

RAYMORE PLANNING AND ZONING COMMISSION AGENDA

Tuesday, November 17, 2020 - 7:00 p.m.

City Hall Council Chambers
100 Municipal Circle
Raymore, Missouri 64083

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Personal Appearances - None
5. Consent Agenda
 - a. Approval of Minutes from October 20, 2020 meeting
6. Unfinished Business - None
7. New Business - None
 - a. Election of Officers
 - b. 2021 Meeting Calendar
 - c. Case #20022 - Community America Credit Union -Site Plan
 - d. Commissioner Training
8. City Council Report
9. Staff Report
10. Public Comment
11. Commission Member Comment
12. Adjournment

Any person requiring special accommodation (i.e. qualified interpreter, large print, hearing assistance) in order to attend this meeting, please notify the City Clerk at (816) 331-0488 no later than forty-eight (48) hours prior to the scheduled commencement of the meeting.

Meeting Procedures

The following rules of conduct apply:

1. Public can only speak during the meeting under the following circumstances:
 - a. The citizen has made a formal request to the Development Services Department to make a personal appearance before the Planning Commission;
or,
 - b. A public hearing has been called by the Chairman and the Chairman has asked if anyone from the public has comments on the application being considered;
or
 - c. A citizen may speak under Public Comment at the end of the meeting.
2. If you wish to speak to the Planning Commission, please proceed to the podium and state your name and address. Spelling of your last name would be appreciated.
3. Please turn off (or place on silent) any pagers or cellular phones.
4. Please no talking on phones or with another person in the audience during the meeting.
5. Please no public displays, such as clapping, cheering, or comments when another person is speaking.
6. While you may not agree with what an individual is saying to the Planning Commission, please treat everyone with courtesy and respect during the meeting.

Every application before the Planning Commission will be reviewed as follows:

1. Chairman will read the case number from the agenda that is to be considered.
2. Applicant will present their request to the Planning Commission.
3. Staff will provide a staff report.
4. If the application requires a public hearing, Chairman will open the hearing and invite anyone to speak on the request.
5. Chairman will close the public hearing.
6. Planning Commission members can discuss the request amongst themselves, ask questions of the applicant or staff, and may respond to a question asked from the public.
7. Planning Commission members will vote on the request.

THE **PLANNING AND ZONING COMMISSION** OF THE CITY OF RAYMORE, MISSOURI, MET IN REGULAR SESSION **TUESDAY, OCTOBER 20, 2020**, IN CITY COUNCIL CHAMBERS, 100 MUNICIPAL CIRCLE, RAYMORE, MISSOURI WITH THE FOLLOWING COMMISSION MEMBERS PRESENT: CHAIRMAN WILLIAM FAULKNER, MATTHEW WIGGINS, ERIC BOWIE, KELLY FIZER, JIM PETERMANN, MARIO URQUILLA, CALVIN ACKLIN, AND MAYOR KRIS TURNBOW. COMMISSIONER JEREMY MANSUR WAS ABSENT. ALSO PRESENT WAS CITY PLANNER KATIE JARDIEU, DEVELOPMENT SERVICES DIRECTOR JIM CADORET, AND CITY ATTORNEY JONATHAN ZERR.

1. **Call to Order** – Chairman Faulkner called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance**
3. **Roll Call** – Roll was taken and Chairman Faulkner declared a quorum present to conduct business.
4. **Personal Appearances** – None
5. **Consent Agenda**
 - a. **Approval of the minutes of the October 6, 2020 meeting.**

Motion by Commissioner Urquilla, Seconded by Commissioner Petermann, to approve the consent agenda.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Bowie	Aye
Commissioner Acklin	Aye
Commissioner Fizer	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Absent
Mayor Turnbow	Aye

Motion passed 8-0-0.

6. Unfinished Business - None

7. New Business -

a. Case #20019 - North Cass Plaza - Preliminary Plat (*public hearing*)

Public hearing opened at 7:05 pm.

Dave Otis, the applicant, gave a brief overview of Tract 9 and the history regarding the preliminary plat which expired due to lack of advancement. He stated that he was interested in now doing a very basic preliminary plat and would come back later with details and subdividing of the area when tenants request it. The area would likely be developed in three phases.

Katie Jardieu, City Planner, presented the staff report identifying the area as appropriate for commercial and business development with some park land as shown in the Growth Management Plan. The Major Street Plan identifies Dean Avenue and North Cass Parkway as minor arterial roads.

One property owner was notified regarding the action, but he did not call to discuss or schedule a meeting regarding the application. Past actions on the property include: the property was preliminary platted in March 2014 and expired in March 2019, Dean Avenue right-of-way and extension were previously platted and recorded in August of this year and construction has started. Ms. Jardieu also stated that no buildings were being proposed at this time and should the applicant seek to build any, he would need to come back before the Planning Commission with any changes to the preliminary plat. Pedestrian safety and connectivity would also be evaluated when a site plan was presented to show the layout of lots and buildings. Any future subdivision of the lots would need Planning Commission approval.

Ms. Jardieu stated that staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and forward case #20019 - North Cass Plaza - Preliminary Plat to the City Council with a recommendation of approval.

Chairman Faulkner provided an opportunity for any public present to speak, seeing none the public hearing was closed at 7:11 pm.

Commissioner Faulkner asked if the Engineering Memo needed clarification since it referenced more lots than were present on the preliminary plat. Mayor Turnbow stated he did not see a difference between the previously approved preliminary plat and this current application and would defer to Development Services. Ms. Jardieu stated that this referenced more defined areas in regards to Engineerings comments but that the memo would be updated for consistency.

Motion by Commissioner Uquilla, Seconded by Commissioner Wiggins, to accept staff proposed findings of fact of case #20019 North Cass Plaza Preliminary Plat and forward to City Council with a recommendation of approval subject to instructions to staff to make any necessary changes to the Engineering memo.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Bowie	Aye
Commissioner Acklin	Aye
Commissioner Fizer	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Absent
Mayor Turnbow	Aye

Motion passed 8-0-0.

b. Case #20020 - North Cass Plaza - Final Plat

Dave Otis, the applicant, gave a brief overview of the final plat stating it was the same as the preliminary plat with nothing further to add..

Katie Jardieu, City Planner, presented the staff report identifying that this was the same as the preliminary plat. Ms. Jardieu also stated that due to previous discussion, the Engineering Memo would be updated to remain consistent.

Ms. Jardieu stated that staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and forward case #20020 - North Cass Plaza - Final Plat to the City Council with a recommendation of approval subject to the condition of approval.

Motion by Commissioner Bowie, Seconded by Commissioner Urquilla, to accept staff proposed findings of fact of case #20020 North Cass Plaza Final Plat and forward to City Council with a recommendation of approval subject to the applicant submitting construction drawings with coordinating lot numbers.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Bowie	Aye
Commissioner Acklin	Aye
Commissioner Fizer	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Absent
Mayor Turnbow	Aye

Motion passed 8-0-0.

c. Case #20015 - UDC 33rd Amendment (public hearing)

Public hearing opened at 7:21 pm.

Katie Jardieu, City Planner, presented the staff report identifying the 17 items that were being changed and/or added.

Ms. Jardieu stated that staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and forward case #20015 - UDC 33rd Amendment to the City Council with a recommendation of approval.

Chairman Faulkner provided an opportunity for any public present to speak, seeing none the public hearing was closed at 7:26 pm.

Commissioner Bowie asked for clarification on what was discussed for unexcused as opposed to excused absences. Ms. Jardieu stated that the discussion led to any notification of an absence made is excused. However, if a commissioner was sick and unable to notify staff that they are ill and need to miss multiple meetings that staff would still consider that excused. Ultimately it would be up to the Mayor to decide and bring unexcused absences to the Commissioners attention.

Commissioner Fizer asked for clarification on the prohibited building materials listed in Section 13. Ms. Jardieu stated that it was felt these materials were not as hardy and did not age as well as more substantial materials. Commissioner Fizer stated she was always looking for innovative building design and felt corrugated or painted metal might be acceptable. Ms. Jardieu stated, in her experience people have wrapped metal in a type of vinyl or material for a wood grain look and that would not necessarily fall under the prohibited materials.

Motion by Commissioner Bowie, Seconded by Commissioner Wiggins, to accept staff proposed findings of fact of case #20015 UDC 33rd Amendment and forward to City Council with a recommendation of approval with noted corrections to Section 10.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Bowie	Aye
Commissioner Acklin	Aye
Commissioner Fizer	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Absent
Mayor Turnbow	Aye

Motion passed 8-0-0.

