



RAYMORE PLANNING AND ZONING COMMISSION

AGENDA

Tuesday, December 1, 2020 - 7:00 p.m.

Harrelson Hall at Centerview
227 Municipal Circle
Raymore, Missouri 64083

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Personal Appearances - None
5. Consent Agenda
 - a. Approval of Minutes from November 17, 2020 meeting
 - b. Case #20024 - Raymore Commerce Center - First Plat
 - c. Case #20025 - Raymore Galleria North Third Plat
6. Unfinished Business - None
7. New Business
 - a. Case #20023 - Park Side Subdivision - Preliminary Plat (public hearing)
8. City Council Report
9. Staff Report
10. Public Comment
11. Commission Member Comment
12. Adjournment

Any person requiring special accommodation (i.e. qualified interpreter, large print, hearing assistance) in order to attend this meeting, please notify the City Clerk at (816) 331-0488 no later than forty-eight (48) hours prior to the scheduled commencement of the meeting.

MEETING PROCEDURES

The following rules of conduct apply:

1. Public can only speak during the meeting under the following circumstances:
 - a. The citizen has made a formal request to the Development Services Department to make a personal appearance before the Planning Commission; or,
 - b. A public hearing has been called by the Chairman and the Chairman has asked if anyone from the public has comments on the application being considered; or
 - c. A citizen may speak under Public Comment at the end of the meeting.
2. If you wish to speak to the Planning Commission, please proceed to the podium and state your name and address. Spelling of your last name would be appreciated.
3. Please turn off (or place on silent) any pagers or cellular phones.
4. Please no talking on phones or with another person in the audience during the meeting.
5. Please no public displays, such as clapping, cheering, or comments when another person is speaking.
6. While you may not agree with what an individual is saying to the Planning Commission, please treat everyone with courtesy and respect during the meeting.

Every application before the Planning Commission will be reviewed as follows:

1. Chairman will read the case number from the agenda that is to be considered, and open the public hearing, if applicable.
2. Applicant will present their request to the Planning Commission.
3. Staff will provide a staff report.
4. If the application requires a public hearing, Chairman will invite anyone to speak on the request.
5. Chairman will close the public hearing.
6. Planning Commission members can discuss the request amongst themselves, ask questions of the applicant or staff, and may respond to a question asked from the public.
7. Planning Commission members will vote on the request.

THE **PLANNING AND ZONING COMMISSION** OF THE CITY OF RAYMORE, MISSOURI, MET IN REGULAR SESSION **TUESDAY, NOVEMBER 17, 2020**, IN HARRELSON HALL AT CENTERVIEW, 227 MUNICIPAL CIRCLE, RAYMORE, MISSOURI WITH THE FOLLOWING COMMISSION MEMBERS PRESENT: CHAIRMAN WILLIAM FAULKNER, MATTHEW WIGGINS, JEREMY MANSUR, JIM PETERMANN, MARIO URQUILLA, CALVIN ACKLIN, ERIC BOWIE (arrived at 7:20 p.m.) AND MAYOR KRIS TURNBOW. COMMISSIONER KELLY FIZER WAS ABSENT. ALSO PRESENT WAS CITY PLANNER KATIE JARDIEU, DEVELOPMENT SERVICES DIRECTOR JIM CADORET, AND CITY ATTORNEY JONATHAN ZERR.

1. **Call to Order** – Chairman Faulkner called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance**
3. **Roll Call** – Roll was taken and Chairman Faulkner declared a quorum present to conduct business.
4. **Personal Appearances** – None
5. **Consent Agenda**
 - a. **Approval of the minutes of the October 20, 2020 meeting.**

Motion by Commissioner Urquilla, Seconded by Mayor Turnbow, to approve the consent agenda.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Bowie	Absent
Commissioner Acklin	Aye
Commissioner Fizer	Absent
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye
Mayor Turnbow	Aye

Motion passed 7-0-0.

6. **Unfinished Business - None**
7. **New Business -**

a. Election of Officers

Chairman Faulkner nominated Commissioner Wiggins to be the new chairman of the Commission and Commissioner Fizer to be reelected as Vice Chair and Commissioner Petermann as Secretary. Commissioner Wiggins and Commissioner Petermann accepted the nominations. Katie Jardieu, City Planner, stated that Commissioner Fizer had emailed saying she would accept the nomination if nominated for Vice Chair again. No further discussion or nominations were made.

Motion by Chairman Faulkner, Seconded by Mayor Turnbow, to approve the new slate of officers.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Bowie	Absent
Commissioner Acklin	Aye
Commissioner Fizer	Absent
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye
Mayor Turnbow	Aye

Motion passed 7-0-0.

Commissioner Faulkner passed the gavel to the new Chairman to continue the meeting.

b. 2021 Meeting Calendar

Ms. Jardieu presented the 2021 meeting calendar. Chairman Wiggins asked if there were any questions or discussion.

Motion by Commissioner Urquilla, Seconded by Commissioner Petermann, to approve the 2021 Meeting Calendar.

Vote on Motion:

Chairman Wiggins	Aye
Commissioner Faulkner	Aye
Commissioner Bowie	Absent
Commissioner Acklin	Aye
Commissioner Fizer	Absent
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye
Mayor Turnbow	Aye

Motion passed 7-0-0.

c. Case #20022 - Community America Credit Union - Site Plan

Ms. Jardieu gave an overview of the staff report, highlighting the easements between this lot and Willowind Square allowing access between the sites. Both easement documents have been recorded with Cass County. Ms. Jardieu also stated that sidewalks will be installed from Foxridge Drive to the front door of the building as well as along Peace Drive. The only trees to be removed are 2 that will allow a curb cut off of Peace Drive for access to the site.

Ms. Jardieu stated that staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and forward case #20022 - Community America Credit Union - Site Plan to the City Council with a recommendation of approval.

Commissioner Bowie arrived at 7:20.

Andy Meyer, of Gastinger Walker, spoke on behalf of the applicant that the credit union was excited to be here. The ATM component allows guests to utilize both an ATM and speak with a physical person if needed. He also stated they accepted the conditions of approval.

Chairman Wiggins asked if there were any questions or discussion. Commissioner Urquilla asked if the lobby would be open and the number of jobs this branch would create. Mr. Meyer stated the lobby would be open and this branch would create about 5 jobs. Chairman Wiggins then pointed to the landscape plan. He stated that hedge maple trees are not typically the best trees and that the female Kentucky Coffee tree has poisonous pods. Mr. Meyer stated he would work with staff to get the right trees planted as well as a male Kentucky Coffee tree.

Motion by Commissioner Bowie, Seconded by Mayor Turnbow, to accept staff proposed findings of fact and approve case #20022 Community America Credit Union Site Plan, subject to the twelve conditions of approval recommended by staff.

Vote on Motion:

Chairman Wiggins	Aye
Commissioner Faulkner	Aye
Commissioner Bowie	Aye
Commissioner Acklin	Aye
Commissioner Fizer	Absent
Commissioner Petermann	Aye
Commissioner Urquilla	Abstain
Commissioner Mansur	Aye
Mayor Turnbow	Aye

Motion passed 7-0-1.

8. City Council Report

City Attorney Jonathan Zerr provided a review of the Council meeting from October 26th meeting:

- First Reading of North Cass Plaza Preliminary Plat and Final Plat which was approved.
- 11/9 Meeting: the second and final reading of North Cass Plaza Preliminary Plat and Final plat which were approved as well as the 33rd UDC Amendment.

9. Staff Report

Ms. Jardieu stated the staff report was in the Commissioners packets. One meeting date to note was that on December 15th the Planning Commission would be presented the new Strategic Plan initiative for their input and feedback.

10. Public Comment

No public comment.

11. Commission Member Comment

Commissioner Bowie thanked the staff.

Commissioner Acklin thanked the staff and congratulated Chairman Wiggins on his new position.

Commissioner Urquilla thanked Attorney Zerr and staff.

Commissioner Petermann thanked the staff and congratulated Chairman Wiggins on his new position..

Mayor Turnbow thanked the staff and Commissioner Faulkner for his many years of service to the board and congratulated Wiggins on his new position.

Commissioner Faulkner thanked the staff and thanked Chairman Wiggins for stepping up to become the new Chairman of the Planning Commission.

Chairman Wiggins thanked everyone.

12. Adjournment

Motion by Commissioner Faulkner, Seconded by Commissioner Urquilla, to adjourn the November 17, 2020 Planning and Zoning Commission meeting.

Vote on Motion:

Chairman Wiggins	Aye
Commissioner Faulkner	Aye
Commissioner Bowie	Aye
Commissioner Acklin	Aye
Commissioner Fizer	Absent
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Aye
Mayor Turnbow	Aye

Motion passed 8-0-0.

The December 17, 2020 meeting adjourned at 8:30 p.m.

Respectfully submitted,

Katie Jardieu

To: Planning & Zoning Commission
From: Katie Jardieu, City Planner
Date: December 1, 2020
Re: Case #20024: Raymore Commerce Center - First Plat

GENERAL INFORMATION

**Applicant/
Property Owner:** VanTrust Real Estate
% Grant Harrison
4900 Main Street, Ste 400
Kansas City, MO 64112

Property Location: SE of I-49 and North Cass Parkway



Existing Zoning: PUD Planned Unit Development District

Existing Surrounding Zoning: North: C-3 - Regional Commercial District
South: PUD - Planned Unit Development District
East: A - Agricultural District
West: I-49

Existing Surrounding Uses: North: Undeveloped
South: Undeveloped
East: Undeveloped
West: Interstate 49

Total Tract Size: 40.1463 acres

Total Number of Lots: 1 Lot

Density – units per Acre: n/a

Growth Management Plan: The Future Land Use Map of the current Growth Management Plan designates this property as appropriate for Commercial and Business Development.

Major Street Plan: The Major Thoroughfare Plan Map classifies Dean Avenue and North Cass Parkway as minor arterial roads.

Advertisement: City Ordinance does not require advertisement for Final Plats.

Public Hearing: City Ordinance does not require a public hearing for Final Plats

PROPOSAL

Outline of Requested Action: The applicant seeks to obtain Final Plat approval for *Raymore Commerce Center, First Plat*

City Ordinance Requirements: In order for the applicant to accomplish the aforementioned action they must meet the provisions of the Unified Development Code. Chapter 470 of the Unified Development Code outlines the requirements and actions that need to be taken in order to final plat property, specifically, Section 470.130.

PREVIOUS ACTIONS ON OR NEAR THE PROPERTY

1. The property was rezoned to PUD Planned Unit Development District in December 2019. The rezoning to PUD included approval of the preliminary plan.

2. The North Cass Plaza Final Plat to the north was approved in November 2020.
3. A sixty foot transmission line easement bounds the property to the north and is identified in this proposed plat.
4. The Dean Avenue Right of Way Extension Final Plat was recorded in October 2020. Construction for the extension of Dean Avenue is underway.
5. The site plan for the Raymore Commerce Center, including the building under construction on the subject property, was approved by the Planning and Zoning Commission on October 16, 2018.

ENGINEERING DIVISION COMMENTS

The Engineering Division indicated the proposed final plat complies with the design standards of the City of Raymore and recommends approval of the final plat.

STAFF COMMENTS

1. The current bulk and dimensional standards for the PUD Planned Unit Development zoning district are as follows:

PUD	
Minimum Lot Area	
per lot	-
per dwelling unit	2,000 sq.ft.
Minimum Lot Width (feet)	100
Minimum Lot Depth (feet)	100
Yards, Minimum (feet)	
front	30
rear	20
side	10
side, abutting residential district	20
Maximum Building Height (feet)	80
Maximum Building Coverage (%)	50

2. The proposed project was shared with the South Metropolitan Fire Protection District. The District had no comments or concerns.
3. The portion of Dean Avenue adjacent to the lot and connecting with North Cass Parkway will need to be accepted by the City Council before any Certificate of Occupancy is issued for the property.
4. Approval of the preliminary plan, and approval of the site plan, allowed construction of the building upon the lot to be commenced prior to

approval of the final plat. The final plat must be approved and recorded prior to the issuance of a Certificate of Occupancy for the building on the lot.

5. The lot is located within the service area of Cass County Water Supply District #10. Extension of the water main to serve the property is underway.
6. Sanitary sewer mains were extended to serve any development upon the lot.

STAFF PROPOSED FINDINGS OF FACT

Section 470.130 of the Unified Development Code states that the Planning and Zoning Commission will recommend approval and the City Council will approve the final plat if it finds the final plat:

1. **is substantially the same as the approved preliminary plat;**

The proposed final plat is substantially the same as the approved preliminary plan.

