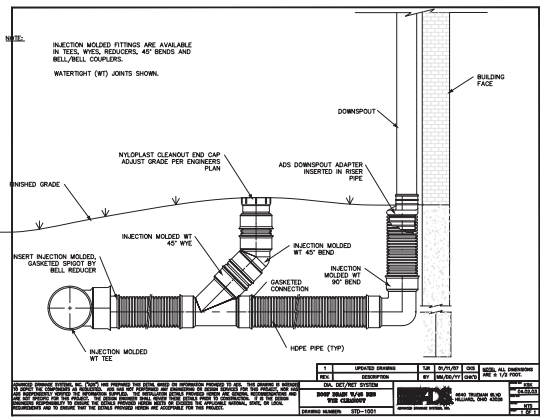
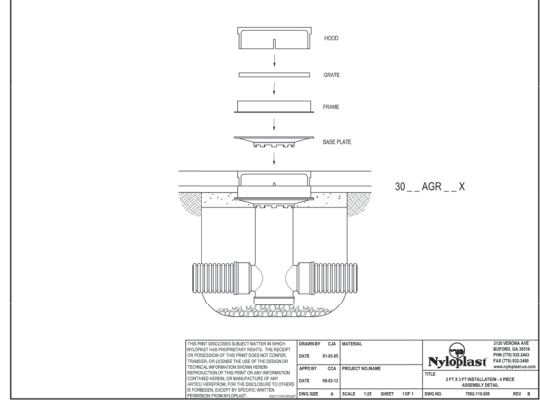
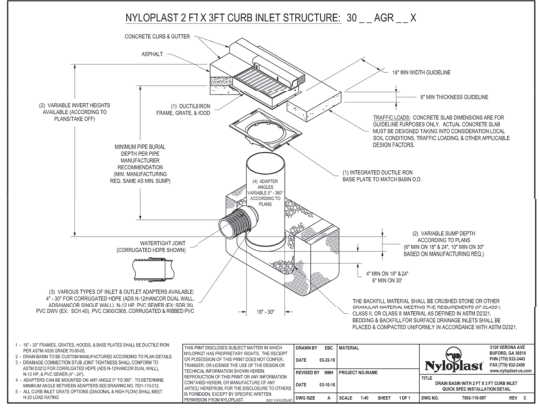
GENERAL
PVC surface drainage inlets shall be of the curb inlet structure type as indicated on the contract drawings and referenced within the contract specifications. The ductile iron frame, grate and hood for each of these products are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The curb inlet structure shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc. or prior approved equal.

MATERIALS
The curb inlet structure required for this contract shall be manufactured from PVC pipe stock, utilizing a thermo-ridding process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. The joint gaskets shall conform to ASTM D2222 for cast iron and meet plastic pipe joint gasket elastomer seals. The flexible elastomer seals shall conform to ASTM F427. The pipe wall girth shall be girthed to the main body of the structure. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grate, frame and hood for all curb inlet structures shall be ductile iron and shall be made specifically for use to provide a round bottom flange that closely matches the diameter of the PVC structure body. The grate, frame and hood shall be capable of supporting 14,000 wheel loading for traffic areas. The hood section will have a solid back and be adjustable by use of three (3) locking hex head bolts. The metal used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05 for ductile iron.

INSTALLATION
The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in ASTM D2222. Bedding and backfill for the curb inlet structure shall be placed and compacted uniformly in accordance with ASTM D2222. The curb inlet structure body will be cut at the end of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For H-20 load rated installations, a concrete ring will be poured under the frame, grate, and hood. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fresh ground water, and soil foundations refer to ASTM D2222 guidelines.