8. City Council Report

City Attorney Jonathan Zerr provided a review of the Council meeting from October 12th meeting:

- Second Reading of Parkside Rezoning which was approved.
- UDC 32nd Amendment for small wireless was approved.

9. Staff Report

Mr. Cadoret stated that the Saddlebrook application has been placed on hold by the developer. The November 3rd meeting is cancelled, which is also Election Day. Commissioners will also have back-to-back meetings on November 16th and 17th. November 16th will be a joint meeting with all other Boards and Commissions to go over the Strategic Plan and the 16th will be the Community America Credit Union Site Plan.

10. Public Comment

No public comment.

11. Commission Member Comment

Commissioner Bowie thanked the staff.

Commissioner Fizer thanked the staff

Commissioner Acklin thanked the staff.

Commissioner Urquilla thanked Attorney Zerr and staff.

Commissioner Petermann thanked the staff.

Commissioner Wiggins thanked the staff.

Mayor Turnbow thanked staff and thanked the Commissioners for their keen eye. He also mentioned that the Ward Road RFP would be going out soon and the entire GO Bond project is moving along. Staff is working closely with MoDOT to coordinate and minimize headaches. It will not be entirely eliminated but we are doing what we can to greatly help the inevitable.

Chairman Faulkner thanked the staff.

12. Adjournment

Motion by Commissioner Urquilla, Seconded by Commissioner Wiggins, to adjourn the October 20, 2020 Planning and Zoning Commission meeting.

Vote on Motion:

Chairman Faulkner	Aye
Commissioner Wiggins	Aye
Commissioner Bowie	Aye
Commissioner Acklin	Aye
Commissioner Fizer	Aye
Commissioner Petermann	Aye
Commissioner Urquilla	Aye
Commissioner Mansur	Absent
Mayor Turnbow	Aye

Motion passed 8-0-0.

The October 20, 2020 meeting adjourned at 7:50 p.m.

Respectfully submitted,

Katie Jardieu

**Raymore Planning and Zoning Commission
2021 Meetings and Deadlines**

Planning Commission Meeting Date	Residential Preliminary Plat Submission Deadline	Annexation, Rezoning, Site Plan, Final Plat, Conditional Use Permit Submission Deadline	Park Board (prelim. plat only) Suggested Meeting Date	Final Revisions Submission Deadline	Planning and Zoning Commission Public Hearing Notice		City Council Public Notice	City Council 1st Reading	City Council 2nd Reading
					Sent to publish	Neighbor Notice	Sent to publish		
1st and 3rd Tuesdays	60 days prior	Commercial Preliminary and Final 30 days prior to submission deadline	Meeting before revision deadline	10 working days before meeting	3 weeks before meeting (Friday)	2 weeks before meeting (Friday)	3 weeks before meeting (Friday)	2nd and 4th Mondays	Usually next meeting following 1st reading
5-Jan	6-Nov	5-Dec	24-Nov	21-Dec	11-Dec	18-Dec	1-Jan	25-Jan	8-Feb
19-Jan	20-Nov	19-Dec	24-Nov	4-Jan	25-Dec	1-Jan	15-Jan	8-Feb	22-Feb
2-Feb	4-Dec	1-Jan	26-Jan	18-Jan	8-Jan	15-Jan	29-Jan	22-Feb	8-Mar
16-Feb	18-Dec	15-Jan	26-Jan	1-Feb	22-Jan	29-Jan	12-Feb	8-Mar	22-Mar
2-Mar	1-Jan	29-Jan	26-Jan	15-Feb	5-Feb	12-Feb	26-Feb	22-Mar	12-Apr
16-Mar	15-Jan	12-Feb	26-Jan	1-Mar	19-Feb	26-Feb	19-Mar	12-Apr	26-Apr
6-Apr	5-Feb	5-Mar	23-Feb	15-Mar	12-Mar	19-Mar	2-Apr	26-Apr	10-May
20-Apr	19-Feb	19-Mar	23-Feb	5-Apr	26-Mar	2-Apr	16-Apr	10-May	24-May
4-May	5-Mar	2-Apr	23-Mar	19-Apr	9-Apr	16-Apr	30-Apr	24-May	14-June
18-May	19-Mar	16-Apr	23-Mar	3-May	23-Apr	30-Apr	21-May	14-June	28-Jun
1-Jun	2-Apr	30-April	27-Apr	17-May	7-May	14-May	4-June	28-June	12-Jul
15-Jun	16-Apr	14-May	27-Apr	31-May	21-May	28-May	18-Jun	12-Jul	26-Jul
6-Jul	7-May	4-Jun	25-May	21-Jun	11-Jun	18-Jun	2-Jul	26-Jul	9-Aug
20-Jul	21-May	18-Jun	25-May	5-Jul	25-Jun	2-Jul	16-Jul	9-Aug	23-Aug
3-Aug	4-June	2-Jul	22-Jun	19-Jul	9-Jul	16-Jul	30-Jul	23-Aug	13-Sep
17-Aug	18-Jun	16-Jul	22-Jun	2-Aug	23-Jul	30-Jul	20-Aug	13-Sep	27-Sep
7-Sep	9-Jul	6-Aug	27-Jul	16-Aug	13-Aug	13-Aug	3-Sep	27-Sep	11-Oct
21-Sep	23-Jul	20-Aug	27-Jul	30-Aug	27-Aug	27-Aug	17-Sep	11-Oct	25-Oct
5-Oct	6-Aug	3-Sep	24-Aug	20-Sep	10-Sep	17-Sep	1-Oct	25-Oct	8-Nov
19-Oct	20-Aug	17-Sep	24-Aug	4-Oct	24-Sep	1-Oct	15-Oct	8-Nov	22-Nov
2-Nov	3-Sep	1-Oct	28-Sep	18-Oct	8-Oct	15-Oct	29-Oct	22-Nov	13-Dec
16-Nov	17-Sep	15-Oct	28-Sep	1-Nov	22-Oct	29-Oct	19-Nov	13-Dec	27-Dec
7-Dec	8-Oct	5-Nov	26-Oct	15-Nov	12-Nov	12-Nov	3-Dec	27-Dec	10-Jan
21-Dec	22-Oct	19-Nov	26-Oct	29-Nov	26-Nov	26-Nov	17-Dec	10-Jan	24-Jan

A Public Hearing is Required for Preliminary Plat, Rezoning, and Conditional Use Permits.

~ All applicants are required to meet with the City's Development Review Committee (DRC) prior to making any application.

~ The DRC meets by appointment with applicants. An appointment can be scheduled by calling the Development Services Department at 816.892.3016

~ All applications must be complete upon submittal. A complete application and submission includes all required engineering plans



To: Planning and Zoning Commission
From: Katie Jardieu, City Planner
Date: November 17, 2020
Re: Case #20022 - Community America Credit Union Site Plan

GENERAL INFORMATION

Applicant/ Chris Wolfe
Property Owner: Community America Credit Union
9777 Ridge Drive
Lenexa, KS 66219

Requested Action: Site Plan approval for Community America Credit Union
Property Location: 1292 W. Foxwood Drive



Existing Zoning:

C-2 General Commercial District



Existing Surrounding Uses:

North: R2 & PO
South: C3
East: C2
West: PUD

Total Tract Size: 1.029 Acres

Growth Management Plan: The Future Land Use Plan Map contained in the Growth Management Plan identifies this property as appropriate for Commercial development.