2. **complies with all conditions, restrictions and requirements of this Code and of all other applicable ordinances and design standards of the City; and;**

The proposed final plat does comply with all conditions, restrictions and requirements of the Unified Development Code and all other applicable ordinances and design standards for the City.

3. **complies with any condition that may have been attached to the approval of the preliminary plat.**

There were no conditions attached to the approval of the preliminary plan.

REVIEW OF INFORMATION AND SCHEDULE

<u>Action</u>	<u>Planning Commission</u>	<u>City Council 1st</u>	<u>City Council 2nd</u>
Review	December 1, 2020	December 14, 2020	December 28, 2020

STAFF RECOMMENDATION

Staff recommends that the Planning and Zoning Commission accept the staff proposed findings of fact and forward Case #20024 Raymore Commerce Center - First Plat to the City Council with a recommendation of approval.

Final Plat

Raymore Commerce Center, First Plat

A Replat of part of Tract A, Dean Avenue Extension ROW 1st Plat, a subdivision in the City of Raymore, Cass County, Missouri, together with an unplatted tract of land lying in the Northeast Quarter of Section 30, Township 46 North, Range 32 West, and in the Northwest Quarter of Section 29, Township 46 North, Range 32 West

Property Description

All that part of Tract A of Dean Avenue Extension ROW 1st Plat, a subdivision in the City of Raymore, Cass County Missouri, together with all that part of an unplatted tract of land lying in the Northwest Quarter of Section 29 and in the Northeast Quarter of Section 30, all in Township 46 North, Range 32 West, described by Patrick Elton Ward, MO PLS-2005000071, of Glasson, LC-366, as follows:

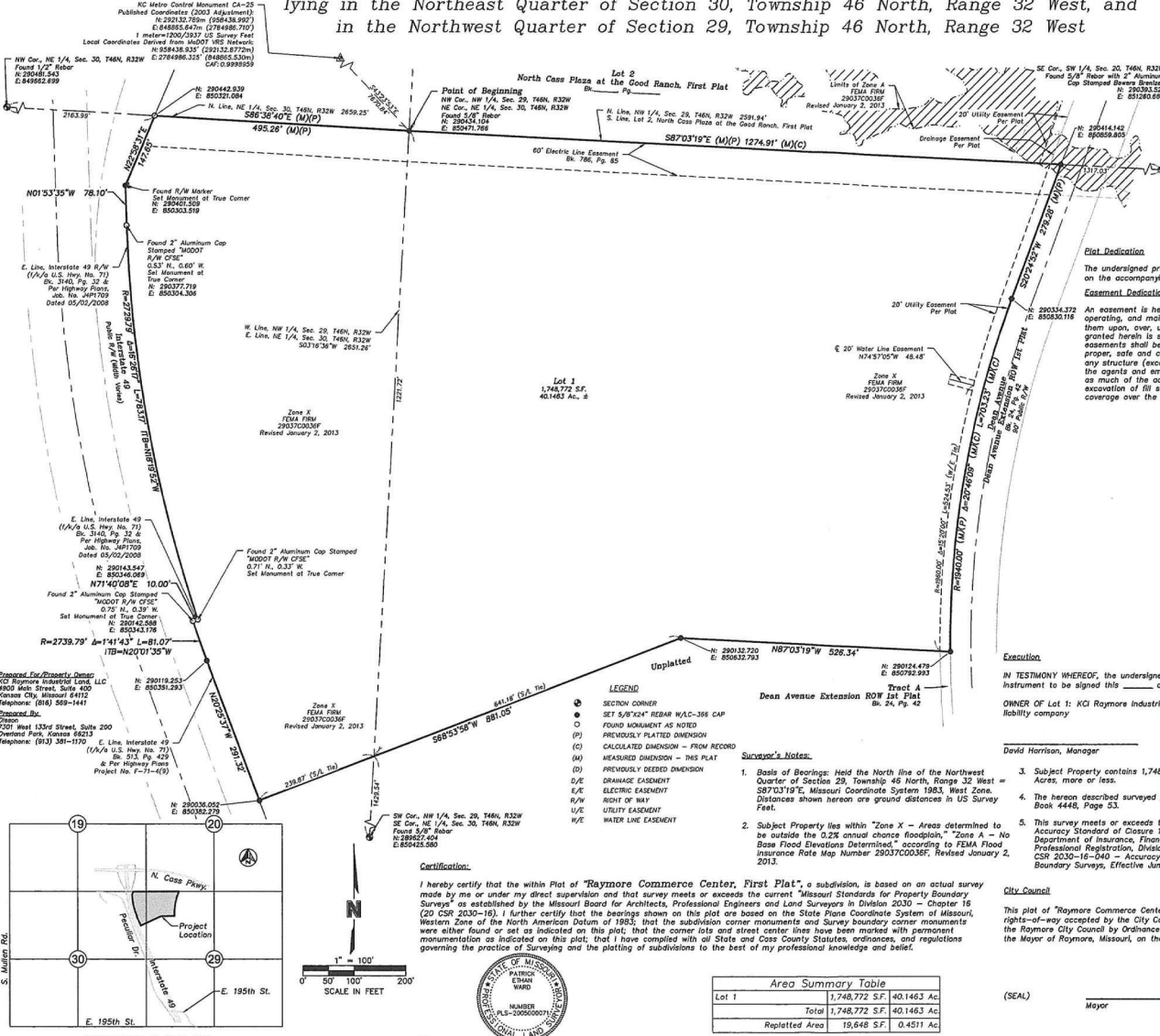
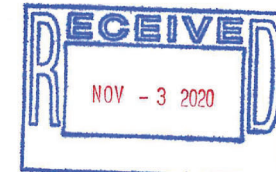
BEGINNING at the Northwest corner of the Northwest Quarter of Section 29, Township 46 North, Range 32 West; thence South 67 degrees 03 minutes 19 seconds East, on the North line of said Northwest Quarter, and on the South line of Lot 2 of North Cass Plaza of the Good Ranch, First Plat, and on the North line of Tract A of Dean Avenue Extension ROW 1st Plat, both subdivisions in the City of Raymore, Cass County, Missouri; a distance of 1274.91 feet to the Northeast corner of said Tract A, said corner also lying on the West line of Dean Avenue right of way, as established in said Dean Avenue Extension ROW 1st Plat; thence South 20 degrees 24 minutes 52 seconds West, departing said North and South lines, on the East line of said Tract A and on the West line of said Dean Avenue right of way a distance of 279.29 feet to a point of curvature; thence in a Southerly direction, continuing on said East and West lines and along a curve to the left, having a radius of 1940.00 feet, through a central angle of 20 degrees 46 minutes 09 seconds, on an arc distance of 703.23 feet to a point on a non-tangent line; thence North 87 degrees 03 minutes 19 seconds West, departing said East and West lines, a distance of 526.34 feet to a point; thence South 68 degrees 53 minutes 58 seconds West a distance of 851.00 feet to a point on the East line of Interstate 49 right of way (formerly known as US Highway No. 71), as established in Block 513, Page 429, and as depicted on the Highway Plans for Project Number F-71-4(9); thence North 20 degrees 25 minutes 37 seconds West, on said East line, a distance of 293.32 feet to a point on a non-tangent curve; thence in a Northwesterly direction, continuing on said East line and along a curve to the right whose initial tangent bears North 20 degrees 01 minutes 35 seconds West, having a radius of 2739.79 feet, and an arc distance of 81.07 feet, through a central angle of 1 degree 41 minutes 43 seconds to a point on a non-tangent line, said point also lying on the East line of Interstate 49 (formerly known as US Highway No. 71), as established in Block 3146, Page 32, and as depicted on the Highway Plans for Job Number 44P1709, dated 05/02/2008; thence North 71 degrees 40 minutes 08 seconds East, on said East line, a distance of 10.00 feet to a point on a non-tangent curve; thence in a Northerly direction, continuing on said East line and along a curve to the right whose initial tangent bears North 18 degrees 19 minutes 52 seconds West, having a radius of 2729.79 feet, on an arc distance of 783.17 feet, through a central angle of 16 degrees 28 minutes 17 seconds to a point of tangency; thence North 01 degree 53 minutes 35 seconds West, continuing on said East line, a distance of 78.10 feet to a point; thence North 22 degrees 58 minutes 37 seconds East, continuing on said East line, a distance of 147.63 feet to the Southwest corner of said Lot 2, said corner also lying on the North line of said Northwest Quarter; thence South 88 degrees 38 minutes 40 seconds East, departing said East line, on the South line of said Lot 2, a distance of 495.26 feet, to the POINT OF BEGINNING, containing 1,748,772 Square Feet or 40.1463 Acres, more or less.

Plat Dedication

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be heretofore known as "Raymore Commerce Center, First Plat".

Easement Dedication

An easement is hereby granted to the City of Raymore, Cass County, Missouri, for the purpose of locating, constructing, operating, and maintaining facilities for water, including, but not limited to, underground pipes, services, pedestals, any or all of them upon, over, under and along the strip of land designated "Water Easement" or "W/E", provided that the easement granted herein is subject to any and all existing easements. The use thereof shall be limited to that purpose only. Said easements shall be kept free from any and all obstructions which would interfere with the construction or reconstruction and proper, safe and continuous maintenance of the aforesaid use and specifically there shall not be built thereon or thereover any structure (except driveways, paved areas, grass, shrubs and fences) nor shall there be any obstruction to interfere with the agents and employees of Raymore, Cass County, Missouri, and its franchised utilities from going upon said easement and on such of the adjoining lands as may be reasonably necessary in exercising the rights granted by the easement. No excavation of fill shall be made or operation of any kind or nature shall be performed which will reduce or increase the earth coverage over the utilities above stated or the appurtenances thereto without written approval of the Public Works Director.



LEGEND

- SECTION CORNER
- SET 5/8"x24" REBAR W/AC-308 CAP
- FOUND MONUMENT AS NOTED
- () PREVIOUSLY PLATTED DIMENSION
- () CALCULATED DIMENSION - FROM RECORD
- () MEASURED DIMENSION - THIS PLAT
- () PREVIOUSLY REEDED DIMENSION
- DRAINAGE EASEMENT
- E/E ELECTRIC EASEMENT
- R/W RIGHT OF WAY
- U/E UTILITY EASEMENT
- W/E WATER LINE EASEMENT

Surveyor's Notes

- Boas of Bearings: Held the North line of the Northwest Quarter of Section 29, Township 46 North, Range 32 West = S87°03'19" E, Missouri Coordinate System 1983, West Zone. Distances shown herein are ground distances in US Survey Feet.
- Subject Property lies within "Zone X - Area determined to be outside the 0.2% annual chance floodplain," "Zone A - No Base Flood Elevations determined, according to FEMA Flood Insurance Rate Map Number 23037C0036F, Revised January 2, 2013.

Area Summary Table

Lot 1	1,748,772 SF.	40.1463 Ac
Total	1,748,772 SF.	40.1463 Ac
Replatted Area	19,648 SF.	0.4511 Ac

Certification:

I hereby certify that the within Plat of "Raymore Commerce Center, First Plat", a subdivision, is based on an actual survey made by me or under my direct supervision and that survey meets or exceeds the current "Missouri Standards for Property Boundary Surveys" as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors in Division 2030 - Chapter 16 (20 CSR 2030-16). I further certify that the bearings shown on this plat are based on the State Plane Coordinate System of Missouri, Western Zone of the North American Datum of 1983; that the subdivision corner monuments and Survey boundary corner monuments were either found or set as indicated on this plat; that the corner lots and street center lines have been marked with permanent monumentation as indicated on this plat; that I have complied with all State and Cass County Statutes, ordinances, and regulations governing the practice of Surveying and the plotting of subdivisions to the best of my professional knowledge and belief.



By: Patrick Elton Ward, MO PLS No. 2005000071
Glasson, LC-366
pward@olsson.com

Execution

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be signed this _____ day of _____ 2020.

OWNER OF Lot 1: KCI Raymore Industrial Land, LLC, a Missouri limited liability company

David Harrison, Manager

- Subject Property contains 1,748,772 Square Feet or 40.1463 Acres, more or less.
- The herein described surveyed premises were last conveyed in Book 4448, Page 53.
- This survey meets or exceeds the Urban Class Property Accuracy Standard of Closure 1:20,000 as defined by the Department of Insurance, Financial Institutions and Professional Registration, Division 2030, Chapter 16, Title 20 CSR 6030-16-040 - Accuracy Standards for Property Boundary Surveys, Effective June 30, 2017.