DESIGNER	DATE	SCALE	SHEET	NO.
NYLOPLAST	12/10/10	1/4" = 1'-0"	1	OF 1
PROJECT	NO.	DATE	BY	CHKD.
3099CGRDF & 3099CGRFH	12/10/10	12/10/10



STATE OF MISSOURI
JUDICIAL COUNCIL
NUMBER
175/2010
APPROVED
DATE

Professional Seal: J. H. Winkler, P.E., No. 10000, State of Missouri, Exp. 12/31/2012

Professional Seal: J. H. Winkler, P.E., No. 10000, State of Missouri, Exp. 12/31/2012

STORM SEWER DETAILS
HEARTLAND DENTAL
LOT 3, RAYMORE MARKET CENTER
RAYMORE, CASS COUNTY, MISSOURI

PROJECT NO.: 20117
DATE: 11/25/10
SCALE: AS SHOWN
SHEET NO.: 07.2
TOTAL SHEETS: 07.2

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/25/10	ISSUED FOR APPROVAL
2	12/10/10	ISSUED FOR CONSTRUCTION

APPROVED FOR CONSTRUCTION: J. H. Winkler, P.E., No. 10000, State of Missouri, Exp. 12/31/2012

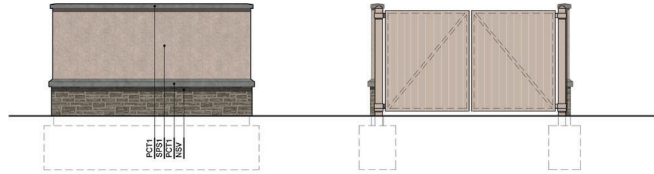
APPROVED FOR CONSTRUCTION: J. H. Winkler, P.E., No. 10000, State of Missouri, Exp. 12/31/2012

Exterior Finish Schedule

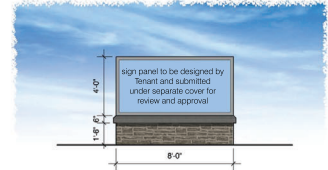
 PFM1 Pre-Finished Metal Berridge Stone Tan (parapet cap, metal trim)	 PCT1 Pre-Cast Trim Northfield Block Cordova Stone, Graphite Groundface nominal [masonry caps]
 NSV Canyon Stone Mountain (random - laid)	 SPS1 Class PB Dryvit Quartzputz Finish to match 110 Van Dyke (field)
 AAS Anodized Aluminum Stonefront Clear anodized aluminum stonefront system with nominal 1 3/4" x 4 1/2" frame and tempered 1" insulated glazing; "kameleon" or approved equal	 SPS2 Class PB Dryvit Quartzputz Finish to match 614 Smoke Signal (trim)
 WD Wood Siding Acroya Wood Siding Sonnoran w/ Dacca Profile	

Projection Calculations
Per UDC 440.010.B.2(8) a minimum of 1% percent of the area of each facade shall be recessed, projected, or alternatively staggered from the primary plane of the wall not less than one foot in depth or projection, excluding windows, doors or overhead doors.

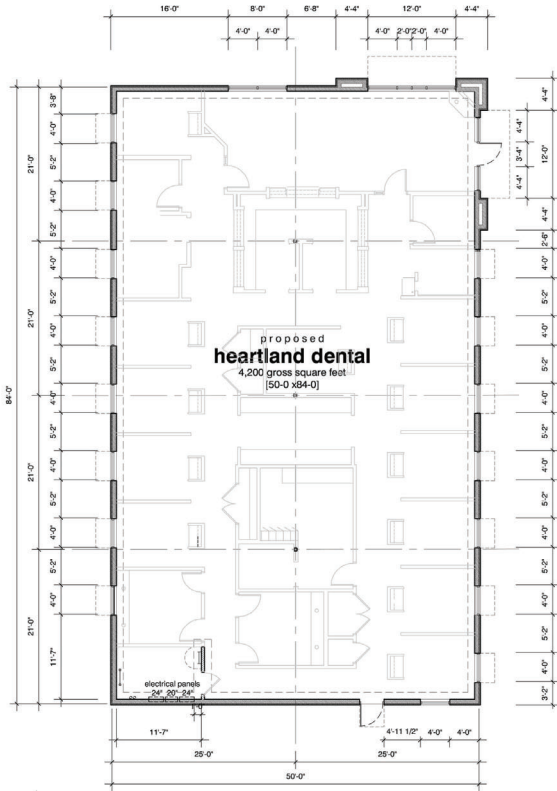
Elevation:	Non-Projected	Projected
West	836 sf (27.85%)	609 sf (62.15%)
South	425 sf (60.30%)	437 sf (60.70%)
North	715 sf (83.53%)	144 sf (16.47%)
East	1090 sf (77.58%)	315 sf (22.41%)