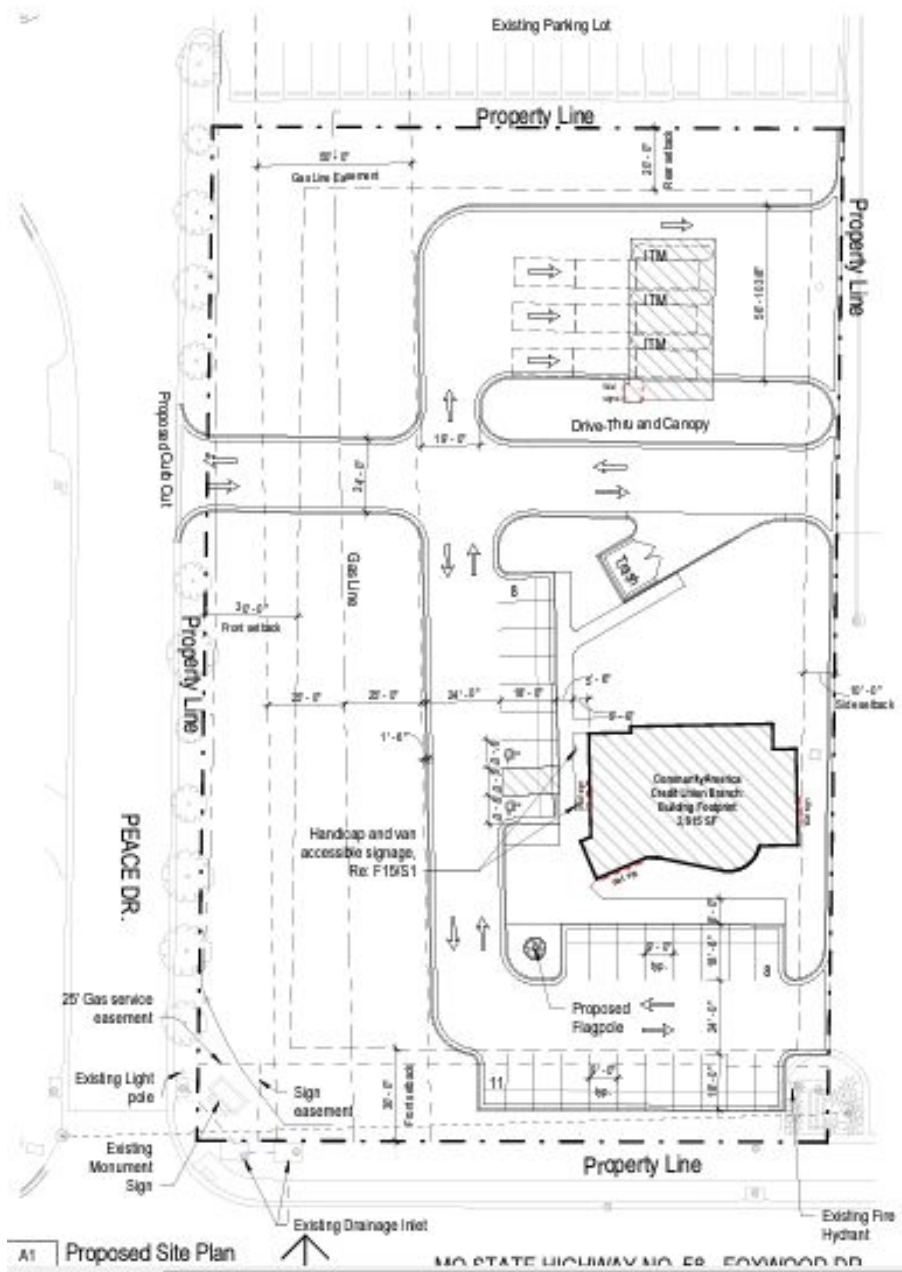
Major Street Plan: The Major Thoroughfare Plan Map contained in the Growth Management Plan identifies W Foxwood Drive as a major arterial road. Peace Drive to the west is identified as a local road.

Advertisement: City Ordinance does not require advertisement for Site Plans.

Public Hearing: City Ordinance does not require a public hearing for Site Plans.

PROPOSAL

Outline of Requested Action: The applicant seeks to obtain site plan approval for a proposed 2,615 square foot credit union with 3 lane drive up access remote tellers. The building will include 27 parking spots, including two for handicap accessibility.



SITE PLAN REQUIREMENTS AND STANDARDS

In order for the applicant to accomplish the aforementioned action, they must meet the provisions of the Unified Development Code. Chapter 470 of the Unified Development Code outlines the requirements and actions that need to be taken in order to site plan property, specifically Section 470.160.

Section 470.160 Site Plan Review

A. Purpose

The City of Raymore recognizes that the nature of land development creates the potential for traffic congestion, overcrowding, adverse visual and environmental impacts, and health problems. The City strives to promote growth in Raymore while stabilizing the established residential character of the area. Site plan review regulates the development of structures and sites in a manner that takes into consideration the following considerations:

1. the balancing of landowners' rights to use their land, with the corresponding rights of neighboring landowners, residents and the general public, to live without undue disturbances (e.g., noise, smoke, vibration, fumes, dust, odor, glare, stormwater runoff, etc.);
2. the convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent areas or roads;
3. the adequacy of waste disposal methods and protection from pollution of surface or groundwater;
4. the protection of historic and environmental features on the site under review and in adjacent areas;
5. the stability of the built environment, particularly residential neighborhoods, by promoting urban development which is compatible with clearly identified natural resources; and
6. the adequacy of provisions for resulting additional system demands which may be imposed by the development upon roads and streets, water supply and storage, storm sewerage, sanitary sewerage and wastewater treatment and the consistency of the development with the City's Growth Management Plan.

B. Applicability

1. All applications for building permits for developments in the multi-family, commercial and industrial zoning districts are subject to site plan review in accordance with this section. All nonresidential uses in residential districts require site plan review.
2. No building permit will be issued without being granted site plan approval when it is required by this subsection.

C. Application

Applications for site plan review may be obtained from the Community Development Director. The application must be completed in its entirety in accordance with Section 470.010C and filed with the Community Development Director. The applicant must submit copies in accordance with the submission schedule regularly adopted by the Planning and Zoning Commission.

D. Procedure

1. Community Development Director Action

- a. All site plans will be reviewed by the Community Development Director.
- b. The Community Development Director has the authority to take final action (approve, conditionally approve or deny) on applications for:
 - (1) developments that have an approved site plan on file where the application proposes to expand the existing use by less than 10 percent or 5,000 square feet, whichever is less; or
 - (2) developments that have an approved site plan on file where the application proposes to modify signage, parking, landscaping or other minor feature and the proposed modifications will be in compliance with all requirements of this Code.
- c. The Community Development Director must complete the review within 20 days of receiving a complete application.

2. Planning and Zoning Commission Action

With the exception of those cases identified in paragraph 1 above, all other applications for site plan review will be reviewed by the Community Development Director, and forwarded to the Planning and Zoning Commission for review and action. The Commission has the authority to take final action, and may approve, approve with conditions or disapprove the application.

3. Conditions of Approval

In approving a site plan, the Planning and Zoning Commission or, when applicable the Community Development Director may impose reasonable conditions, safeguards and restrictions upon the applicant and the premises.

E. Findings of Fact

- 1. In order to be approved, the Community Development Director or Planning and Zoning Commission must find that the following conditions are met:
 - a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;
 - b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;
 - c. the proposed use is allowed in the district in which it is located;

- d. vehicular ingress and egress to and from the site, and circulation within the site provides provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;
- e. the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;
- f. the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services;
- g. open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;
- h. the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;
- i. provides adequate parking for the use, including logical and safe parking and circulation;
- j. provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates; and
- k. includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.

F. Effect of Approval

If the Planning and Zoning Commission or, when applicable, the Community Development Director approves a site plan, it will be considered permission to prepare and submit a building permit application that complies with the approved site plan and conditions of approval.

G. Appeals

1. The applicant may appeal the decision of the Community Development Director to the Planning and Zoning Commission.
 - a. The applicant must notify the Community Development Director of their intent to appeal within 10 days of the date of decision from the Community Development Director.
 - b. The Community Development Director will schedule the appeal for the next regularly scheduled Planning and Zoning Commission meeting which is no sooner than 15 days from the date the intent to appeal was filed.

- c. The applicant must provide an additional 15 review copies of the drawings and the additional required fee along with the intent to appeal.
2. The applicant may appeal the decision of the Planning and Zoning Commission to the City Council.
 - a. The applicant must notify the Community Development Director of their intent to appeal, in writing, within 10 days of the date of the Planning and Zoning Commission meeting when the application was considered.
 - b. The Community Development Director will schedule the appeal for the next regularly scheduled City Council meeting provided it is at least 15 days from the date the intent to appeal was filed.
 - c. The applicant will provide an additional 15 review copies of the drawings along with the intent to appeal.

PREVIOUS ACTIONS ON THE PROPERTY

1. The subject property was rezoned to “C-2” General Commercial District on April 12, 1993.
2. The Final Plat for the subject property was approved on January 28, 2002.
3. The subject property was previously owned by the Raymore Christian Church located across Peace Drive.
4. The two existing “Willowind Shopping Center” centers on the subject property are located within recorded sign easements. These two signs do not count against the total number of signs permitted upon the property for the Credit Union.

ENGINEERING DIVISION COMMENTS

The Engineering Division of Public Works has reviewed the application and determined that it complies with all of the applicable requirements of City Code.

STAFF COMMENTS

1. **Development Standards:** The current bulk and dimensional standards for the “C2” General Commercial District zoning classification for the property is provided below.