City Council

This plat of "Raymore Commerce Center, First Plat" addition, including easements and right-of-way accepted by the City Council, has been submitted to and approved by the Raymore City Council by Ordinance No. _____, duly passed and approved by the Mayor of Raymore, Missouri, on the _____ day of _____, 2020.

(SEAL) Mayor

ATTEST: City Clerk City Engineer

STATE OF _____ SS
COUNTY OF _____

BE IT REMEMBERED, That on this _____ day of _____ 2020, before me came David Harrison, Manager of KCI Raymore Industrial Land, LLC, a Missouri limited liability company, to me, personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

Notary: _____ My appointment expires: _____

Planning and Zoning Commission

This plat of "Raymore Commerce Center, First Plat" addition has been submitted to and approved by the Raymore Planning and Zoning Commission this _____ day of _____, 2020.

Secretary

Entered on transfer record this _____ day of _____ 2020.

Deputy County Recorder of Deeds



Patricia West Olsson, Surveyor
Cass County, Missouri
TEL: 816.381.1170

REVISIONS

NO.	DATE	REVISION DESCRIPTION
1	2020.10.29	Final Plat

Final Plat
Raymore Commerce Center, First Plat

A Replat of part of Tract A, Dean Avenue Extension ROW 1st Plat, and an unplatted tract in the NE 1/4 of Sec. 30 and the NW 1/4 of Sec. 29, T46N, R32W, Raymore, Cass County, Missouri

drawn by: M.B.
checked by: T.P.
approved by: T.P.
CADC by: T.P.
project no.: B19205
drawing no.: V-FP 0092
date: 2020.10.29

SHEET 1 of 1

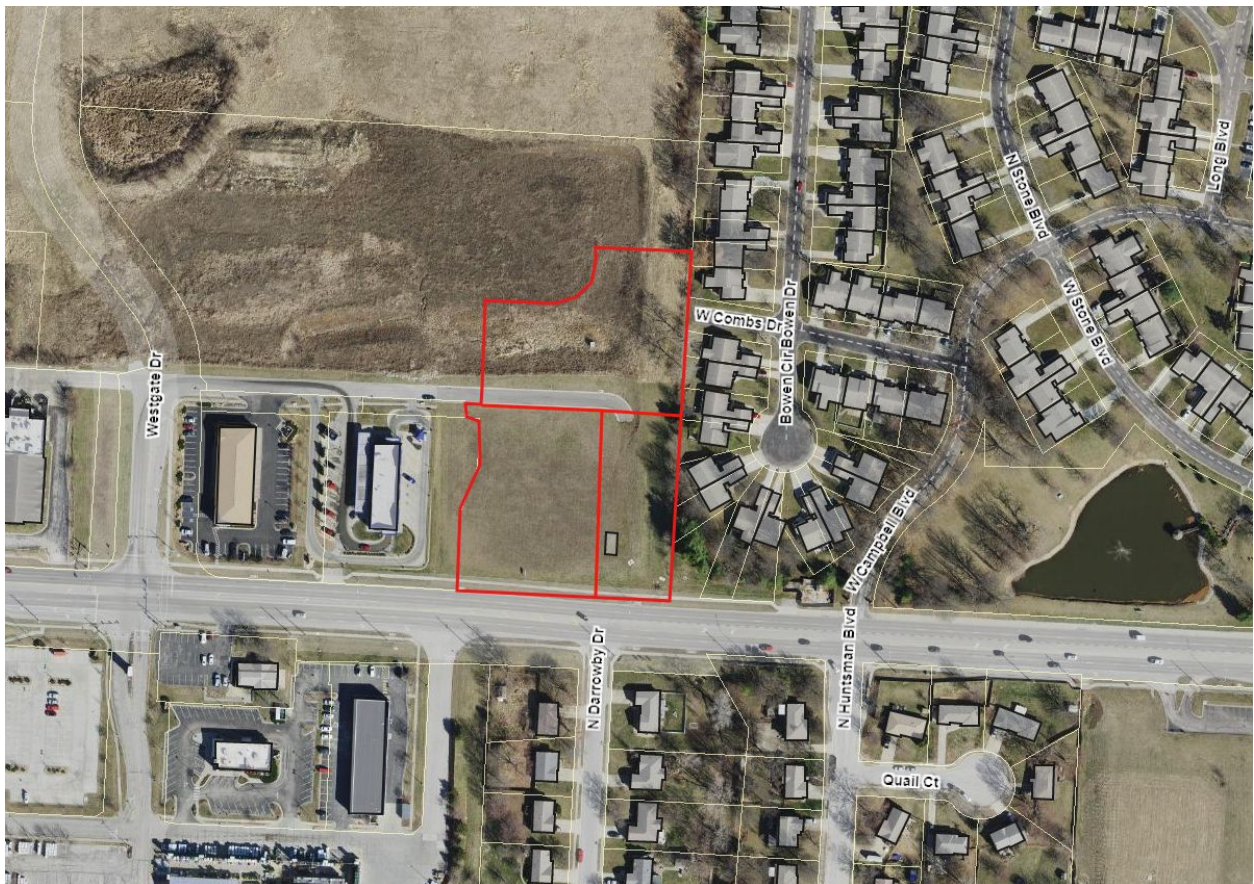


To: Planning & Zoning Commission
From: Katie Jardieu, City Planner
Date: December 1, 2020
Re: Case #20025: Raymore Galleria North Third Plat

GENERAL INFORMATION

**Applicant/
Property Owner:** North Raymore 58 Equity Partners, LLC
605 W. 47th Street Suite 200
Kansas City, MO 64112

Property Location: N. Side of 58 Highway, east of Westgate Drive



Existing Zoning: C-3 Regional Commercial District

Existing Surrounding Zoning: **North:** C-3 - Regional Commercial District
South: C-3 - Regional Commercial District
R-1 - Single-Family Residential
East: PUD - Planned Unit Development District
West: C-3 - Regional Commercial District

Existing Surrounding Uses: **North:** Undeveloped
South: Commercial
Single-Family Residential
East: Planned Residential Senior Living
West: Commercial

Total Tract Size: 3.45 acres

Total Number of Lots: 2 Lots & 2 tracts

Density – units per Acre: n/a

Growth Management Plan: The Future Land Use Map of the current Growth Management Plan designates this property as appropriate for Commercial and Business Development.

Major Street Plan: The Major Thoroughfare Plan Map classifies Highway 58 as a major arterial and Westgate Drive as a minor arterial road.

Advertisement: City Ordinance does not require advertisement for Final Plats.

Public Hearing: City Ordinance does not require a public hearing for Final Plats

PROPOSAL

Outline of Requested Action: The applicant seeks to obtain Final Plat approval for *Raymore Galleria North Third Plat*

City Ordinance Requirements: In order for the applicant to accomplish the aforementioned action they must meet the provisions of the Unified Development Code. Chapter 470 of the Unified Development Code outlines the requirements and actions that need to be taken in order to final plat property, specifically, Section 470.130.

PREVIOUS ACTIONS ON OR NEAR THE PROPERTY

1. The property was rezoned to C-3 Regional Commercial District in June 2009.

2. The Raymore Galleria North Preliminary Plat was approved on June 28, 2010.
3. A site plan for lot 2 was approved on September 15, 2020 for a Scooter's Coffee Drive Thru. Installation of utilities and site grading has begun.
4. A private drive was previously constructed through Tract "A" to provide rear lot access.
5. Access to the site from 58 Highway using the private drive in Tract "A" was approved with the Preliminary Plat for Raymore Galleria North.

ENGINEERING DIVISION COMMENTS

The Engineering Division indicated the proposed final plat complies with the design standards of the City of Raymore and recommends approval of the final plat.

STAFF COMMENTS

1. The current bulk and dimensional standards for the C-3 Regional Commercial zoning district are as follows:

C-3	
Minimum Lot Area	
per lot	-
per dwelling unit	2,000 sq.ft.
Minimum Lot Width (feet)	100
Minimum Lot Depth (feet)	100
Yards, Minimum (feet)	
front	30
rear	20
side	10
side, abutting residential district	20
Maximum Building Height (feet)	80
Maximum Building Coverage (%)	50

2. The proposed project was shared with the South Metropolitan Fire Protection District. The District had no comments or concerns.
3. There is a 27-foot access easement for the private drive recently constructed to the east of the car wash.
4. Extensions of the water main, sanitary sewer main, and driveway access to serve the two lots were previously constructed by the developer.
5. The stormwater detention area in Tract "B" was previously constructed by

the developer.

6. There is a storm sewer outlet pipe from the detention area that crosses through the property towards 58 Highway.
7. Site Plan approval will be required before the issuance of any building permit upon Lot 1.
8. No buildings are being proposed for Lot 1 at this time.
9. The area to the north, approximately 5.64 acres contained in Lot 4 of the Westgate Plat, will remain unplatted as a C-3 zoned commercial area.

STAFF PROPOSED FINDINGS OF FACT

Section 470.130 of the Unified Development Code states that the Planning and Zoning Commission will recommend approval and the City Council will approve the final plat if it finds the final plat:

1. **is substantially the same as the approved preliminary plat;**

The proposed final plat is substantially the same as the approved preliminary plat.

2. **complies with all conditions, restrictions and requirements of this Code and of all other applicable ordinances and design standards of the City; and;**

The proposed final plat does comply with all conditions, restrictions and requirements of the Unified Development Code and all other applicable ordinances and design standards for the City.

3. **complies with any condition that may have been attached to the approval of the preliminary plat.**

There were no conditions attached to the approval of the preliminary plat.

REVIEW OF INFORMATION AND SCHEDULE

<u>Action</u>	<u>Planning Commission</u>	<u>City Council 1st</u>	<u>City Council 2nd</u>
Review	December 1, 2020	December 14, 2020	December 28, 2020

STAFF RECOMMENDATION

Staff recommends that the Planning and Zoning Commission accept the staff proposed findings of fact and forward Case #20025 Raymore Galleria North Third Final Plat to the City Council with a recommendation of approval.

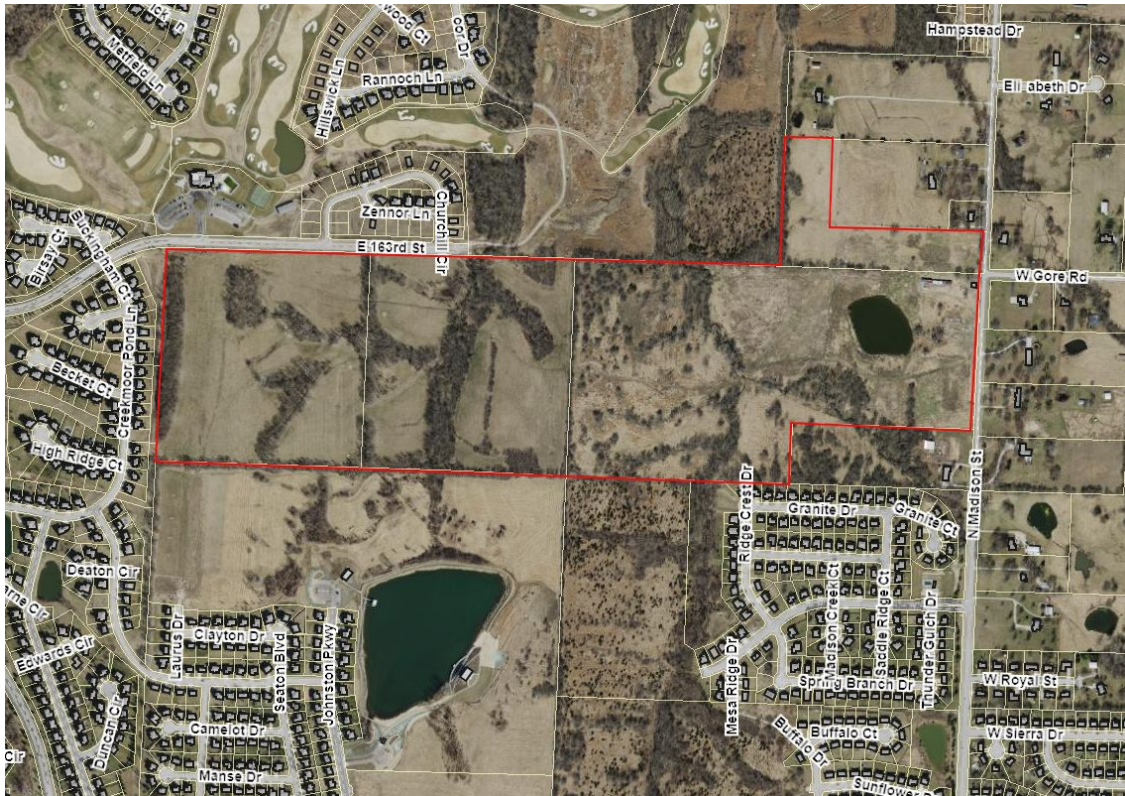
To: Planning and Zoning Commission
From: Katie Jardieu, City Planner
Date: December 1, 2020
Re: Case #20023: Park Side Subdivision - Preliminary Plat