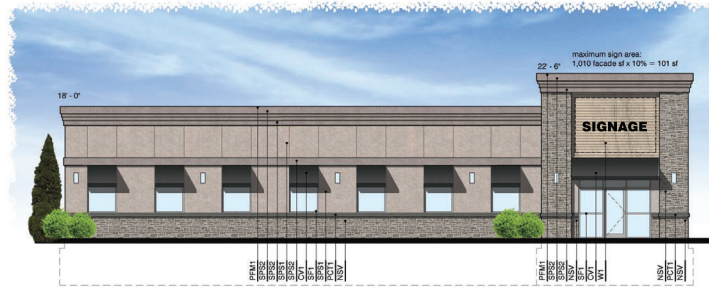
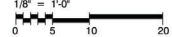
7 proposed
Trash Enclosure
1/4" = 1'-0"



6 proposed
Monument Sign
1/4" = 1'-0"



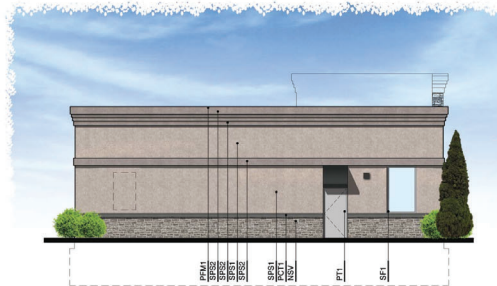
1 proposed
Floor Plan
1/8" = 1'-0"



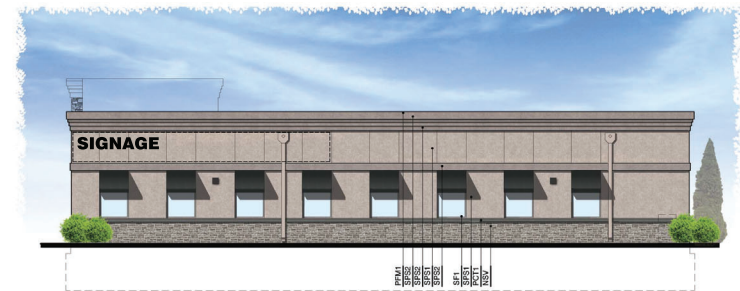
2 proposed
West Elevation
1/8" = 1'-0"



3 proposed
South Elevation
1/8" = 1'-0"



4 proposed
North Elevation
1/8" = 1'-0"



5 proposed
East Elevation
1/8" = 1'-0"