C-3	
Minimum Lot Area	
per lot	-
Minimum Lot Width (feet)	100
Minimum Lot Depth (feet)	100
Yards, Minimum (feet)	
front	30
rear	20
side	10
side, abutting residential district	20
Maximum Building Height (feet)	80
Maximum Building Coverage (%)	40

The property and proposed building comply with the C2 district development standards.

2. **Special Use Conditions:** Financial Institutions with drive thru facilities must meet the requirements of Section 420.030L:

L. Drive-through Facilities

1. **General**

Drive-through facilities are permitted as indicated in the use table in Section 410.020.

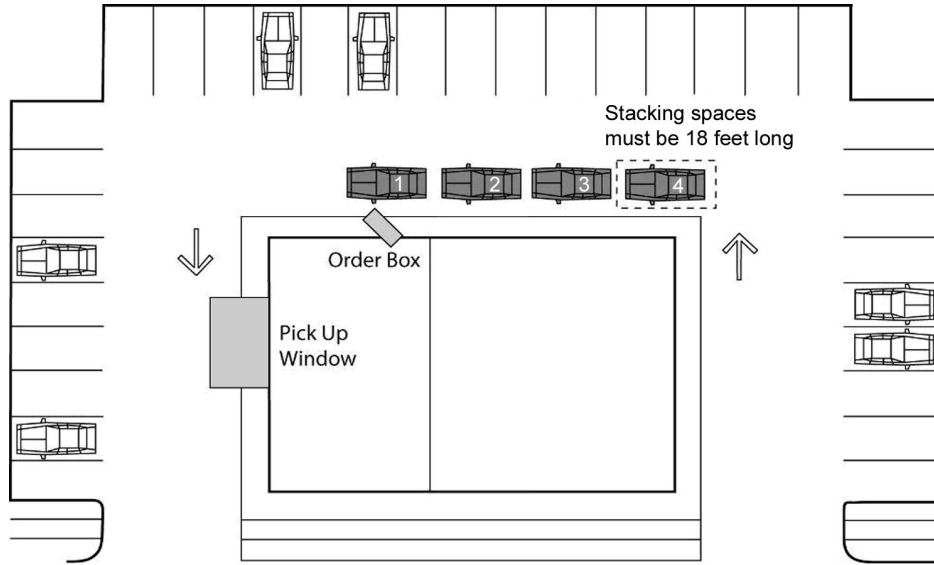
2. **Vehicle Stacking Areas**

- a. Each drive-through facility must provide the minimum vehicle stacking spaces as follows:

The following requirements shall be followed in determining the minimum stacking length per lane:	
Use	Stacking Requirement
Financial Institution	
- teller lane	3
- ATM	3
Car Wash	
- automatic service	4
Restaurant	4 behind menu board
Pharmacy	2
Other uses	To be determined by the Director

- b. Vehicle stacking spaces include the space at the menu board, order box or service window.
- c. Each vehicle stacking space shall be 18 feet long by 9 feet wide.
- d. Each vehicle stacking lane shall be separate from any access aisle, loading space, or parking space.

- e. No vehicle stacking lane shall conflict with any vehicle entrance or exit, vehicle access way or pedestrian crosswalk.
- f. The Commission has the authority to allow a deviation to the stacking requirement based upon a study submitted by a traffic engineer which provides evidence to allow the reduction of these stacking requirements.



3. Adjacent to Residential Districts

- a. Drive-through facilities, including stacking areas, must be separated from residentially-zoned property by at least 40 feet.
- b. Speaker systems used in conjunction with drive-through facilities must be designed so that they are not audible at the property line abutting residentially-zoned property.

The site plan complies with the special use conditions applicable to the use on the property.

3. Parking: The minimum parking standards for the uses allowed within the proposed development are as follows:

Use	Minimum Parking Spaces Required
COMMERCIAL USES	
Banks and Financial Services	1 per 200 square feet

With 27 parking spaces provided, and 2 ADA compliant parking spaces, the building complies with the required minimum parking standards.

4. Landscaping

Twenty percent (20%) of the site is required to be reserved for landscaped area. A landscaped area a minimum of six feet (6') in width shall be provided along each street frontage and along all perimeter property lines.

Existing trees along Peace Drive will be preserved, except for two trees which will be removed to allow access to the site along Peace Drive.

The minimum six-foot (6') landscaped area is provided along all street frontages.

The required interior parking lot area landscaping and perimeter parking lot landscaping, including a tree, has been provided.

The proposed landscape plan does comply with the landscaping requirements of the UDC.

5. Building Design:

The proposed development must comply with the building design standards contained in Section 440.010 of the UDC.

Section 440.010 Building Design Standards

C. Building Materials

1. Masonry Construction

A minimum of 50 percent of the front and side facades shall consist of materials described by this sub-section.

- a. Masonry construction shall include all masonry construction which is composed of solid, cavity, faced or veneered-wall construction, or similar materials approved by the Planning and Zoning Commission.
- b. Stone materials used for masonry construction may consist of granite, sandstone, slate, limestone, marble or other hard and durable all-weather stone. Ashlar, cut stone and dimensioned stone construction techniques are acceptable.
- c. Brick material used for masonry construction shall be composed of hard-fired (kiln-fired), all weather common brick or other all-weather common brick or all-weather-facing brick.
- d. Concrete finish or precast concrete panel (tilt wall) construction shall be exposed or aggregate, hammered, sandblasted or other finish as approved by the Planning and Zoning Commission.
- e. Stucco or approved gypsum concrete/plaster materials are also permitted.

2. Glass Walls

Glass walls shall include glass-curtain walls or glass-block construction. A glass-curtain wall shall be defined as an exterior wall which carries no floor or roof loads and which may consist of a combination of metal, glass and other surfacing materials supported in a metal frame.

3. Metal Walls

- a. The use of metal siding is permitted only in industrial districts and only for side and rear façades. The materials used on the front façade shall be incorporated into any façade visible from a public street to break up the monotony of those facades.
- b. The use of corrugated panels, with a depth of less than three-quarter inch or a thickness less than U.S. Standard 26 gauge is prohibited.
- c. The use of unpainted metal panels, excluding panels made from copper, weathering steel, or stainless steel, is prohibited. The color finish of metal panels and exposed fasteners shall have extended durability with high resistance to fade and chalk.
- d. Corrugated metal facades shall be complemented with masonry, brick, stone, stucco or split-face block. Architectural metal panels may be an acceptable substitute for masonry. Appropriate landscaping shall be used to complement and enhance a building's design, color and material.

Four-sided architecture is proposed for the building. Building materials consist of brick, hardi-plank lap siding and metal accents and soffits. Articulation of the building walls are provided.

The proposed development does comply with the building design standards of the UDC.

6. Pedestrian Access:

Sidewalk and ADA compliant access to the building is provided from Highway 58 at the southeast property corner.

A five-foot wide sidewalk is required to be installed along Peace Drive from the current sidewalk along 58-Highway to the northern property line of the lot. With the existing trees located between the curb of Peace Drive and the property line, the sidewalk will need to be installed within a provided sidewalk easement along the west side of the lot.

7. Signage:

Three signs are proposed for the building, including a flag pole with only the logo of the company permitted on the flag. Signs are not approved as part of the site plan review.

8. Fire District Review:

The site plan was reviewed by the South Metropolitan Fire Protection District.

The Fire District requires the issuance of a building permit separate from the building permit issued by the City of Raymore.

9. Stormwater Management:

Stormwater runoff is collected and detained in an underground enclosed storm sewer system. This system will then connect to the public stormwater system that crosses through the front of the property.

10. Site Lighting:

The parking lot area contains 27 parking spaces and will be illuminated. The photometric plan submitted is in compliance with the UDC requirements for site lighting.

11. Trash/Recycling Enclosure:

A trash enclosure is provided in the parking/access area to the north of the building. The trash enclosure is proposed to be brick to match the brick of the building. UDC section 430.110 states the trash and recycling enclosure to be permanently screened from view and all screens must match the primary color and material of the structure served.

12. Screening of Mechanical Equipment:

All electrical and mechanical equipment located on the property shall be screened from view from adjacent properties and any adjacent street. Accessory utility facilities that are in excess of 3 ½ feet shall be screened. This requirement will be monitored when the equipment is installed to determine the applicability of the requirement.

The landscape plan identifies plantings to screen the trash enclosure and the utility connections near the northwest corner of the building.

13. Wetlands

No wetlands are on site.