GENERAL INFORMATION

Applicant/Property Owner Joe Duffey
105 N Stewart
Liberty, MO 64068

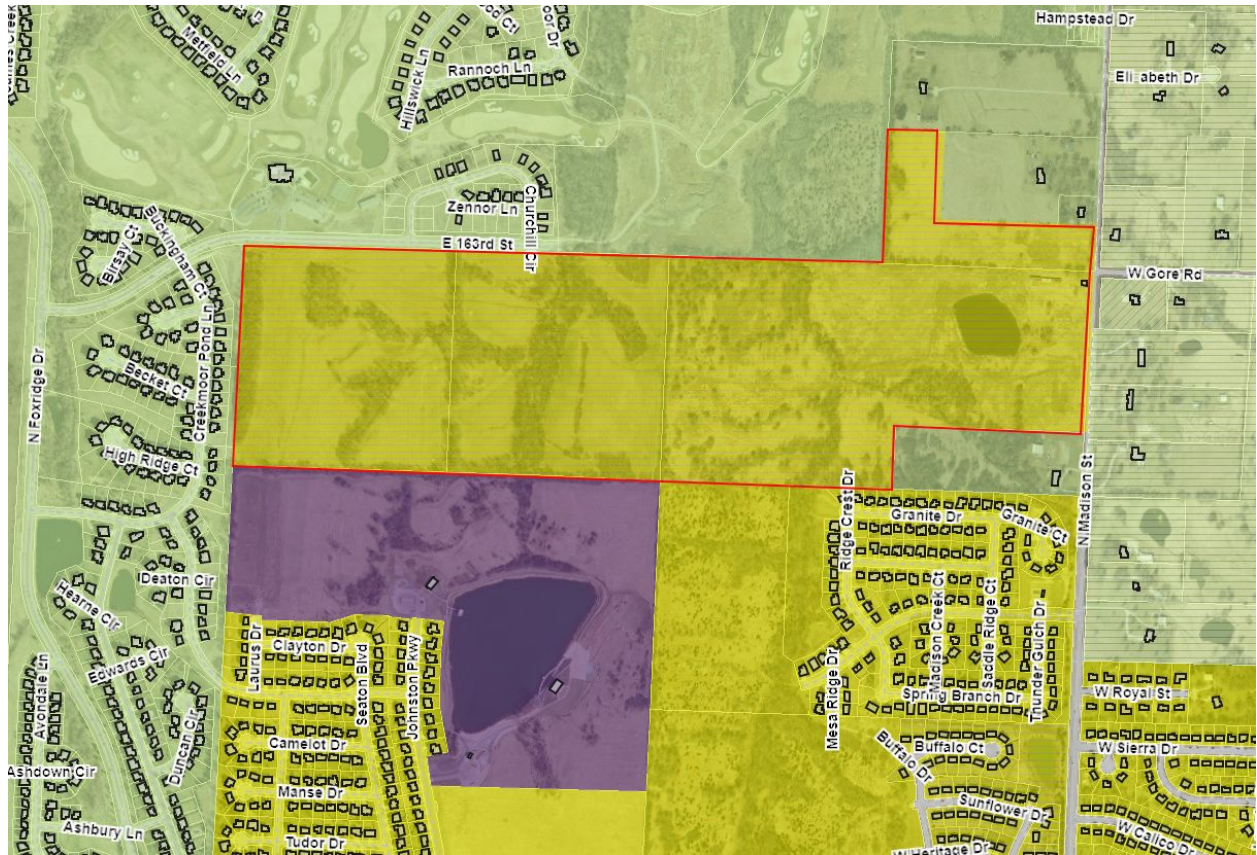
Requested Action: Preliminary Plat Approval for 155.39 acres

Property Location: Generally at the future extension of 163rd Street and Sunset Lane.



Existing Zoning:

R-1P Single-Family Residential Planned District



Existing Surrounding Zoning:

- North:** A - Agriculture District
PUD - Planned Unit Development District
- South:** PR - Park
R-1 - Single Family Residential District
A - Agricultural
- East:** RE - Rural Estate
- West:** PUD - Planned Unit Development District

Total Tract Size: 155.39 acres

Total Number of Lots: 320 lots

Legal Description: A parcel of land being a portion of the North Half of the Northwest Quarter and the North Half of the Northeast Quarter of Section 9, Township 46 North, Range 32 West and the Southeast Quarter of the Southeast Quarter of Section 4, Township 46 North, Range 32 West, City of Raymore, Cass County, Missouri, and described as follows:

Beginning at the Northeast corner of the North Half of said Northeast Quarter; thence South 02°22'28" West along the East line of said North Half, a distance of 949.00 feet to a point 381.53 feet north of the Southeast corner thereof; thence North 88°00'05" West and parallel with the South line of said North Half, a distance of 1144.58 feet; thence South 02°22'28" West and parallel with the East line of North Half, a distance of 381.53 feet to a point on the South line of said North Half; thence North 88°00'05" West along

said South line, a distance of 317.99 feet; thence westerly along the North line of a tract of land described in Deed Book 2200, Page 29 of the records of said Cass County, for the following eight courses; thence North 87°39'04" West a distance of 185.30 feet; thence North 62°25'53" West, a distance of 25.69 feet; thence South 79°08'01" West, a distance of 51.75 feet; thence North 87°52'55" West, a distance of 35.11 feet; thence North 87°33'49" West, a distance of 104.30 feet; thence North 88°09'41" West, a distance of 233.17 feet; thence North 87°33'01" West, a distance of 206.12 feet; thence North 88°14'12" West, a distance of 216.85 feet to a point on the West line of said North Half; thence South 02°28'00" West along said West line, a distance of 1.65 feet to the Southwest corner thereof; thence North 87°58'12" West along the South line of the North Half of said Northwest Quarter, a distance of 2528.26 feet to the Southwest corner thereof; thence North 03°04'04" East along the West line of said North Half, a distance of 1319.59 feet to the Northwest corner thereof; thence South 88°08'18" East along the North line of said North Half, a distance of 2514.48 feet to the Northeast corner thereof; thence South 88°05'04" East along the North line of the North Half of said Northeast Quarter, a distance of 1257.40 feet to the Southwest corner of the Southeast Quarter of the Southeast Quarter of said Section 4; thence North 02°29'05" East, along the West line of said Southeast Quarter of the Southeast Quarter, a distance of 800.55 feet to a point on a line being 528.00 feet south of a parallel with the North line of said Southeast Quarter of the Southeast Quarter; thence South 88°02'15" East and parallel with said North line, a distance of 336.71 feet; thence South 02°29'42" West and parallel with the East line of said Southeast Quarter of the Southeast Quarter, a distance of 521.23 feet; thence South 88°05'22" East, on a line 279.00 feet north of and parallel with the South line of said Southeast Quarter of the Southeast Quarter, a distance of 920.96 feet to a point on the East line of said Southeast Quarter of the Southeast Quarter; thence South 02°29'42" West, along said East line, a distance of 279.01 feet to the Point of Beginning. Said parcel is subject to road right of ways of record and contains 6,766,544 square feet or 155.339 acres, more or less, inclusive of said right of ways.

Growth Management Plan: The Future Land Use Map of the current Growth Management Plan designates this property as appropriate for low density residential.

Major Street Plan: The Major Thoroughfare Plan Map classifies the extension of 163rd Street as a major collector road. The extension of Sunset Lane is identified as a minor collector road. North Madison Street is classified as a major collector

Advertisement: November 12, 2020 **Journal Newspaper**

Good Neighbor: November 19, 2020

Public Hearing: December 1, 2020 Planning Commission meeting

Items of Record: **Exhibit 1. Mailed Notices to Adjoining Property Owner**
Exhibit 2. Notice of Publication
Exhibit 3. Unified Development Code
Exhibit 4. Application
Exhibit 5. Growth Management Plan
Exhibit 6. Staff Report
Additional exhibits as presented during hearing

PRELIMINARY PLAT REQUIREMENTS

The following section of the Unified Development Code is applicable to this application:

Section 470.110: Preliminary Plats

A. Applications

1. An application for a preliminary plat may be obtained from the Community Development Director. The application must be completed in its entirety in accordance with Section 470.010C and submitted at least 60 days prior to the date of the meeting where it will be considered.
2. For property in commercial or industrial zoning districts, the application must be submitted at least 30 days prior to the date of the meeting.

B. Memorandum of Understanding

A Memorandum of Understanding (MOU) may be required by the City for any preliminary plat application request.

C. Procedure

1. Pre-Application Conference

Prior to filing an application for a preliminary plat, the applicant must attend a pre-application conference in accordance with Section 470.010B.

2. Development Review Committee and Other Agency Review

a. Upon receipt of a complete application, the Community Development Director will distribute copies of the preliminary plat and supportive information to the Development Review Committee. The application will be reviewed by the Development Review Committee for compliance with applicable regulations of this Code.

b. The Community Development Director will also distribute copies of the preliminary plat to the following governmental agencies, departments, and other persons as may be deemed appropriate for the particular proposed subdivision:

- (1) Fire District;
- (2) Police Department;
- (3) School District;
- (4) State Highway Department (if the subdivision is adjacent to a State Highway); and
- (5) any utility companies providing gas, electric or telephone service in or near the subdivision.

c. The agencies, departments and persons identified in this section will have a minimum of 10 working days to review the preliminary plat and to make their report and recommendations to the Planning and Zoning Commission.

d. If a report has not been returned to the office of the Community Development Director within 10 working days after receiving a plat for review, the proposed plat will be deemed to be in conformance with the laws, rules or policies of the reviewing agency or department.

3. Planning and Zoning Commission Public Hearing

All proposed preliminary plats must be submitted to the Planning and Zoning Commission for review and recommendation. The Planning and Zoning Commission will hold a public hearing on the application in accordance with Section 470.010E

4. Planning and Zoning Commission Recommendation

a. The Planning and Zoning Commission will consider the preliminary plat within 60 days of its receipt by the Community Development Director, or at the next regular meeting for which the plat may be scheduled.

b. The Planning and Zoning Commission will review and consider the reports and recommendations of the agencies, departments and persons to whom the preliminary plat has been submitted for review.

c. If the preliminary plat does comply with all requirements, the Planning and Zoning Commission will forward the application to the City Council with a recommendation of approval.

d. If the preliminary plat is in general, but not complete compliance, the Planning and Zoning Commission may recommend conditional acceptance of the preliminary plat. The conditions of such acceptance will specify the modifications necessary to achieve full compliance. The Planning and Zoning Commission will forward the application to the City Council with a recommendation of approval, subject to conditions.

e. If the preliminary plat is not in compliance with all requirements, the Planning and Zoning Commission will recommend disapproval of the preliminary plat. Within 10 days of its final action, the Planning and Zoning Commission must notify the subdivider in writing of the reasons for its recommendation for disapproval.

f. If the preliminary plat is not recommended for approval, the subdivider may modify the preliminary plat and re-submit it to the Planning and Zoning Commission. If the plat is amended and re-submitted within 60 days of the disapproval of the original preliminary plat, no additional filing fee will be required. The Planning and Zoning Commission may reconsider the preliminary plat at a regular meeting for which the plat may be scheduled by the Community Development Director.

5. City Council Public Hearing

The Raymore City Council must hold a public hearing on the application in accordance with Section 470.010E1b through d and E2.

6. City Council Action

a. The City Council must consider the request within 60 days of receipt of written recommendation of the Planning and Zoning Commission. Upon receipt of the recommendation of the Planning and Zoning Commission, the City Council must consider the application and may take final action to approve or disapprove it.

b. If final action is not taken by the City Council within 120 days after the recommendation of the Planning and Zoning Commission is submitted to it, the preliminary plat will be deemed to have been defeated and denied, unless the applicant has consented to an extension of this time period. Whenever a preliminary plat is defeated, either by vote of the City Council or by inaction described in this section, such preliminary plat cannot be passed without another public hearing that is noticed in accordance with this chapter.

c. If the City Council approves an application, it will adopt a resolution to that effect.