PLANT SCHEDULE

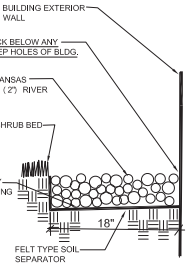
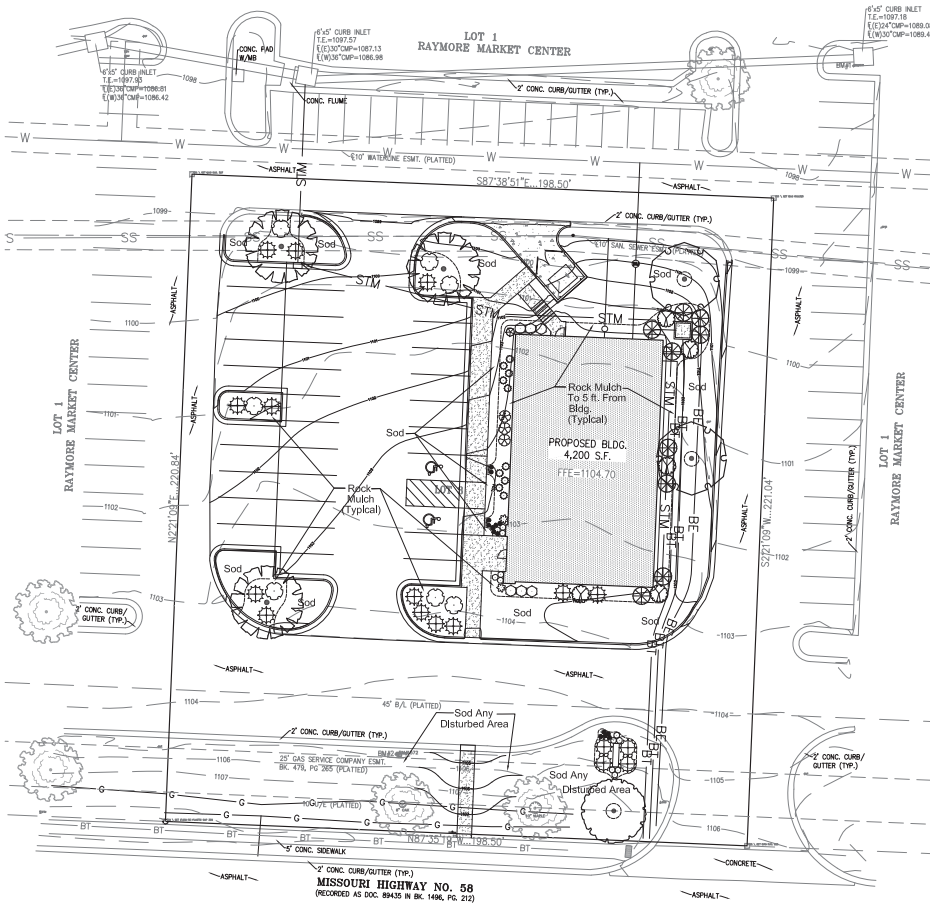
TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	2	Acer platanoides 'Superform' / Superform Maple	B & B	2.5'Cal
	1	Acer rubrum 'October Glory' TM / October Glory Maple	B & B	2.5'Cal
	3	Gymnocladus dioica 'Stately Manor' / Stately Manor Kentucky Coffee Tree Seedless	B & B	2.5' cal
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	6	Hypericum frondosum 'Sunburst' / Sunburst Hypericum	3 gal	
	10	Ilex glabra 'SMINIGAB17' TM / Gem Box Inkberry Holly	3 gal	
	9	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal	
	17	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper	3 gal	
	24	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar	6ft.	
	5	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark	5 gal	
	7	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	
	3	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	3 gal	
ANNUALS/PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT	
	14	Ceratostigma plumbagoides 'Blue Plumbago' / Blue Plumbago	1 gal	
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	
	12	Calamagrostis acutiflora 'Karl Foerster' / Feather Reed Grass	3 gal	

GENERAL LANDSCAPE NOTES:

- CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
- CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL MAKE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL STAKE LAYOUT PLAN IN THE FIELD AND SHALL HAVE THE LAYOUT APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE INSTALLATION.
- ALL LANDSCAPE BEDS SHALL BE TREATED WITH THE PRE-EMERGENT HERBICIDE PRE-M 60 DIG (GRANULAR) OR AN APPROVED EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TRENCHED EDGE. SEE SHRUB PLANTING DETAIL.
- FERTILIZER FOR FESCUE SODDED LAWN, TREES AND CONTAINER STOCK AREAS SHALL BE A BALANCED FERTILIZER BASED ON RECOMMENDATIONS FROM A SOIL TEST SUPPLIED BY THE LANDSCAPE CONTRACTOR FROM AN APPROVED TESTING LAB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PLANTS INCLUDING WEED CONTROL UNTIL COMPLETION OF THE JOB AND ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL WARRANTY ALL LANDSCAPE WORK AND PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.
- CONTRACTOR SHALL PROVIDE MAINTENANCE OF ALL TREES AND SHRUBS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION IF CONTRACTED BY THE OWNER.
- ANY PLANT MATERIAL WHICH DIES DURING THE ONE YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR DURING NORMAL PLANTING SEASONS.
- ALL PLANT NAMES ON THE PLANT LIST CONFORM TO THE STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE OR TO NAMES GENERALLY ACCEPTED IN THE NURSERY TRADE.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY STOCK AS DETERMINED IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. FREE OF PLANT DISEASES AND PESTS. OF THE QUALITY OF THE SPECIES AND HAVING A HEALTHY, NORMAL ROOT SYSTEM.
- SIZES INDICATED ON THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZE. IN NO CASE WILL SIZES LESS THAN THE SPECIFIED SIZES BE ACCEPTED.
- PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY TO THE SITE OR AFTER INSTALLATION EXCEPT FOR THOSE BRANCHES THAT HAVE BEEN DAMAGED IN SOME WAY.
- PLANTS SHALL NOT HAVE NAME TAGS REMOVED PRIOR TO FINAL INSPECTION.
- ALL PLANTINGS SHALL RECEIVE A COMMERCIAL TRANSPARENT ADDITIVE PER MANUFACTURER'S RECOMMENDED RATES AND INSTRUCTIONS FOR APPLICATION.
- MULCH SHALL BE 3" DEPTH OF KANSAS LARGE RIVER ROCK (2" SIZE OVER A FELT TYPE SOIL SEPARATOR CUT INTO THE GROUND WITH A TRENCHED EDGE AROUND BLDG. OTHER BEDS SHALL RECEIVE 3" OF DYE BROWN SHREDED HARDWOOD MULCH OVER SOIL SEPARATOR AS LABELED. SEE TREE DETAIL FOR DIFFERENT MULCH AROUND TREES.
- SEE PLANTING DETAILS FOR SOIL MIX IN PLANTING HOLES.
- SOD SHALL BE A TURF-TYPE-TALL FESCUE GRASS BLEND.
- IRRIGATION SYSTEM BIDDER SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF AN IRRIGATION SYSTEM INCLUDING PUBLIC RIGHT-OF-WAYS TO BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.

Dedicated Design Irrigation System:

- If an irrigation system is not provided with the Landscape Plans, the Contractor is to design a 100 percent coverage irrigation system, including comprehensive engineering analysis by a qualified Professional Engineer, using performance requirements and design criteria indicated per Owner's direction.
- Irrigation Contractor to design and install irrigation system and shall include all required components including, but not limited to, rain shut off sensor, controller, taps, backflow preventers, all approvals, and all fees required by city. Components to be manufactured by Rainbird or Hunter unless alternate manufacturer is expressly approved by the Owner or Owner's Representative.
- Irrigation Contractor shall submit a copy of plan to Owner's Representative or Project Landscape Architect for review prior to installation of system.
- Irrigation Contractor shall conduct a training session with the owner (or representatives) demonstrating the operation of the system and the controller. As part of this training, Contractor shall provide one spring start-up and one fall shut-down of the system.
- Landscape Contractor to provide cost estimates for irrigation system for all plant material indicated on plans.
- Irrigation system shall be tested and approved by Owner's Representative or Landscape Architect prior to backfilling trenches. Irrigation system shall be fully operational prior to the installation of any plant materials.
- All planting beds shall be watered by the irrigation system.
- General Contractor to supply all power required to operate irrigation system.
- Irrigation Contractor shall notify Owner's Representative or Project Landscape Architect of any changes to irrigation conduit locations or sizes.
- It is the Landscape Contractor's responsibility to determine water application rates and timer cycling. The Irrigation Contractor will instruct the Owner on the operation and programming of the controller.
- All zones and main lines will be pressure-tested at the time of installation and again prior to building turnover. Results shall be submitted in writing to Project Landscape Architect and Owner or Owner's Representative.
- Irrigation shall not spray on building, sidewalks, and drives.
- Irrigation controller location shall be coordinated with other wall-mounted service panels per Owner's approval.
- Landscape Contractor shall hand-water all trees, and turf grass areas until substantial completion.