14. Site Access:

Access to the site will be provided off of Peace Drive on the West of the site as well as through cross access agreements with Willowind Square to the East.

15. Off-site Improvements: None

16. Gasline Easement

There is an existing gas line that crosses through the site to the west of the building. No portion of the building extends into the easement area. A portion of the site access crosses the easement, which is permissible under the terms of the easement.

STAFF PROPOSED FINDINGS OF FACT

Section 470.160 of the Unified Development Code states that the Planning and Zoning Commission must make findings of fact taking into consideration the following:

a. the plan complies with all applicable standards of this code and all other applicable City ordinances and policies;

The site plan does comply with all applicable standards of the Unified Development Code and all other applicable City ordinances and policies.

b. the plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code;

The site plan does not conflict with any of the adopted master plans of the City or the purpose and intent of the Unified Development Code.

c. the proposed use is allowed in the district in which it is located;

The proposed use(s) are allowed within the existing “C-2” General Commercial District.

d. vehicular ingress and egress to and from the site, and circulation within the site provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways;

Vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of vehicles.

- e. **the plan provides for safe, efficient, and convenient movement of pedestrians on and to the site;**

The site provides access from the existing sidewalk along highway 58 to the site with an ADA accessible sidewalk.

- f. **the arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services;**

The placement of the building on the site does allow for efficient use of the land and minimizes potential adverse impacts on existing and planned municipal infrastructure and services.

- g. **open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users;**

Open space is provided where the pipeline easement is located along the western side of the property.

- h. **the plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses;**

The site plan avoids unnecessary alterations to the site. There is minimal site grading necessary to develop the property. Except for the removal of two trees to provide site access, the existing trees along the western property line will be preserved.

- i. **provides adequate parking for the use, including logical and safe parking and circulation;**

Parking for the use exceeds the minimum requirement and is provided in a logical manner. Circulation through the site is well planned.

- j. **provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates; and**

Adequate landscaping is provided for the site. The required site trees are provided in addition to the on-site landscaping.

- k. includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.**

The site lighting plan is in compliance with the UDC and minimizes adverse impacts on adjacent properties.

REVIEW OF INFORMATION AND SCHEDULE

<u>Action</u>	<u>Planning Commission</u>
Site Plan Review	November 17, 2020

STAFF RECOMMENDATION

Staff recommends the Planning and Zoning Commission accept the staff proposed findings of fact and approve Case #20022 Community America Site Plan subject to the following conditions:

Prior to commencement of any land disturbance activities:

1. State of Missouri and City of Raymore land disturbance permits shall be obtained prior to the commencement of any site grading or land disturbance activities.
2. All erosion control measures identified on the site disturbance plan and required by the land disturbance permit must be installed prior to grading and these measures must be maintained until the requirements of the SWPPP are satisfied.

Prior to issuance of a Building Permit

3. Building construction plans shall be approved by the Building Official.

Prior to issuance of a Certificate of Occupancy:

4. All accessible parking spaces must be identified by signs complying with the Manual of Uniform Traffic Control Devices and the Department of Justice, Code of Federal Regulation 28 CFR Part 36, ADA Standards for Accessible Design. The sign must be vertically mounted on a post or wall no more than five feet from the space and centered on the width of the space.

5. Van accessible parking spaces shall be served by an access aisle a minimum of ninety-six inches wide and shall be designated "lift van accessible only" with signs that meet the requirements of the federal Americans with Disabilities Act.
6. If the electrical transformer box and any other accessory utility facility is taller than three and one-half feet or covers more than twenty-five square feet in area then it must be screened in accordance with Section 420.040D of the Unified Development Code.
7. Exterior utility connections to the building shall be screened.
8. A five-foot wide sidewalk within a dedicated easement shall be provided along the west property line from the sidewalk on 58 Highway to the north property line of the lot.
9. All work shall be completed in accordance with the site plan approved by the Planning and Zoning Commission.

Perpetual Conditions:

10. Prior to removing erosion control measures at the conclusion of the project, the contractor must obtain concurrence from the City.
11. A signed copy of the weekly and post rain event erosion control inspection reports shall be submitted to the City upon completion of each report.
12. Owner must immediately notify City staff of any illicit discharge that enters or has the potential to enter the storm sewer system.

Memorandum

TO: Planning and Zoning Commission
FROM: Michael Krass, Director of Public Works and Engineering
DATE: October 26, 2020
RE: Community America Credit Union - Site Plan

Site Access

Access to the site will be from Peace Drive and an interconnection with the Willowind Shopping Center.

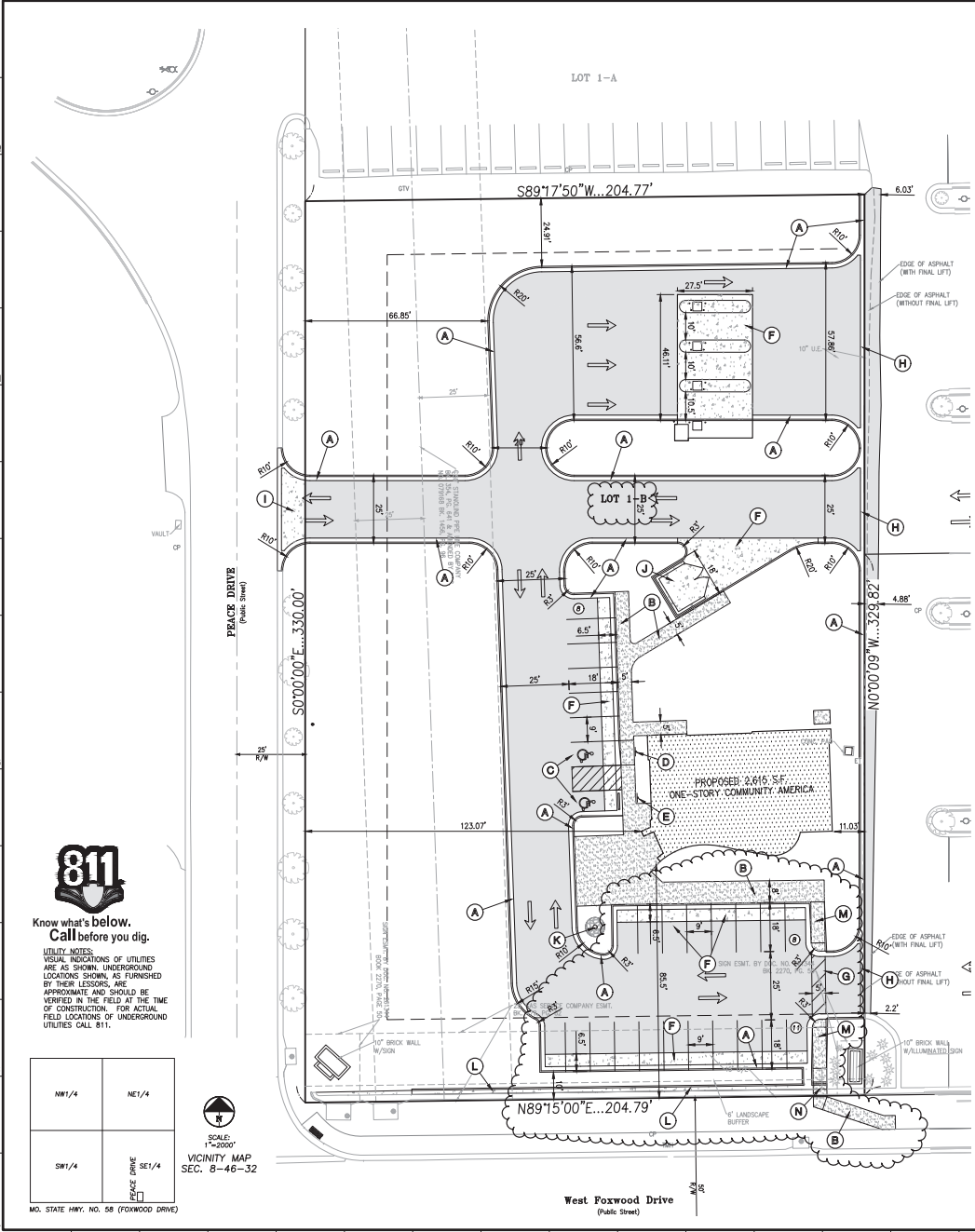
Water and Sewer

Service will be provided by connecting to existing facilities on site. Both water and sewer are of sufficient size and capacity to serve the proposed development.