7. Findings of Fact

In its deliberation of a request, the Planning and Zoning Commission and City Council must make findings of fact taking into consideration the following:

- a. the preliminary plat will not adversely affect the appropriate use of neighboring property;
- b. the preliminary plat is in compliance with all applicable regulations of the Unified Development Code, Growth Management Plan, and other City regulations and plans;
- c. the preliminary plat will not impose undue burden upon existing public services and facilities; and
- d. the preliminary plat will make adequate provision to accommodate resulting additional demands which may be imposed upon roads and streets, water supply and storage, storm sewerage, sanitary sewerage, and wastewater treatment without substantially increasing public costs and expenditures.

8. Effect of Approval of Preliminary Plat

a. Approval of the preliminary plat does not constitute final acceptance of the subdivision by the City Council, but will be considered permission to prepare and submit a final plat. Preliminary plat approval will be effective for no more than one year from the date approval was granted unless:

- (1) a final plat application is submitted within one year of the date of preliminary plat approval;
- (2) upon the request of the subdivider, the City Council grants an extension; or
- (3) final plat applications are submitted in accordance with the requirements for staged development of final plats in accordance with Section 470.130E.

b. If preliminary plat approval expires, the preliminary plat must be re-submitted as if no such plat had ever been approved.

9. Extension of Preliminary Plat

An applicant must request that the City Council grant an extension of an approved preliminary plat prior to the expiration date of the preliminary plat. An extension of the preliminary plat can only be requested if it remains unchanged from last acceptance. A request for extension does not require submission of a new application fee or a public hearing

PREVIOUS PLANNING ACTIONS ON OR NEAR THE PROPERTY

1. The PUD Planned Unit Development zoning designation for Creekmoor Subdivision was established by the City on January 26, 2004.
2. The R-1 Single-Family Residential zoning designation for Madison Creek Subdivision was established by the City on November 21, 1999. The first 3 phases of the subdivision have been constructed. The preliminary plat for the remaining undeveloped land has expired.

3. The PR Parks, Recreation and Public Use zoning designation for Hawk Ridge Park was established by the City on September 28, 2009.
4. The RE Rural Estate zoning designation for properties on the east side of North Madison Street was established by the City on October 28, 2009.
5. The R-1P zoning designation was approved for the subject property on October 12, 2020.

GOOD NEIGHBOR INFORMATIONAL MEETING COMMENTS

Fifty-four property owners were identified within 185 feet of the property boundary and notified of the Good Neighbor Meeting held on November 19, 2020. Only one neighbor was present and discussed drainage of the subdivision and potential impact upon his property. Joe Duffey, developer, committed to making sure that drainage would not affect the neighbor’s lot and family farm to the south whether that be through swales or enclosed piping.

ENGINEERING DEPARTMENT COMMENTS

The Engineering Division of Public Works has reviewed the application, Traffic Study and Stormwater Study and determined that the proposed plans and specifications comply with the standards adopted by the City of Raymore. Please see the attached memo for comments and recommendations.

STAFF COMMENTS

1. The current bulk and dimensional standards determined during the property rezoning are as follows:

	R-1P
Minimum Lot Area	6,000
per lot	-
per dwelling unit	2,000 sq.ft.
Minimum Lot Width (feet)	50
Minimum Lot Depth (feet)	100
Yards, Minimum (feet)	
front	25
rear	25
side	7
side, abutting residential district	15
Maximum Building Height (feet)	35
Maximum Building Coverage (%)	45

2. The proposed project was shared with the South Metropolitan Fire Protection District. The District had no comments or concerns.

3. There is a 75-foot right of way provided for the extension of 163rd Street. There is also an additional 50 feet of right of way for the extension of Sunset Lane. The proposed plan does not show any conflict with these future rights-of-way.
4. With Preliminary Plat approval, the property owner(s) may submit construction plans for any required public improvements and commence construction on those improvements.
5. Final Plat approval and acceptance of the required public infrastructure will be required before the issuance of any building permits on the property.
6. There are two streams crossing through the property that are required to be preserved through the City's stream buffer requirements. The proposed plat includes the limits of Zone A FEMA Floodplain on the property. The City stream buffer requirements have been met.
7. Pedestrian safety and connectivity is evaluated as part of the preliminary plat. Five-foot sidewalks will be required with the submittal of individual lots for building permits. Sidewalk will be required on the west side of Sunset Lane and a trail will be required on the east side. A trail will also be required along the north side of 163rd Street and along the west side of North Madison Street.
8. A Memorandum of Understanding (MOU) has been prepared for the subdivision. The MOU outlines all of the requirements and expectations of the City and of the Sub-Divider regarding public infrastructure and timing of installation of private amenities.
9. The administration of the Raymore-Peculiar School District was advised of the proposed preliminary plat and indicated the district was aware of the proposed development and did not have any concerns.
10. The Raymore Parks and Recreation Board, on June 23, 2020, accepted the proposed land dedication of the 10.62 acre park on the north side of 163rd Street, adjacent to North Madison Street, along with a fee-in-lieu requirement that will be paid as final plats are submitted.
11. Sanitary sewer currently crosses through the property. Mains will be extended off the existing line to serve the development. The entire subdivision will be served by gravity sewer.
12. Water main exists along 163rd Street. The main will be required to be extended east to North Madison Street to serve the entire development.

13. The proposed street names have been checked against the City and County database, are compliant with the City addressing policy, and will be reserved.

STAFF PROPOSED FINDINGS OF FACT

Under Section 470.110 of the Unified Development Code, the Planning and Zoning Commission and City Council is directed concerning its actions in dealing with a preliminary plat request. Under 470.110 (C) (7) the Planning and Zoning Commission and City Council is directed to make findings of fact taking into consideration the following:

1. the preliminary plat will not adversely affect the appropriate use of neighboring property;

The preliminary plat will not adversely affect the appropriate use of neighboring properties. The property has always been intended to be developed for single-family residential use.

2. the preliminary plat is in compliance with all applicable regulations of the Unified Development Code, Growth Management Plan, and other City regulations and plans;

The preliminary plat is in compliance with all applicable regulations of the Unified Development Code, Growth Management Plan, and other City regulations and plans. The proposed lots comply with the development standards for the underlying zoning district, and the proposed land uses are consistent with the Future Land Use Map adopted by the City.

3. the preliminary plat will not impose undue burden upon existing public services and facilities; and

The preliminary plat will not impose undue burden upon existing public services and facilities. Infrastructure to serve the property has been sized to meet the future demands for service to the property.

4. the preliminary plat will make adequate provision to accommodate resulting additional demands which may be imposed upon roads and streets, water supply and storage, storm sewerage, sanitary sewerage, and wastewater treatment without substantially increasing public costs and expenditures.

There is sufficient capacity in the water and sanitary sewer systems to support full development of the property. The road network was designed to accommodate full development of the property, or is being extended to serve the development. The Traffic Study that was submitted with the preliminary plat application identifies various

right-turn lane improvements that shall be incorporated into the future development of the property. Stormwater detention facilities will be constructed as development occurs to control water runoff from development on the property. Costs associated with extension of any water, sanitary sewer lines, storm sewer lines, or roadway improvements will be borne by the property owner and/or developer.

REVIEW OF INFORMATION AND SCHEDULE

<u>Action</u>	<u>Planning Commission</u>	<u>City Council</u>
Public Hearing	December 1, 2020	December 14, 2020

STAFF RECOMMENDATION

City Staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and forward case #20021 Park Side - Preliminary Plat to the City Council with a recommendation of approval subject to the following conditions:

1. All public improvements shall be designed in accordance with the most recent Kansas City Metro APWA design standards including section 5601.5 regarding overland flow.
2. All cul-de-sac islands shall provide run-off treatment. Maintenance of these BMP's shall be the responsibility of the Developer.

Memorandum

TO: Planning and Zoning Commission
FROM: Michael Krass, Director of Public Works & Engineering
DATE: November 24, 2020
RE: Parkside Preliminary Plat

The Engineering Division has reviewed the above referenced development plan and offers the following comments.

Project Location: The development is located west of Madison Street and south of 163rd Street.

Sanitary Sewer System - The project will be served by an existing gravity sewer that is located on the property.

Water System - The project is served by existing water main and by the extension of a trunk water main along 163rd Street. There is sufficient flow for the development.

Storm Water System/Water Quality - The development proposes to control runoff through a combination of underground conduits and detention basins.

Transportation - The site will be served by a local road network and by the extension of 163rd Street which will connect to Foxridge Drive and Madison Street. The existing and proposed transportation system has adequate capacity to support this development.

Summary

The Engineering Division requests the Planning and Zoning Commission include the following two conditions as part of the Preliminary Plat Approval.

1. All public improvements shall be designed in accordance with the most recent Kansas City Metro APWA design standards including section 5601.5 regarding overland flow.
2. All cul-de-sac Islands shall provide run-off treatment. Maintenance of these BMP's shall be the responsibility of the Developer.



***Memorandum of Understanding
for
Park Side Subdivision***

Legal Description Contained on Pages 2-3

Between Park Side LLC, Grantor,

and

**City of Raymore, Grantee
100 Municipal Circle
Raymore, MO 64083**

December 14, 2020

MEMORANDUM OF UNDERSTANDING

The Venue of The Good Ranch

THIS MEMORANDUM OF UNDERSTANDING ("MOU") FOR THE DEVELOPMENT OF THE PARK SIDE SUBDIVISION is made and entered into this **14th** day of **December, 2020**, by and between Park Side LLC ("Sub-Divider") also being referred to herein as "Grantors"; and the City of Raymore, Missouri, a Municipal Corporation and Charter City under the laws of the State of Missouri ("City").

WHEREAS, Sub-Divider seeks to obtain approval from the City for a subdivision to be known as Park Side Subdivision, proposed to be located in the City of Raymore, Cass County, Missouri, and;

WHEREAS, Sub-Divider agrees to assume all subdivision development obligations as described in this agreement; and,

WHEREAS, the City desires to ensure that Sub-Divider will accomplish certain things in order to protect the public health, safety and welfare.

NOW, THEREFORE, in consideration of the promises and covenants herein set forth, and receipt by the City of fees and costs as stated herein, the parties agree as follows:

GEOGRAPHIC LOCATION:

The provisions of this MOU shall apply to the following described property:

A parcel of land being a portion of the North Half of the Northwest Quarter and the North Half of the Northeast Quarter of Section 9, Township 46 North, Range 32 West and the Southeast Quarter of the Southeast Quarter of Section 4, Township 46 North, Range 32 West, City of Raymore, Cass County, Missouri, and described as follows:

Beginning at the Northeast corner of the North Half of said Northeast Quarter; thence South 02°22'28" West along the East line of said North Half, a distance of 949.00 feet to a point 381.53 feet north of the Southeast corner thereof; thence North 88°00'05" West and parallel with the South line of said North Half, a distance of 1144.58 feet; thence South 02°22'28" West and parallel with the East line of North Half, a distance of 381.53 feet to a point on the South line of said North Half; thence North 88°00'05" West along said South line, a distance of 317.99 feet; thence westerly along the North line of a tract of land described in Deed Book 2200, Page 29 of the records of said Cass County, for the following eight courses; thence North 87°39'04" West a

distance of 185.30 feet; thence North 62°25'53" West, a distance of 25.69 feet;thence South 79°08'01" West, a distance of 51.75 feet; thence North 87°52'55" West, a distance of 35.11 feet;thence North 87°33'49" West, a distance of 104.30 feet; thence North 88°09'41" West, a distance of 233.17 feet;thence North 87°33'01" West, a distance of 206.12 feet; thence North 88°14'12" West, a distance of 216.85 feet to a point on the West line of said North Half; thence South 02°28'00" West along said West line, a distance of 1.65 feet to the Southwest corner thereof; thence North 87°58'12" West along the South line of the North Half of said Northwest Quarter, a distance of 2528.26 feet to the Southwest corner thereof; thence North 03°04'04" East along the West line of said North Half, a distance of 1319.59 feet to the Northwest corner thereof; thence South 88°08'18" East along the North line of said North Half, a distance of 2514.48 feet to the Northeast corner thereof; thence South 88°05'04" East along the North line of the North Half of said Northeast Quarter, a distance of 1257.40 feet to the Southwest corner of the Southeast Quarter of the Southeast Quarter of said Section 4; thence North 02°29'05" East, along the West line of said Southeast Quarter of the Southeast Quarter, a distance of 800.55 feet to a point on a line being 528.00 feet south of a parallel with the North line of said Southeast Quarter of the Southeast Quarter; thence South 88°02'15" East and parallel with said North line, a distance of 336.71 feet; thence South 02°29'42" West and parallel with the East line of said Southeast Quarter of the Southeast Quarter, a distance of 521.23 feet; thence South 88°05'22" East, on a line 279.00 feet north of and parallel with the South line of said Southeast Quarter of the Southeast Quarter, a distance of 920.96 feet to a point on the East line of said Southeast Quarter of the Southeast Quarter; thence South 02°29'42" West, along said East line, a distance of 279.01 feet to the Point of Beginning. Said parcel is subject to road right of ways of record and contains 6,766,544 square feet or 155.339 acres, more or less, inclusive of said right of ways.