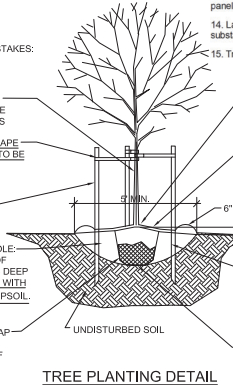


BUILDING ROCK EDGE

NO SCALE
PLACE ROCK AROUND ENTIRE BLDG. PERIMETER WHEREVER THERE IS NOT CONCRETE OR ASPHALT

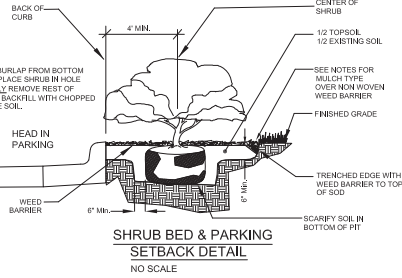
DIRECTION OF TREE STAKES:

- ONE SOUTHEAST
- ONE SOUTHWEST
- ONE NORTH



TREE PLANTING DETAIL

NO SCALE



SHRUB BED & PARKING SETBACK DETAIL

NO SCALE

Transplant Additives:
1. Apply a commercial transplant additive (approved by the Landscape Architect) to all trees, shrubs and groundcover at rates recommended by the manufacturer during the planting. This item shall be substituted to other planting items.

2. Transplant additive shall be Horticultural Alliance "DIETARIAN Transplant" (or approved equal) mycorrhizal fungal Transplant inoculant or equivalent. For all plants the appropriate species of mycorrhizal fungal and bacteria, fungal stimulant, water retaining agents, mineral & organic nutrients and inert ingredients.

3. Demonstrate installation of all transplant additives for this project to the Landscape Architect. Provide actual additive product as evidence of sufficient quantity of product. (Empty product bags to be stockpiled for inspection by the Landscape Architect prior to disposal).

4. Number of transplant additive packets per tree, shrub or groundcover shall be applied according to the manufacturer's recommended rates and instructions. For all plants the packet rate shall be evenly distributed into the upper approximately 8" of backfill soil next to the rootball. Do not place nix in the bottom of the planting pit.

5. Furnishing and application of transplant additive shall be substituted to the planting operations.

Utility Note:
Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Missouri call 1-800-DIG-RITE (344-7483) to have utilities located.



Landscape Plan
Heartland Dental
Raymore, Missouri

Opperman LandDesign, LLC
Land Planning & Landscape Architecture
18900 West 117th Street
Clotho, Kansas 66011
peter@oppermanlanddesign.com
913.934.9407

12/29/2020

SCALE 1" = 20'