Storm Water Control

See attached Memorandum

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24



SITE PLAN NOTES:

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference:
 - City ordinances & O.S.H.A. Regulations.
 - The City of Raymore, Missouri Technical Specifications and Municipal Code.
 - AFPA Standard Specifications and Design Criteria, latest edition.
 - Project Specific Specifications.
- The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Raymore, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
- The detection and removal/relocation of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
- Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
- All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact final location of each utility prior to any construction. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
- The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
- SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.
- WARRANTY/DISCLAIMER:** The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. However, neither the Engineer nor his personnel can or do warrant these designs or plans as constructed except in the specific cases where the Engineer observes the physical construction on a continual basis at the site.
- No work is to be allowed within the public right-of-way or easements without a right of way permit.
- All paving construction and earthwork grading/compaction shall conform to the requirements of the geotechnical engineering report prepared for this project.
- While forty-eight hours prior to any asphalt or concrete paving, the subgrade shall be proof rolled with a fully loaded tandem wheeled dump truck and observed by the on-site geotechnical engineer. Areas of the subgrade with excessive rutting and/or pumping shall be re-worked or removed in accordance with the project specifications. Flyash or granular material may be added by the contractor to stabilize the subgrade. See project specifications.
- All curbs shall be sloped for positive drainage. Contractor shall use "dry curb and gutter" as needed in localized paved areas that drain away from the curb and gutter. See paving details.
- The Contractor is responsible for the protection of property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, etc. Damaged improvements shall be replaced in conformance with the latest city standards and to the City's satisfaction.
- The contractor is responsible for providing berms, silt fences, straw bales, or other means to prevent eroded materials from reaching the public right-of-way and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt or mud and restore the right-of-way or adjacent property to original or better condition.
- All disturbed areas are to receive topsoil, sod and water until a healthy stand of grass is established. See the landscaping plans for requirements. Re-seeding shall be required (see project specifications).
- The contractor shall soil all disturbed areas within the public street right-of-way.
- Contractors shall refer to the architectural building plans for exact locations and dimensions of walkways, slope paving, sidewalks, curb porches, truck docks, precise building dimensions and exact building utility entrance locations. All dimensions are to outside wall of building(s).
- Refer to building plans for site lighting electrical plan.
- Contractor to remove existing trees and vegetation, as necessary, for site construction unless specifically noted to remain.

SITE DIMENSION NOTES:

- BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDING.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FROM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDCAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- TWO COATS FOR ALL PAVEMENT MARKINGS SHALL BE REQUIRED.

LEGAL DESCRIPTION:

LOT 1-B, REPLAT OF LOT 1-A, LOT 1-B, LOT 2 AND LOT 3, WILLOW SQUARE, A SUBDIVISION IN THE CITY OF RAYMORE, CASS COUNTY, MISSOURI.
GROSS AREA = 21.8508 ACRES / 2,675,593 SQ.FT.
(THE AREA AND TIES FROM THE RECORDED INSTRUMENT RECORD)

LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- C/G — 2' CURB & GUTTER
- C — 6" CURB
- ASPHALT PAVEMENT
- PROPOSED BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK

- KEY NOTES:**
- (A) CONSTRUCT PRIVATE 2' CURB & GUTTER (TYPICAL)
 - (B) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL)
 - (C) CONSTRUCT ACCESSIBLE PARKING SPACE. INSTALL MARKINGS PER STD. SETBACK AND PARKING BARRIERS AS SHOWN.
 - (D) INSTALL ACCESSIBLE PARKING SIGN (1 TOTAL)
 - (E) INSTALL VAN ACCESSIBLE PARKING SIGN (1 TOTAL)
 - (F) CONSTRUCT CONCRETE PAVEMENT
 - (G) INSTALL SOLID WHITE (PAINTED) CROSS-WALK STRIPING
 - (H) CONSTRUCT PRIVATE CONCRETE VALLEY GUTTER ACROSS ENTRANCE.
 - (I) CONSTRUCT CONCRETE COMMERCIAL ENTRANCE PER CITY OF RAYMORE STANDARD DETAIL ST-18.
 - (J) INSTALL TRASH ENCLOSURE (RE: ARCH PLANS)
 - (K) INSTALL FLAG POLE (RE: ARCH PLANS)
 - (L) INSTALL CONCRETE FLUME (NORTH CURB HEIGHT VARIES)
 - (M) INSTALL PRIVATE SIDEWALK RAMP (OMIT DETECTABLE WARNING)
 - (N) INSTALL SEEWALK PLATE OVER CONCRETE FLUME.

BUILDING & LOT DATA

Site Area	27,263 SF / 12,561 Sq. Ft.
Proposed Building No. of Stories	2
Total Building S.F.	2,615 S.F.

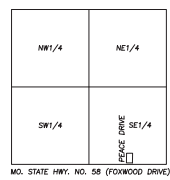
PARKING SUMMARY

Parking Provided - Lot 1	
Standard Parking Provided	25 Spaces
Handicap Accessible Parking Spaces Provided	2 Spaces
Total Parking Provided	27 Spaces



811
 Know what's below.
 Call before you dig.

UTILITY NOTES:
 VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



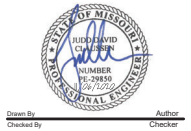
GastingerWalker & Architects
 Interior Designers
 817 Wyandotte
 Kansas City, Missouri 64105
 Construction Managers
 616.642.8600
 gastingerwalker.com



CommunityAmerica Credit Union - Raymore Branch
 1292 West Foxwood Dr
 Raymore, MO 64083

CommunityAmerica Credit Union
 8777 Ridge Drive
 Lenexa, KS 66219
 913.905.8286

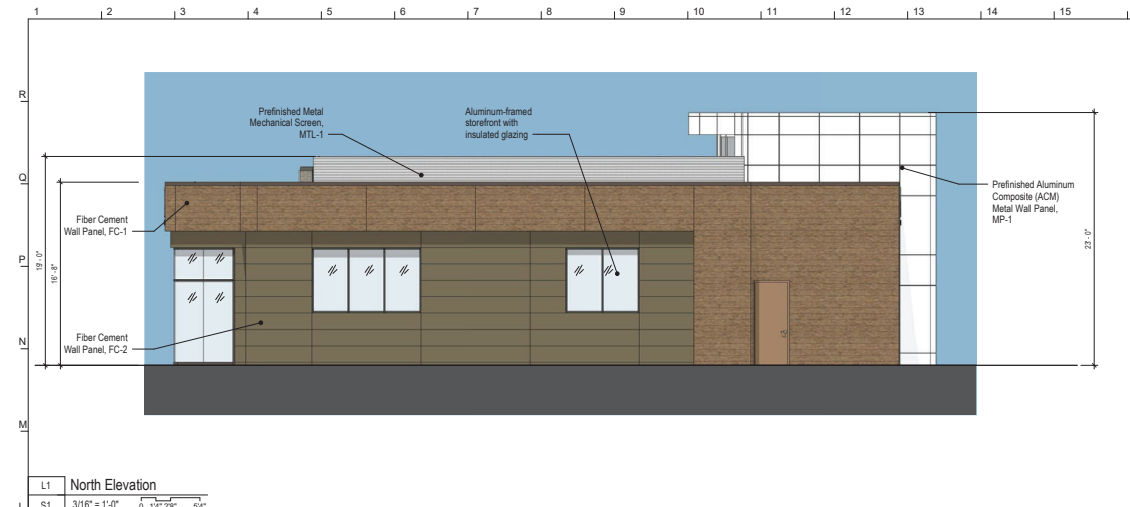
ISSUED FOR:
 Site Plan Submittal 16 Oct 2020
 Site Plan Resubmittal 06 Nov 2020