PRELIMINARY DEVELOPMENT PLAN

1. Sub-Divider intends to develop the entire property as a Master Planned Detached Single Family Community in the manner shown on the Preliminary Plat, attached and incorporated herein as Exhibit A.

2. Zoning and Land Use

a. The zoning for the entire Property is "R-1P" Single-Family Residential Planned District.

b. Land Use

1. Detached Single Family Dwellings, as defined by Section 485.010 of the Unified Development Code shall be permitted on all lots, subject to compliance with any special conditions.

2. Accessory uses, including community swimming pools, community clubhouses, playgrounds or other passive/active recreation items are permitted within common or open space areas.

3. Bulk and Dimensional Standards Table:

The following bulk and dimensional standards are established for each lot in the development:

Minimum Lot Area	6,000 sq. ft.
Minimum Lot Width	50 feet
Minimum Lot Depth	100 feet
Minimum Front Yard	25 feet
Minimum Rear Yard	25 feet
Minimum Rear Yard for lots adjacent to stream buffer	20 feet
Minimum Side Yard	7 feet
Minimum Side Yard Corner Lot	10 feet
Maximum Building Coverage	45%
Maximum Building Height	35 feet

4. Landscaping & Screening

- a. A 30-foot landscape buffer within a common area tract(s) shall be provided along 163rd Street and along North Madison Street.
- b. A landscape plan shall be provided as part of the final plat submittal for each phase of the subdivision that is adjacent to 163rd Street or North Madison Street.
- c. The landscaping within the 30-foot landscape buffer shall be installed prior to the issuance of any Certificate of Occupancy for any home in the subdivision phase where the landscape buffer is required.
- d. One yard tree shall be provided in the front yard for each dwelling unit. Corner lots shall be provided with one tree in each front yard.
- d. All required landscaping shall comply with Chapter 430 of the Unified Development Code.
- e. All required landscaping shall be installed prior to the issuance of any Certificate of Occupancy for the applicable building.

5. Parking

a. Off-street Parking shall be provided for each building as follows:

Use	Minimum Parking Spaces Required
Detached Single-Family Dwelling	2 spaces per dwelling unit

b. Off-street parking shall be provided for the swimming pool/clubhouse amenity.

PHASING SCHEDULE

1. The Preliminary Plat is being approved with a defined phasing plan.
2. The Sub-Divider may amend the size of phases submitted for final plat approval in accordance with Section 470.130E of the Unified Development Code.
3. The Sub-Divider may amend the order in which phases are proposed to be developed.
4. The Sub-Divider shall submit final plats in accordance with the phasing schedule approved with the Preliminary Plat.

FINAL PLATS

1. Sub-Divider may submit final plats and associated construction drawings to the City in phases.
2. Each final plat must comply with the bulk and dimensional standards included in this MOU.
3. Final plats shall be submitted in accordance with the Unified Development Code.
4. A final plat application shall be submitted within one year of the date of approval of the Preliminary Preliminary Plat or the Preliminary Plat becomes null and void.

TRANSPORTATION IMPROVEMENTS

1. Road Improvements

- a. 163rd Street shall be constructed as a Collector Roadway with an eighty-foot (80') right-of-way.
- b. 163rd Street shall be constructed by the Sub-Divider for its entire length through the subdivision (to the west property line of land area identified on the Preliminary Plat as the Park).
- c. North Sunset Lane shall be constructed as a Collector Roadway with a sixty-foot (60') right-of-way.
- d. North Sunset Lane shall be constructed by the Sub-Divider for its entire length through the subdivision.
- e. The Sub-Divider agrees to dedicate the right-of-way, and any necessary construction easements, necessary for the construction of North Sunset Lane at no cost to the City.
- f. North Sunset Lane, and the connection of North Sunset Lane to the existing improved portion of 163rd Street, is included as a project in the City of Raymore General Obligation Bond Issue that was approved by the voters on August 4, 2020. The City intends to construct North Sunset Lane through the subdivision, including the connection of North Sunset Lane to the existing improved portion of 163rd Street. Timing of construction of the road is dependent upon acquisition of the necessary right-of-way and the completion of road construction plans, anticipated to be completed in 2021.
- g. If the Sub-Divider desires to commence construction of a phase of the subdivision that requires access off of North Sunset Lane prior to the City completion of the roadway as part of the G.O. Bond Issue, then the Sub-Divider may commence construction of the road. A reimbursement agreement will be prepared between the Sub-Divider and the City to allow the Sub-Divider to be reimbursed for the costs associated with the road construction.
- h. If the City constructs North Sunset Lane, and the connection of North Sunset Lane to the existing improved portion of 163rd Street, then the Sub-Divider is relieved of any responsibility to construct

the road segments and is not required to pay for any portion of the road construction.

- i. All other proposed roads within the subdivision shall be constructed as local roads with a fifty foot (50') right-of-way.
- j. The internal roadways serving the development shall be built to City standards to be accepted by the City. Once the roadways are accepted, the City will assume maintenance responsibilities of the roadways.
- k. Turn lanes or other road improvements to North Madison Street shall be determined at the time of construction of the 163rd Street connection to North Madison and/or at the time a final plat for the subdivision phase adjacent to North Madison Street is proposed.

2. Pedestrian Improvements

- a. A ten foot (10') trail along the north side of 163rd Street shall be constructed at the time 163rd Street is extended through the subdivision to connect with North Madison Street.
- b. A ten foot (10') trail shall be constructed on the west side of North Madison Street the entire length of the subdivision at the time the adjacent subdivision phase is constructed.
- c. A ten foot (10') trail shall be constructed on the west side of North Sunset Lane at the time the adjacent subdivision phase is constructed.
- d. A five foot (5') sidewalk is required on all lots and common areas within the subdivision. Sidewalks in common areas shall be constructed at the time public improvements are installed for the applicable phase of development.
- e. Sidewalks on residential lots shall be constructed prior to the issuance of a Certificate of Occupancy for the home.
- f. No sidewalk or trail is required along the south side of 163rd Street.

SANITARY SEWER IMPROVEMENTS

- 1. Sanitary sewer service shall be provided to each lot by the Sub-Divider.

2. All public improvements shall be installed in accordance with City standards. Before the installation of any sanitary sewer system improvements, the Sub-Divider shall have the engineering plans approved by the MoDNR and the City of Raymore.
3. The sanitary sewer shall be of sufficient size and depth to serve the tributary area identified in the City's Comprehensive Sewer Plan.
4. The Sub-Divider agrees to pay any applicable sewer connection fees and rate charges.
5. All improvements must be approved by the City, constructed to City standards, and inspected by the City; and Sub-Divider agrees to dedicate easements to the City in compliance with City standards for utility easements.

WATER MAIN IMPROVEMENTS

1. The development is located within the territorial area of the City of Raymore.
2. All improvements to the water service system shall comply with the requirements of the City of Raymore and with the requirements of the South Metropolitan Fire Protection District.

STORMWATER IMPROVEMENTS

1. On-site stormwater management shall be completed in accordance with the stormwater management study approved as part of the Preliminary Plat.
2. A final stormwater management plan is required to be submitted at the time building construction plans are submitted for all the land area contained within the final plat.
3. Stormwater management infrastructure shall be installed and operational prior to the issuance of a Certificate of Occupancy for any applicable or affected building.
4. Storm Water Quality BMPs shall be incorporated into the stormwater management plan in accordance with Chapter 450 of the Unified

Development Code.

5. A Stormwater Maintenance Agreement shall be submitted addressing the perpetual maintenance of all stormwater management infrastructure.

PARKLAND DEDICATION

1. Based upon 320 dwelling units, a total of 17.16 acres of park land is required to be dedicated.
2. The Sub-Divider is providing park land dedication in the amount of 12 acres. This land dedication consists of all property within the subdivision that is north of 163rd Street. Actual size of the tract is 13 acres, minus approximately one acre of land area required to be dedicated to the City for right-of-way for 163rd Street and for North Madison Street.
3. The 12 acres of land shall be dedicated to the City concurrent with the recording of the first final plat that contains lots platted for residential homes.
4. The 12 acre tract of land, and the right-of-way for 163rd Street and for North Madison Street shall be contained within a final plat submitted concurrently with the first final plat that contains lots platted for residential homes.
5. The City accepts fee-in-lieu of parkland dedication for the remaining 5.16 acres of land required to be dedicated to the City. Based upon the purchase price of the property by the Sub-Divider, the fee-in-lieu to be paid to the City shall be One-Hundred Three Thousand and Two-Hundred Dollars (\$103,200.00).
6. The fee-in-lieu shall be paid at the time of recording of each final plat that contains lots platted for residential homes as follows:

Amount to be paid = \$322.50 per lot

OPEN SPACE AND AMENITIES

1. Common open space and subdivision amenities shall be provided in accordance with the approved Preliminary Plat. All privately owned open space, common area, or amenity shall be constructed and maintained by the Sub-Divider.

2. The following amenities are provided on the Preliminary Plat:
 - a. Pool,Clubhouse
 - b. Common Area Tracts
3. A minimum of 20% of the overall development shall be provided in the form of common open space.
4. Amenity Phasing Schedule:
 - a. **Pool and Clubhouse** - Shall be constructed prior to the acceptance of public improvements for Phase 3.

SIGNAGE

1. Subdivision entrance markers are permitted for the development in accordance with Chapter 435 of the Unified Development Code.

FLOODPLAIN

1. No portion of any platted lot shall encroach into the Federal Emergency Management Agency (FEMA) floodplain or the 100-year flood elevation for areas not identified as special flood hazard areas. Common area tracts are allowed to encroach into the floodplain.
2. No land disturbance activities or removal of any trees shall occur within the floodplain area except for:
 - a. work to install the necessary outlet structures for the stormwater detention facilities; or
 - b. work necessary for implementation of any stream enhancements required as part of the stream assessment for the development.
 - c. work necessary for installation of utilities.

INSTALLATION AND MAINTENANCE OF PUBLIC IMPROVEMENTS

1. Before the installation of any improvements for a Platted Area, Sub-Divider shall have all engineering plans approved by the City of Raymore.

2. Prior to the issuance of any building permits, Sub-Divider shall install all public improvements necessary to serve the applicable building as shown on approved engineering plans, and said improvements shall have been accepted by the Raymore City Council.
3. The Sub-Divider shall be responsible for the installation and maintenance of all improvements as shown on the approved engineering plans of the subdivision for a period of two years after acceptance by the City, in accordance with the City specifications and policies. Said plans shall be on file with the City and shall reflect the development of said subdivision. Said plans shall include but are not exclusive to the sanitary sewer system, storm drainage system and channel improvements, erosion control, MBF elevations and water distribution systems.
4. The Sub-Divider shall be responsible for the installation of all improvements in accordance with the approved engineering plans. The Sub-Divider hereby agrees to indemnify and hold harmless the City and its past, present and future employees, officers and agents from any and all claims arising from the construction of the improvements located on Sub-Divider's property or from the City's inspection or lack of inspection of the plans, specifications and construction relating to the improvements to be placed on the Sub-Divider's property. Sub-Divider hereby agrees to pay to the City all damages, costs and reasonable attorney's fees incurred by the City and its employees, officers and agents in defending said claims.

FEES, BONDS AND INSURANCE

1. The Sub-Divider agrees to pay to the City, a one percent (1%) Plan Review Fee and five percent (5%) Construction Inspection Fee based on the contract development costs of all public improvements as shown on approved engineering plans of said subdivision. The City Engineer shall review and determine the reasonableness of all costs, as presented.
2. The Sub-Divider agrees to install streetlights in accordance with the approved street light plan. Once streetlights are accepted by the City as part of infrastructure acceptance the City will assume maintenance responsibility for the lights.
3. The Sub-Divider agrees to pay to the City, a \$9 per acre fee for the placement and maintenance of outdoor warning sirens.

4. Per Ordinance #20004, the license (excise) tax for building contractors will be charged at the time of building permits at the applicable rate at the time each building permit application is approved.