MONTHLY REPORT NOVEMBER 2020

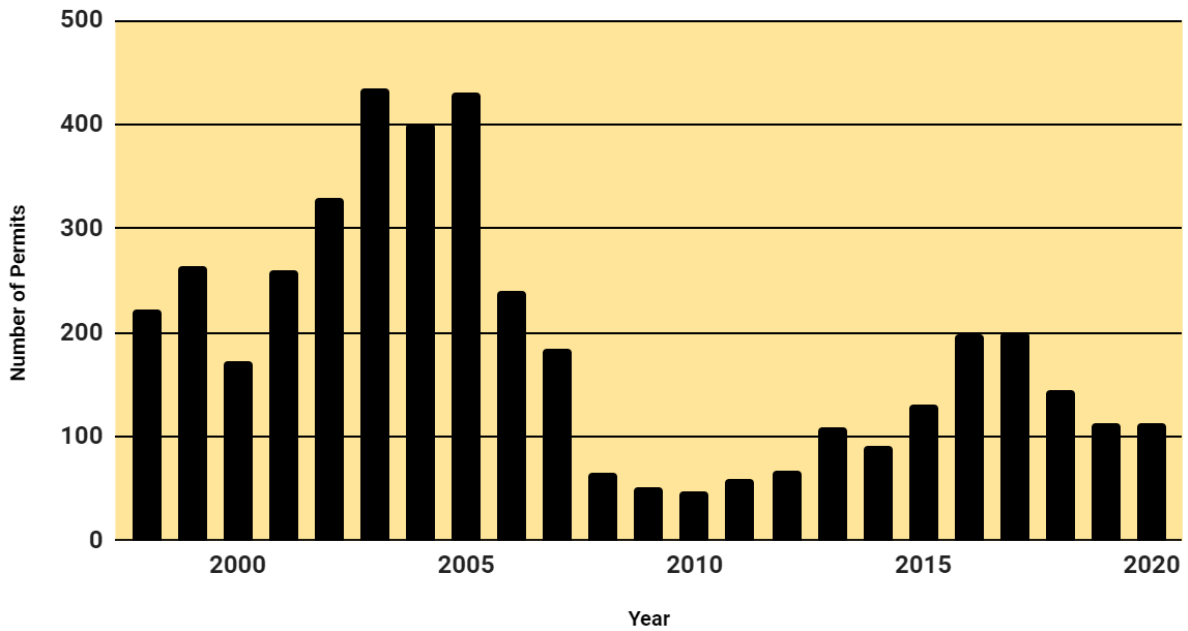
Building Permit Activity

Type of Permit	Nov 2020	2020 YTD	2019 YTD	2019 Total
Detached Single-Family Residential	12	114	102	113
Attached Single-Family Residential	0	14	26	26
Multi-Family Residential	0	396	0	0
Miscellaneous Residential (deck; roof)	84	1,194	686	720
Commercial - New, Additions, Alterations	1	12	17	18
Sign Permits	9	35	54	54
Inspections	Nov 2020	2020 YTD	2019 YTD	2019 Total
Total # of Inspections	334	4,151	3,601	3,858
Valuation	Nov 2020	2020 YTD	2019 YTD	2019 Total
Total Residential Permit Valuation	\$3,076,300	\$33,413,100	\$31,585,100	\$34,498,600
Total Commercial Permit Valuation	\$74,200	\$46,093,700	\$1,801,300	\$1,822,300

Additional Building Activity:

- Construction continues on the Compass Health office building.
- Construction continues at The Lofts of Fox Ridge apartment community.
- Building permit has been issued for Scooter's Coffee.
- Concrete slab floor is being installed for the 1st industrial building in the Raymore Commerce Center.
- Building construction plans have been submitted for the Community America Credit Union to be constructed at 1400 W. Foxwood Drive in the Willowind Square shopping center

Single Family Building Permits



Code Enforcement Activity

Code Activity	Nov 2020	2020 YTD	2019 YTD	2019 Total
Code Enforcement Cases Opened	37	565	622	642
<i>Notices Mailed</i>				
- Tall Grass/Weeds	0	96	135	135
- Inoperable Vehicles	20	185	127	138
- Junk/Trash/Debris in Yard	10	92	140	146
- Object placed in right-of-way	0	6	14	14
- Parking of vehicles in front yard	2	20	13	13
- Exterior home maintenance	0	43	38	41
- Other (trash at curb early; signs; etc)	1	6	2	2
Properties mowed by City Contractor	1	73	71	71
Abatement of violations (silt fence repaired; trees removed; stagnant pools emptied; debris removed)	0	2	10	10
Signs in right-of-way removed	31	460	344	370
Violations abated by Code Officer	4	133	111	126

Development Activity

Current Projects

- Park Side Subdivision, 155 acres south of 163rd Street, west of North Madison, preliminary plat for 320 single-family homes
- Heartland Dental Site Plan, Raymore Market Center Lot 3
- North Cass Plaza Final Plat
- Community America Credit Union obtained [site plan](#) approval to construct a new facility at the northeast corner of Peace Drive and 58 Highway.

	As of Nov 30, 2020	As of Nov 30, 2019	As of Nov 30, 2018
Homes currently under construction	552 (396 Lofts Apartments)	146	200
Total number of Undeveloped Lots Available (site ready for issuance of a permit for a new home)	290	359	407
Total number of dwelling units in City	8,789	8,655	8,468

Actions of Boards, Commission, and City Council

City Council

November 9, 2020

- Acceptance of public improvements for Brookside 10th Plat Lots 382-386 & 416-420
- Re-appointment of Jerry Faulkner and Jeremy Mansur to the Planning and Zoning Commission
- Approved on 2nd reading the North Cass Plaza Final Plat
- Approved on 1st reading the 33rd Amendment to the Unified Development Code

November 23, 2020

- Approved on 2nd reading the 33rd Amendment to the Unified Development Code

Planning and Zoning Commission

November 17, 2020

- Elected Matthew Wiggins as Chairman; Kelly Fizer and Vice-Chairman; and Jim Pettermann as Secretary