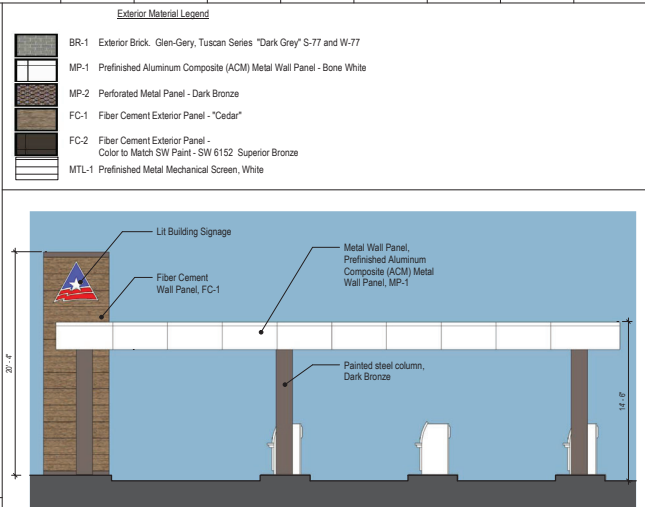
Overall Site Plan

C2
 Project Number: 2020.086 © Copyright 2020

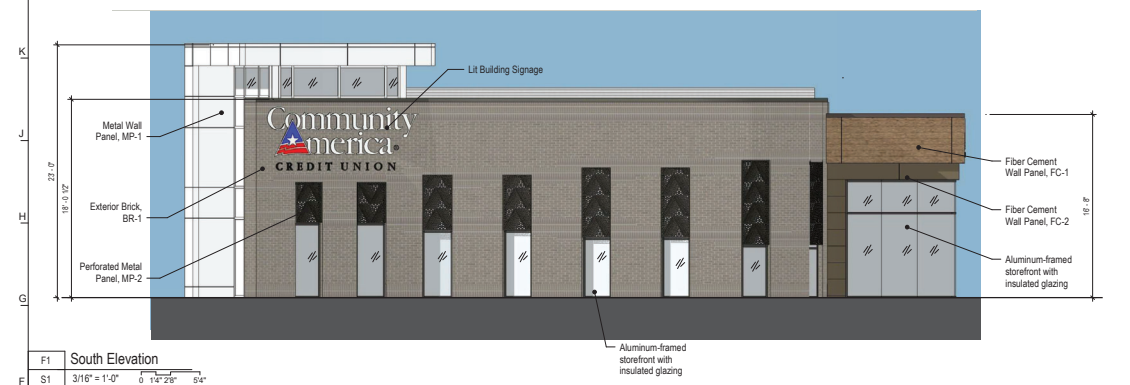
V:\PEI\PS-SERVICES\Projects\2020\215 West Foxwood Drive\Site Plan.dwg Layer:1 Plot Date: 2020-10-16 12:45pm D:\pef



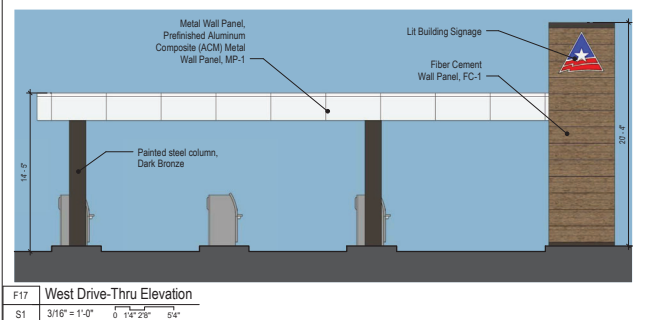
L1 North Elevation
S1 3/16" = 1'-0" 0 1/4" 2'6" 54"



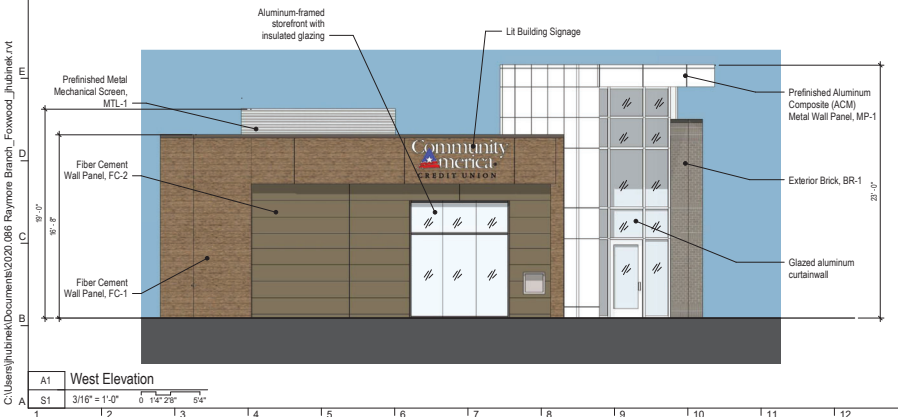
K17 East Drive-Thru Elevation
S1 3/16" = 1'-0" 0 1/4" 2'6" 54"



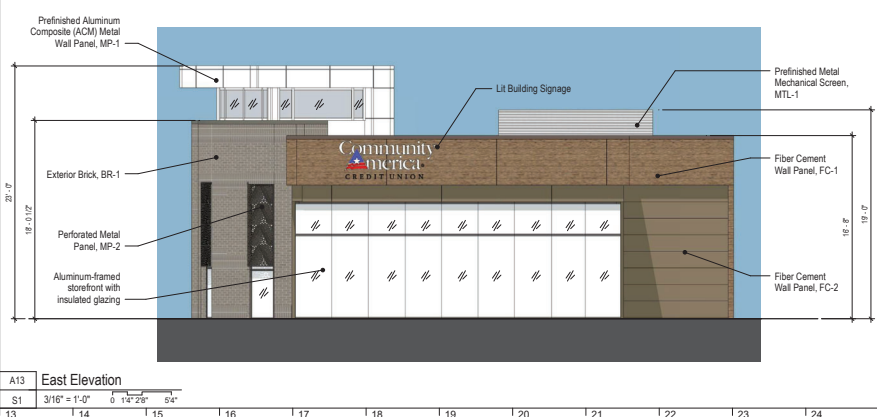
F1 South Elevation
S1 3/16" = 1'-0" 0 1/4" 2'6" 54"



F17 West Drive-Thru Elevation
S1 3/16" = 1'-0" 0 1/4" 2'6" 54"



A1 West Elevation
S1 3/16" = 1'-0" 0 1/4" 2'6" 54"



A13 East Elevation
S1 3/16" = 1'-0" 0 1/4" 2'6" 54"

- Exterior Material Legend**
- BR-1 Exterior Brick - Glen-Gery, Tuscan Series "Dark Grey" S-77 and W-77
 - MP-1 Prefinished Aluminum Composite (ACM) Metal Wall Panel - Bone White
 - MP-2 Perforated Metal Panel - Dark Bronze
 - FC-1 Fiber Cement Exterior Panel - "Cedar"
 - FC-2 Fiber Cement Exterior Panel - Color to Match SW Paint - SW 6152 Superior Bronze
 - MTL-1 Prefinished Metal Mechanical Screen, White

GastingerWalker &

Architects Interior Designers Construction Managers
1177 Wyandotte Kansas City, Missouri 64105 816.421.1620 gastingerwalker.com