GENERAL PROVISIONS

1. The parties agree that execution of this agreement in no way constitutes a waiver of any requirements of applicable City ordinances with which Sub-Divider must comply and does not in any way constitute prior approval of any future proposal for development.
2. The covenants contained herein shall run with the land described in this agreement and shall be binding and inure to the benefit of the parties hereto and their successors or assigns and on any future and subsequent purchasers of the property.
3. This agreement shall constitute the complete agreement between the parties and any modification hereof shall be in writing, subject to the approval of the parties.
4. If, at any time, any part hereof has been breached by Sub-Divider, the City may withhold approval of any or all building permits, or suspend or revoke any issued permits, applied for in the development, until the breach or breaches has or have been cured to the satisfaction of the City.
5. This agreement shall be recorded by the City and its covenants shall run with the land and shall bind the parties, their successors and assigns, in interest and title.
6. Any provision of this agreement which is not enforceable according to law will be severed heretofore and the remaining provisions shall be enforced to the fullest extent permitted by law. The terms of this agreement shall be construed and interpreted according to the laws of the State of Missouri. Venue for any dispute arising from, or interpretation of this agreement shall be in the Circuit Court of Cass County, Missouri.
7. The undersigned represent that they each have the authority and capacity from the respective parties to execute this Agreement. This Agreement shall not be effective until approved by by the City Council of the City of Raymore, Missouri.
8. Whenever in this agreement it shall be required or permitted that notice or demand be given or served by either party to this agreement to or on the

other party, such notice or demand shall be delivered personally or mailed by First Class United States mail to the addresses hereinafter set forth. Such notice or demand shall be deemed timely given when delivered personally or when deposited in the mail in accordance with the above.

If to the City, at:

If to Park Side LLC at:

City Manager
100 Municipal Circle
Raymore, MO 64083

Park Side LLC
Attn: Joe Duffey
105 N. Stewart
Liberty, MO 64068

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the date first written above.

(SEAL)

THE CITY OF RAYMORE, MISSOURI

Jim Feuerborn, City Manager

Attest:

Erica Hill, City Clerk

Sub-Divider – Signature

Printed Name

Sub-Divider – Signature

Printed Name

Subscribed and sworn to me on this
the _____ day of _____ 20__
in the County of _____,
State of _____.

Stamp:

Notary Public: _____ My Commission Expires: _____

PARK SIDE PRELIMINARY PLAT

RAYMORE, CASS COUNTY MISSOURI

DEVELOPER:
PARK SIDE LLC
JOE H. DUFFY
105 N STEWART
LIBERTY, MO 64068

LOT AREA(MIN)	6,000 SQ FT
LOT WIDTH(MIN)	50 FT
LOT DEPTH(MIN)	100 FT
BUILDING COVERAGE	45 %
FRONT YARD SETBACK	25 FT
REAR YARD SETBACK	25 FT
ADJACENT TO STEAM BUFFER	20 FT
SIDE YARD SETBACK	7 FT
CORNER LOT SIDE YARD	15 FT

Construction schedule	
PHASE	
1	Begin Fall 2020
2	Begin Summer 2021
3	Begin Fall 2022
4	Begin Fall 2024
5	Begin Fall 2025
6	Begin Fall 2027
7	Begin Fall 2029
8	Begin Fall 2030
9	Begin Fall 2031
10	Begin Fall 2032
11	Begin Fall 2033
12	Begin Fall 2034

OPEN AREA	
NORTH PARK AREA	10.62ac
TRACT A THRU E OPEN SPACE	28.3ac
ROW DEDICATION FOR 163RD AND N MADISON	3.20ac
SINGLE FAMILY	
TOTAL AREA	155.39ac
NUMBER OF LOTS	320
DENSITY	2.06 UNITS/ac
BUILDING COVERAGE	45%
OFF STREET PARKING	2
PHASES	12

DATE	REVISION	BY
6-2-20	PER CITY & CLIENT COMMENTS	
6-12-20	PER CITY & CLIENT COMMENTS	
9-2-20	PER CITY & CLIENT COMMENTS	
11-12-20	PER CITY & CLIENT COMMENTS	
1-12-20	PER CITY & CLIENT COMMENTS	
1-24-20	PER CITY & CLIENT COMMENTS	

SYMBOL LEGEND		LINE LEGEND	
PROPOSED	EXISTING	PROPOSED	EXISTING
MH	MH	Storm Line	Storm Line
CL	CL	Sanitary Line	Sanitary Line
JB	JB	Water Line	Water Line
FI	FI	Building Line	Building Line
FES	FES	Easement Line	Easement Line
FH	FH	4" Sidewalk	4" Sidewalk
BO	BO	2" Curb	2" Curb
WO	WO	Contour	Contour
WM	WM	Tree Line	Tree Line
St	St	Fence Line	Fence Line
St	St	Gas Line	Gas Line
St	St	Overhead Telephone Line	Overhead Telephone Line
St	St	Underground Telephone Line	Underground Telephone Line
St	St	Overhead Electrical Line	Overhead Electrical Line
St	St	Underground Electrical Line	Underground Electrical Line
St	St	Electric Transformer	Electric Transformer
St	St	Telephone Pedestal	Telephone Pedestal
St	St	Cable Pedestal	Cable Pedestal
St	St	Clean Out	Clean Out

AMENITIES

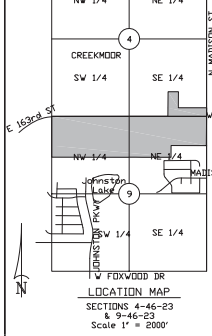
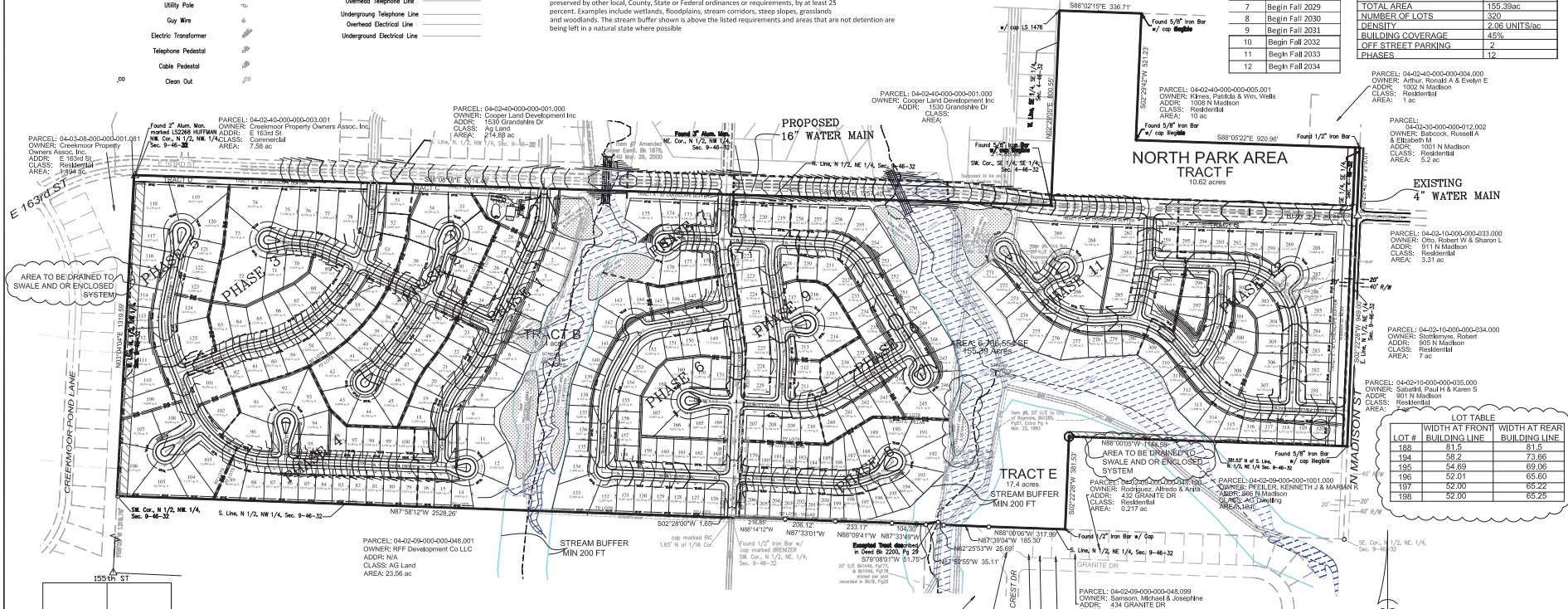
Tier 1
 Pool will be provided at 25 x 50 or approximately that size but over the 1000 square foot requirement

Tier 2
 Playground/lot of 10

Credit will be given for trails required by the Growth Management Plan. If the 10 foot trail along Sunset courts as a credit option.
 Or
 Gazebo

Tier 3
 Preservation of natural features that exceed the size of those that would be required to be preserved by other local, County, State or Federal ordinances or requirements, by at least 25 percent. Examples include wetlands, floodplains, stream corridors, steep slopes, grasslands and woodlands. The stream buffer shown is above the listed requirements and areas that are not detention are being left in a natural state where possible

Improvements Timing
 • Pool and Clubhouse will be constructed with phase 3 or before.
 Pool shown on separate tract.
 • 10 foot trail will be constructed with Sunset Drive Improvements



A parcel of land being a portion of the North Half of the Northwest Quarter and the North Half of the Northeast Quarter of Section 9, Township 46 North, Range 32 West and the Southeast Quarter of the Southeast Quarter of Section 4, Township 46 North, Range 32 West, City of Raymore, Cass County, Missouri, and described as follows:

Beginning at the Northeast corner of the North Half of said Northeast Quarter;

thence South 02°22'28" West along the East line of said North Half, a distance of 949.00 Feet to a point 381.53 feet north of the Southeast corner thereof;

thence North 89°00'05" West and parallel with the South line of said North Half, a distance of 1144.58 feet;

thence South 02°22'28" West and parallel with the East line of said North Half, a distance of 381.53 feet to a point on the South line of said North Half, thence North 89°00'05" West along said South line, a distance of 317.99 feet;

thence westerly along the North line of a tract of land described in Deed Book 2500, Page 29 of the records of said Cass County, for the following eight courses; thence North 87°39'04" West a distance of 185.30 feet;

thence North 62°25'53" West, a distance of 25.69 feet; thence South 79°08'01" West, a distance of 51.75 feet;

thence North 87°52'55" West, a distance of 33.11 feet; thence North 87°33'49" West, a distance of 104.30 feet;

thence North 88°09'41" West, a distance of 23.61 feet; thence North 87°33'01" West, a distance of 206.12 feet;

thence North 88°14'12" West, a distance of 216.88 feet to a point on the West line of said North Half;

thence South 02°38'00" West along said West line, a distance of 1.65 feet to the Southwest corner thereof;

thence North 87°58'12" West along the South line of the North Half of said Northeast Quarter, a distance of 2528.26 feet to the Southwest corner thereof; thence North 03°04'04" East along the West line of said North Half, a distance of 1319.59 feet to the Northwest corner thereof; thence South 89°08'18" East along the North line of said North Half, a distance of 2514.48 feet to the Northeast corner thereof; thence South 89°05'04" East along the North line of the North Half of said Northeast Quarter, a distance of 1257.40 feet to the Southeast Quarter of the Southeast Quarter of said Section 4;

thence North 02°29'05" East, along the West line of said Southeast Quarter of the Southeast Quarter, a distance of 800.55 feet to a point on a line being 528.00 feet south of a parallel with the North line of said Southeast Quarter of the Southeast Quarter;

thence South 89°02'15" East and parallel with said North line, a distance of 336.71 feet;

thence South 02°29'42" West and parallel with the East line of said Southeast Quarter of the Southeast Quarter, a distance of 521.23 feet; thence South 89°05'22" East, on a line 279.00 feet north of and parallel with the South line of said Southeast Quarter of the Southeast Quarter, a distance of 290.96 feet to a point on the East line of said Southeast Quarter of the Southeast Quarter; thence South 02°29'42" West, along said East line, a distance of 279.00 feet to the Point of Beginning.

Said parcel is subject to road right of ways of record and contains 6,766,544 square feet or 155.339 acres, more or less, inclusive of said right of ways.