- Approved the 2021 Meeting Calendar
- Approved the site plan for Community America Credit Union to locate at 1400 W. Foxwood Drive in the Willowind Square Shopping Center
- Provided training by City Attorney Jonathan Zerr

Board of Adjustment

November 17, 2020

- Elected Jerry Martin as Chairman; Terry Woods as Vice-Chairman; and Aaron Harrison as Secretary
- Approved the 2021 Meeting Calendar
- Approved a variance to the front yard setback requirement for the property at 713 Redtop Lane

Upcoming Meetings – December & January

December 1, 2020 Planning and Zoning Commission

- Park Side Subdivision Preliminary Plat (public hearing)
- Raymore Galleria North 3rd Final Plat
- Raymore Commerce Center First Final Plat

December 1, 2020 Board of Adjustment

- Venue of The Good Ranch Clubhouse/Pool front yard setback variance
- 701 Lakeshore Circle - side yard setback variance

December 14, 2020 City Council

- Park Side Subdivision Preliminary Plat (public hearing)
- 1st reading - Raymore Galleria North Third Plat
- 1st reading - Raymore Commerce Center First Plat

December 15, 2020 Planning and Zoning Commission

- Meeting cancelled

December 28, 2020 City Council

- 2nd reading - Raymore Galleria North Third Plat
- 2nd reading - Raymore Commerce Center First Plat

January 5, 2021 Planning and Zoning Commission

- Heartland Dental Site Plan (Raymore Market Center Lot 3)

January 11, 2020 City Council

- Request for extension of expiration date for The Estates and Estate Villas of The Good Ranch preliminary plat

January 19, 2021 Planning and Zoning Commission

- No items currently scheduled

January 25, 2020 City Council

- No development applications currently scheduled

Department Activities

- Development Services, Parks & Recreation, and Public Works staff met with a project engineer to discuss a potential expansion of an existing subdivision.
- Development Services and Public Works staff met with representatives of the South Metropolitan Fire Protection District to discuss plans for proposed improvements to the two fire stations located in the City.
- Under-slab inspections have commenced on the 564,000 square foot industrial building under construction on Lot 1 in the Raymore Commerce Center.
- T-mobile submitted plans to install 5G equipment at its cell tower facility on Elm Street in the Original Town neighborhood.
- David Gress celebrated his 1-year anniversary as the City's Economic Development Director.
- Director Jim Cadoret participated in a Sign Ordinance webinar sponsored by the American Planning Association.
- Director Jim Cadoret participated in a virtual meeting as a member of the Kansas City Emergency Food & Shelter Program Board.
- Director Jim Cadoret and City Planner Katie Jardieu participated in the quarterly virtual meeting of the participating communities in the Communities for All Ages initiative.
- Director Jim Cadoret participated in a webinar hosted by the U.S. Census Bureau on accessing the new census data platform.
- Development Services and Public Works staff met virtually with a developer considering a subdivision development upon an undeveloped tract of land in the City.
- Director Jim Cadoret, Economic Development Director David Gress, Mayor Turnbow, and Assistant City Manager Mike Ekey participated in the virtual annual meeting of the Kansas City Area Development Council.

- Economic Development Director David Gress and representatives of the Kansas City Area Development Council met with a prospective tenant for a building in the [Raymore Commerce Center](#).
- City Planner Katie Jardieu provided materials that will assist City staff on commencing work on preparation of the elements of the proposed Comprehensive Plan.

GIS Activities

- Enterprise Portal tasks (registration of apps, connections to external sources, etc)
- Annual review of external data as requested (IMAP, MO, E911, etc)
- Preparation of operational data for inventory management (street lights, signs, etc)
- Addressing operations as requested
- QA/QC of relational database operations and data (uniqueIDs)
- Licensing updates and development of enterprise resources according to recommended practices as required
- Acceptance of MARC imagery & data for integration into enterprise collaborative environment, caching of tiled basemap at recommended level of detail (LOD)
- Update registration of web app builder 2.15 to 2.18 to fix labeling issues
- Requested map changes of various commercial mapping platforms to address errors of omission as requested
- Customer service reporting as requested