CommunityAmerica Credit Union - Raymore Branch

1292 West Foxwood Dr
Raymore, MO 64083

CommunityAmerica Credit Union
9777 Ridge Drive
Lenexa, KS 66219
913.905.8266

ISSUED FOR:
Site Plan Submittal 16 Oct 2020
Site Plan Resubmittal 06 Nov 2020



Drawn By: JH
Checked By: AM

Building Elevations

S2

Project Number: 2020.086 © Copyright 2020

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MONTHLY REPORT OCTOBER 2020

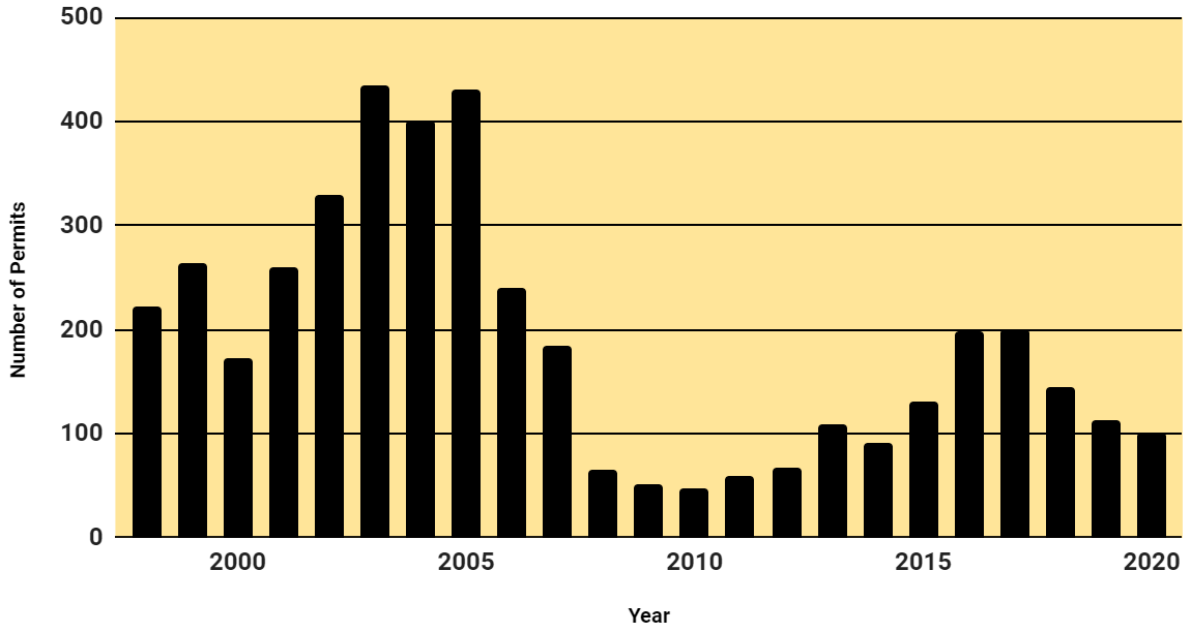
Building Permit Activity

Type of Permit	Oct 2020	2020 YTD	2019 YTD	2019 Total
Detached Single-Family Residential	13	102	88	113
Attached Single-Family Residential	0	14	26	26
Multi-Family Residential	0	396	0	0
Miscellaneous Residential (deck; roof)	105	1,110	642	720
Commercial - New, Additions, Alterations	1	11	17	18
Sign Permits	3	26	44	54
Inspections	Oct 2020	2020 YTD	2019 YTD	2019 Total
Total # of Inspections	344	3,817	3,253	3,858
Valuation	Oct 2020	2020 YTD	2019 YTD	2019 Total
Total Residential Permit Valuation	\$3,435,900	\$30,336,800	\$28,467,200	\$34,498,600
Total Commercial Permit Valuation	\$6,974,200	\$46,019,500	\$1,801,300	\$1,822,300

Additional Building Activity:

- Construction continues on the Compass Health office building.
- Vertical construction continues at The Lofts of Fox Ridge apartment community.
- Construction is near completion of the extension of Dean Avenue to serve the proposed Raymore Commerce Center at the southwest corner of Dean Avenue and North Cass Parkway.
- Building has been issued for Scooter's Coffee.
- Foundation permit has been issued for the 1st industrial building in the Raymore Commerce Center.

Single Family Building Permits



Code Enforcement Activity

Code Activity	Oct 2020	2020 YTD	2019 YTD	2019 Total
Code Enforcement Cases Opened	40	528	566	642
<i>Notices Mailed</i>				
-Tall Grass/Weeds	3	96	135	135
- Inoperable Vehicles	19	165	99	138
- Junk/Trash/Debris in Yard	6	82	130	146
- Object placed in right-of-way	0	6	14	14
- Parking of vehicles in front yard	0	18	12	13
- Exterior home maintenance	1	43	31	41
- Other (trash at curb early; signs; etc)	1	5	2	2
Properties mowed by City Contractor	2	72	71	71
Abatement of violations (silt fence repaired; trees removed; stagnant pools emptied; debris removed)	0	2	8	10
Signs in right-of-way removed	39	429	305	370
Violations abated by Code Officer	10	129	101	126

Development Activity

Current Projects

- Park Side Subdivision, 155 acres south of 163rd Street, west of North Madison, preliminary plat for 320 single-family homes
- North Cass Plaza Preliminary Plat, south of North Cass Parkway, east of I-49
- North Cass Plaza Final Plat
- Community America Credit Union filed for [site plan](#) approval to construct a new facility at the northeast corner of Peace Drive and 58 Highway.

	As of Oct 31, 2020	As of Oct 31, 2019	As of Oct 31, 2018
Homes currently under construction	546 (396 Lofts Apartments)	146	205
Total number of Undeveloped Lots Available (site ready for issuance of a permit for a new home)	302	349	423
Total number of dwelling units in City	8,783	8,641	8,447

Actions of Boards, Commission, and City Council

City Council

October 12, 2020

- Acceptance of public improvements for Eastbrooke at Creekmoor
- Approved on 2nd reading the rezoning for Park Side Subdivision from Agriculture to Single-Family Planned Residential
- Approved on 2nd reading the 32nd amendment to the UDC regarding small wireless facilities
- Held public hearings on 8 undeveloped lots that met the threshold requirement to require sidewalk to be installed by the property owner
- Amended the schedule of fees regarding installation of small wireless facilities
- Approved on 1st reading a contract with Wilson & Company on the design of the Ward Road improvements

October 26, 2020

- Approved on 2nd reading a contract with Wilson & Company on the design of the Ward Road improvements
- Approved the North Cass Plaza Preliminary Plat
- Approved on 1st reading the North Cass Plaza Final Plat
- Confirmed the decision to have the City install sidewalk upon the 8 undeveloped lots that met the threshold to require sidewalk to be installed by the property owner

Planning and Zoning Commission

October 6, 2020

- Recommended denial of the rezoning of 55 acres from Single-family Residential to Single and Two-Family Residential for the Saddlebrook subdivision

October 20, 2020

- Recommended approval of the North Cass Plaza Preliminary Plat
- Recommended approval of the North Cass Plaza Final Plat
- Recommended approval of the 33rd UDC amendment regarding misc. changes discussed as part of the annual review of the UDC

Upcoming Meetings – November & December

November 3, 2020 Planning and Zoning Commission

- Meeting cancelled - election day

November 9, 2020 City Council

- 2nd reading, North Cass Plaza Final Plat
- 1st reading, UDC 33rd Amendment, Misc. Items from 2020 Annual Review

November 16, 2020 Joint City Council and Planning and Zoning Commission

- Meeting of City Council and the Planning and Zoning Commission, Parks and Recreation Board, and Arts Commission to discuss new Comprehensive Plan effort

November 17, 2020 Board of Adjustment

- Variance to front yard setback requirement, 713 Redtop Lane, Gary Gaston
- Election of Officers
- 2021 Meeting Calendar
- Commissioner Training

November 17, 2020 Planning and Zoning Commission

- Community America Credit Union site plan
- Election of Officers
- 2021 Meeting Calendar

November 23, 2020 City Council

- 2nd reading, UDC 33rd Amendment

December 1, 2020 Planning and Zoning Commission

- Park Side Subdivision Preliminary Plat (public hearing)
- Raymore Galleria North 3rd Final Plat
- Raymore Commerce Center First Final Plat

December 14, 2020 City Council

- Park Side Subdivision Preliminary Plat (public hearing)

December 15, 2020 Planning and Zoning Commission

- No applications currently filed

December 28, 2020 City Council

- No development applications currently filed

Department Activities

- Director Jim Cadoret participated in the Raymore-Peculiar School District Long Range Facility Planning Committee meeting.
- City Planner Katie Jardieu participated in the First Suburbs Coalition virtual meeting to provide input on the Universal Design Idea Book being updated by the Mid-America Regional Council.
- The rezoning application for the proposed Saddlebrook Subdivision, located north of Hubach Hill Road, east of Stonegate Subdivision, originally scheduled for consideration by the City Council on Oct. 26, has been placed on hold by the applicant.
- Community America Credit Union filed for [site plan](#) approval to construct a new facility at the northeast corner of Peace Drive and 58 Highway. The Planning and Zoning Commission will consider the site plan on Nov. 17.
- Development Services Director Jim Cadoret and Economic Development Director David Gress participated in a zoom meeting hosted by the Cass County Economic Development corporation on the Real World Learning Initiative.
- Building Official Jon Woerner participated in the Missouri Association of Building Codes Administrators fall seminar.
- Code Enforcement Officer Drayton Vogel participated in the American Association of Code Enforcement Officers virtual annual conference.
- GIS Coordinator Heather Eisenbarth assisted the Raymore-Peculiar School District Administrative staff in acquiring housing data for each school facility boundary area within Raymore
- A Good Neighbor meeting has been scheduled to discuss the preliminary plat for the [Park Side](#) Subdivision, proposed for 155 acres located west of N. Madison Street and generally south of the future extension of 163rd Street, on Thursday, Nov. 19 at 6:30 p.m. at Centerview.

- Director Jim Cadoret participated in a webinar sponsored by the Mid American Regional Council on "Understanding Shared Services".

GIS Activities

- Development of mapping apps as requested
- Street intersection dataset & list report
- Elementary school attendance area information as requested
- Addressing operations, including rebuild of address locator(s) for quarterly geocoding of datasets
- Geospatial data updates as required
- Quality assurance & documentation
- Map exhibits as required
- Maps for event planning operations as requested
- Annual/monthly update/review of external datasets (streets, incorporations, etc)
- Document management (optimization of PDF file size, as builds)