Notes:

1. Basis of Bearings: Missouri NAD 83 Coordinate System, Missouri Western Zone, US, Foot
2. All bearings and distances shown on this survey are measured unless otherwise noted.
3. Floodable Note (Table A Item #8): According to the F.E.M.A. Flood Insurance Rate Map Numbers 230905C0303, revised 1/20/2017, and 230370022F revised 1/20/2013, portions of this tract fall within ZONE A, determined to be a 1% Annual Chance Flood Hazard. The remainder of this tract generally lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.
4. Current Zoning (Table A Item #9): No zoning report or letter provided. CLASS category shown comes from Cass County GIS system.
5. These are no proposed changes in street right of way lines, nor evidence of recent street or sidewalk construction or repairs observed in the process of conducting the platwork. (Table A Item #11)
6. Utility Notes (Table A Item #9): 0 regular utility and 0 hand-drawn utility. (Table A Item #9)
7. This company did not observe evidence of recent grading, building construction, or building additions in the process of conducting the platwork. (Table A Item #11)
8. No witness deformation markers were observed in the process of conducting the platwork. (Table A Item #10)
9. Utilities shown on this survey are located per shown ground appearances and utility marking company locates. No attempt has been made by the surveyor to estimate the location of any unmarked or unmarked utility lines.

UTILITY NOTES:

1. SANITARY SEWER
 ALL PROPOSED SEWER SERVICE SHALL BE PUBLIC GRAVITY MAINS IN PLACE WITH A DEDICATED EASEMENT OR ROW.
2. WATER CONNECTION
 NEW WATER MAIN OR HYDRANTS ARE PROPOSED. FIRE LINE SHALL BE LOCATED AS SHOWN.
3. SIDEWALKS SHALL BE 5' WIDE ON BOTH SIDES OF ALL ROADS. SIDEWALKS ARE NOT SHOWN FOR CLARITY.
4. ISLAND TREATMENTS TO BE MAINTAINED BY THE HOA.

GENERAL NOTES:

1. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT KCM APWA DESIGN STANDARDS INCLUDING SECTION 5601.5 REGARDING OVERFLOW AND FLOW.
2. ALL CUL-DE-SAC ISLANDS SHALL PROVIDE RUNOFF TREATMENT. MAINTENANCE OF THESE EMP'S SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND HOA.

PRELIMINARY PLAT
PARK SIDE
 CIVIL PLANS FOR
 PARK SIDE
 RAYMORE, CASS COUNTY, MISSOURI

DRAWN BY: RAW
DATE: 5-23-20
PROJECT NO.: 1603-207
SCALE: 1"=200'

PROJECT CONTACTS: ROBERT WALQUIST, P.E.
 821 NE COLUMBUS ST.
 LEE'S SUMMIT, MISSOURI 64068
 Phone: (816) 568-5570
 e-mail: rwalquist@quisteengineering.com

Quist Engineering Inc.
 Civil Engineering for Residential & Commercial Site Development
 821 NE Columbus St.
 Lee's Summit, MO 64068
 Phone: (816) 568-5570
 e-mail: rwalquist@quisteengineering.com

MONTHLY REPORT OCTOBER 2020

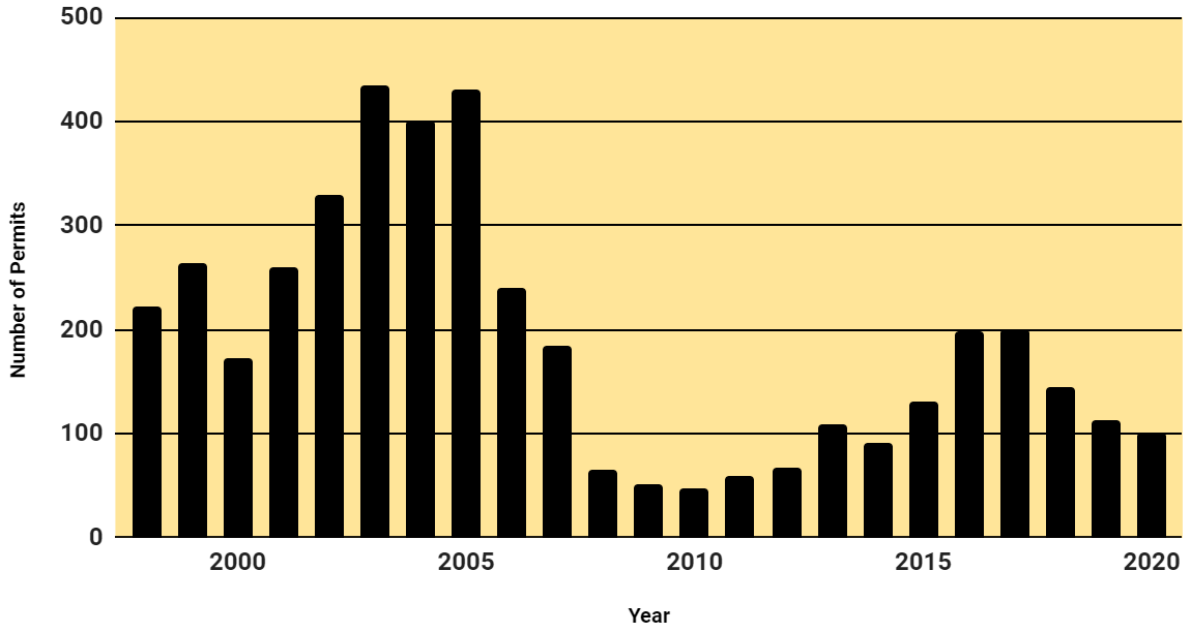
Building Permit Activity

Type of Permit	Oct 2020	2020 YTD	2019 YTD	2019 Total
Detached Single-Family Residential	13	102	88	113
Attached Single-Family Residential	0	14	26	26
Multi-Family Residential	0	396	0	0
Miscellaneous Residential (deck; roof)	105	1,110	642	720
Commercial - New, Additions, Alterations	1	11	17	18
Sign Permits	3	26	44	54
Inspections	Oct 2020	2020 YTD	2019 YTD	2019 Total
Total # of Inspections	344	3,817	3,253	3,858
Valuation	Oct 2020	2020 YTD	2019 YTD	2019 Total
Total Residential Permit Valuation	\$3,435,900	\$30,336,800	\$28,467,200	\$34,498,600
Total Commercial Permit Valuation	\$6,974,200	\$46,019,500	\$1,801,300	\$1,822,300

Additional Building Activity:

- Construction continues on the Compass Health office building.
- Vertical construction continues at The Lofts of Fox Ridge apartment community.
- Construction is near completion of the extension of Dean Avenue to serve the proposed Raymore Commerce Center at the southwest corner of Dean Avenue and North Cass Parkway.
- Building has been issued for Scooter's Coffee.
- Foundation permit has been issued for the 1st industrial building in the Raymore Commerce Center.

Single Family Building Permits



Code Enforcement Activity

Code Activity	Oct 2020	2020 YTD	2019 YTD	2019 Total
Code Enforcement Cases Opened	40	528	566	642
<i>Notices Mailed</i>				
-Tall Grass/Weeds	3	96	135	135
- Inoperable Vehicles	19	165	99	138
- Junk/Trash/Debris in Yard	6	82	130	146
- Object placed in right-of-way	0	6	14	14
- Parking of vehicles in front yard	0	18	12	13
- Exterior home maintenance	1	43	31	41
- Other (trash at curb early; signs; etc)	1	5	2	2
Properties mowed by City Contractor	2	72	71	71
Abatement of violations (silt fence repaired; trees removed; stagnant pools emptied; debris removed)	0	2	8	10
Signs in right-of-way removed	39	429	305	370
Violations abated by Code Officer	10	129	101	126

Development Activity

Current Projects

- Park Side Subdivision, 155 acres south of 163rd Street, west of North Madison, preliminary plat for 320 single-family homes
- North Cass Plaza Preliminary Plat, south of North Cass Parkway, east of I-49
- North Cass Plaza Final Plat
- Community America Credit Union filed for [site plan](#) approval to construct a new facility at the northeast corner of Peace Drive and 58 Highway.

	As of Oct 31, 2020	As of Oct 31, 2019	As of Oct 31, 2018
Homes currently under construction	546 (396 Lofts Apartments)	146	205
Total number of Undeveloped Lots Available (site ready for issuance of a permit for a new home)	302	349	423
Total number of dwelling units in City	8,783	8,641	8,447

Actions of Boards, Commission, and City Council

City Council

October 12, 2020

- Acceptance of public improvements for Eastbrooke at Creekmoor
- Approved on 2nd reading the rezoning for Park Side Subdivision from Agriculture to Single-Family Planned Residential
- Approved on 2nd reading the 32nd amendment to the UDC regarding small wireless facilities
- Held public hearings on 8 undeveloped lots that met the threshold requirement to require sidewalk to be installed by the property owner
- Amended the schedule of fees regarding installation of small wireless facilities
- Approved on 1st reading a contract with Wilson & Company on the design of the Ward Road improvements

October 26, 2020

- Approved on 2nd reading a contract with Wilson & Company on the design of the Ward Road improvements
- Approved the North Cass Plaza Preliminary Plat
- Approved on 1st reading the North Cass Plaza Final Plat
- Confirmed the decision to have the City install sidewalk upon the 8 undeveloped lots that met the threshold to require sidewalk to be installed by the property owner

Planning and Zoning Commission

October 6, 2020

- Recommended denial of the rezoning of 55 acres from Single-family Residential to Single and Two-Family Residential for the Saddlebrook subdivision

October 20, 2020

- Recommended approval of the North Cass Plaza Preliminary Plat
- Recommended approval of the North Cass Plaza Final Plat
- Recommended approval of the 33rd UDC amendment regarding misc. changes discussed as part of the annual review of the UDC

Upcoming Meetings – November & December

November 3, 2020 Planning and Zoning Commission

- Meeting cancelled - election day

November 9, 2020 City Council

- 2nd reading, North Cass Plaza Final Plat
- 1st reading, UDC 33rd Amendment, Misc. Items from 2020 Annual Review

November 16, 2020 Joint City Council and Planning and Zoning Commission

- Meeting of City Council and the Planning and Zoning Commission, Parks and Recreation Board, and Arts Commission to discuss new Comprehensive Plan effort

November 17, 2020 Board of Adjustment

- Variance to front yard setback requirement, 713 Redtop Lane, Gary Gaston
- Election of Officers
- 2021 Meeting Calendar
- Commissioner Training

November 17, 2020 Planning and Zoning Commission

- Community America Credit Union site plan
- Election of Officers
- 2021 Meeting Calendar

November 23, 2020 City Council

- 2nd reading, UDC 33rd Amendment

December 1, 2020 Planning and Zoning Commission

- Park Side Subdivision Preliminary Plat (public hearing)
- Raymore Galleria North 3rd Final Plat
- Raymore Commerce Center First Final Plat

December 14, 2020 City Council

- Park Side Subdivision Preliminary Plat (public hearing)

December 15, 2020 Planning and Zoning Commission

- No applications currently filed

December 28, 2020 City Council

- No development applications currently filed

Department Activities

- Director Jim Cadoret participated in the Raymore-Peculiar School District Long Range Facility Planning Committee meeting.
- City Planner Katie Jardieu participated in the First Suburbs Coalition virtual meeting to provide input on the Universal Design Idea Book being updated by the Mid-America Regional Council.
- The rezoning application for the proposed Saddlebrook Subdivision, located north of Hubach Hill Road, east of Stonegate Subdivision, originally scheduled for consideration by the City Council on Oct. 26, has been placed on hold by the applicant.
- Community America Credit Union filed for [site plan](#) approval to construct a new facility at the northeast corner of Peace Drive and 58 Highway. The Planning and Zoning Commission will consider the site plan on Nov. 17.
- Development Services Director Jim Cadoret and Economic Development Director David Gress participated in a zoom meeting hosted by the Cass County Economic Development corporation on the Real World Learning Initiative.
- Building Official Jon Woerner participated in the Missouri Association of Building Codes Administrators fall seminar.
- Code Enforcement Officer Drayton Vogel participated in the American Association of Code Enforcement Officers virtual annual conference.
- GIS Coordinator Heather Eisenbarth assisted the Raymore-Peculiar School District Administrative staff in acquiring housing data for each school facility boundary area within Raymore
- A Good Neighbor meeting has been scheduled to discuss the preliminary plat for the [Park Side](#) Subdivision, proposed for 155 acres located west of N. Madison Street and generally south of the future extension of 163rd Street, on Thursday, Nov. 19 at 6:30 p.m. at Centerview.

- Director Jim Cadoret participated in a webinar sponsored by the Mid American Regional Council on "Understanding Shared Services".

GIS Activities

- Development of mapping apps as requested
- Street intersection dataset & list report
- Elementary school attendance area information as requested
- Addressing operations, including rebuild of address locator(s) for quarterly geocoding of datasets
- Geospatial data updates as required
- Quality assurance & documentation
- Map exhibits as required
- Maps for event planning operations as requested
- Annual/monthly update/review of external datasets (streets, incorporations, etc)
- Document management (optimization of PDF file size, as builds)

