

COMPASS BEHAVIORAL HEALTH CLINIC SITE DEVELOPMENT PLANS

501 N. SUNSET LANE
RAYMORE, MISSOURI 64083
N. SUNSET LANE AND 58 HIGHWAY

BSA

BSA LifeStructures
6601 College Blvd, Suite 100
Overland Park, KS 66211
ph 913.402.1100 fx 317.819.7288

BOB D. CAMPBELL & CO.
Structural Engineers Since 1957
4338 Belleview Ave. 816.531.4144
Kansas City, MO 64111 www.bdc-engrs.com

BRACK ASSOCIATES
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Compass Health Network

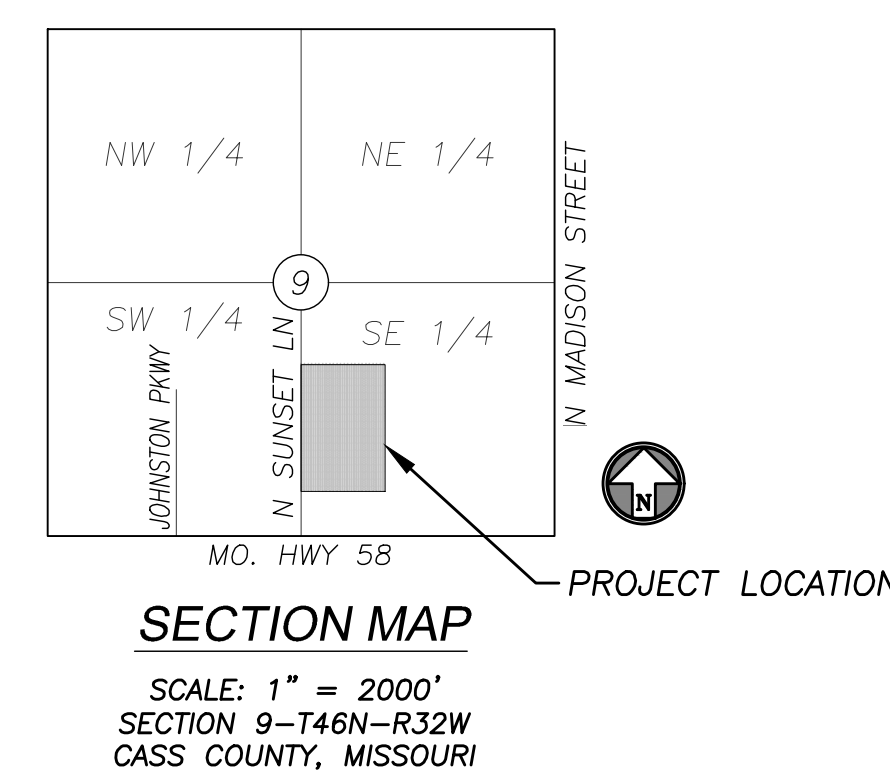
RAYMORE BEHAVIORAL HEALTH CLINIC

CLIENT PROJECT NO. - 2066
SITE DEVELOPMENT

100%

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OWNER

COMPASS HEALTH NETWORK
616 Burkarth Road
Warrensburg, MO 64093
ph (660) 890-8216
Contact: Alissa Karnes

MARK	DATE	DESCRIPTION
1	12/06/19	PER CITY COMMENTS

PREPARED & SUBMITTED BY:

BHC RHODES
Overland Park, Kansas

LESLIE R. HAMILTON, PE, LS
Missouri P.E. No. 22616

APPROVED BY:

Governing Body

Authorizing Position

Date

PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

COVER SHEET

DATE	OCTOBER 04, 2019
BSALS PROJECT NO.	20660002

C0.0

026560.03 © BSA LifeStructures Inc.

UTILITIES

SPIRE
Craig Layman
Phone: 816-360-5573
FAx: 816-472-3488
Phone 1-800-582-0000
(EMERGENCY)

EVERGY
Nathen Michael
Phone: 816-210-5210
Main Number: 816-806-4591

WATER
City of Raymore
Phone 816-331-5182

Dig Safely. 811
Missouri One-Call
1-800-344-7483

SEWER
City of Raymore
Phone 816-331-2377

SOUTHWESTERN BELL
Phone 1-800-464-7928

COMCAST
Phone 1-800-344-7483

All existing utility locations shown are approximate only and are not guaranteed to be accurate or all inclusive. Contractor shall be responsible for contacting all utility companies and verifying the actual field locations of all utilities prior to any construction activity. Contractor shall keep all utility locations current. Utilities damaged through the negligence of the contractor to obtain the proper field locations shall be the responsibility of the contractor to repair or replace at their expense and at the direction of the utility company. The contractor shall pothole and survey all utility crossings prior to construction of any portion of storm sewer, sanitary sewer laterals, underdrains, conduit and any other subsurface element of the project. The survey information shall be forwarded to the project engineer for review. The contractor shall not begin construction on any subsurface element on the project without the approval of the project engineer. Utility coordination, potholing/surveying shall be subsidiary to other bid items.

BENCHMARK:

BM #1

CHISELED SQUARE IN NORTHEAST CORNER OF INLET, WEST SIDE OF SUNSET LANE +/- 115 FEET SOUTH OF NORTH END OF PAVEMENT

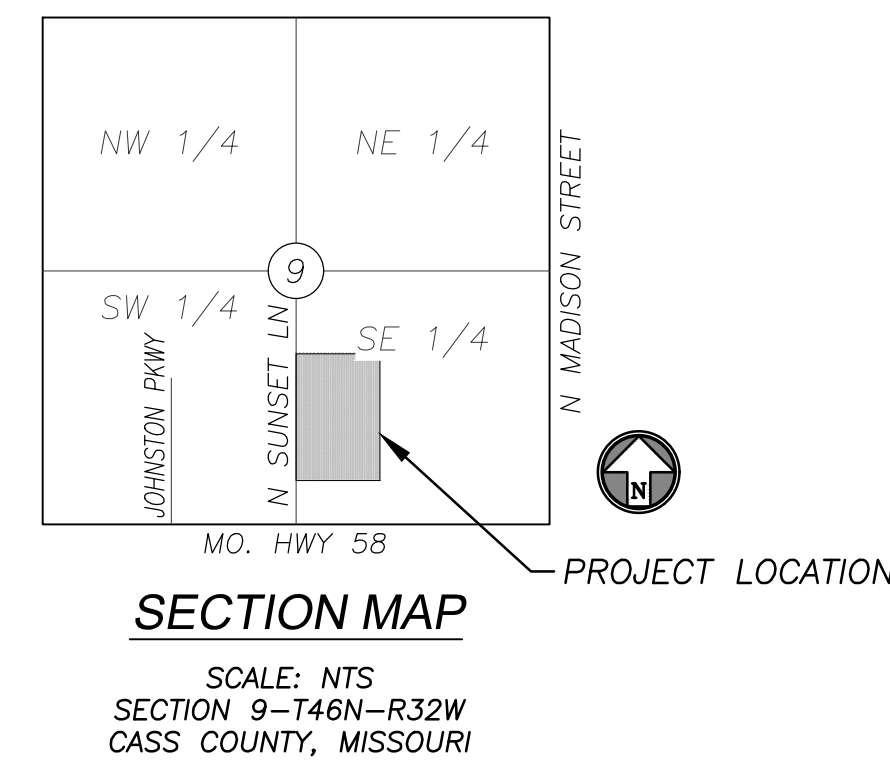
ELEVATION 1093.83

LEGEND

BM	BENCHMARK
~~~~~	BRUSH
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
⊙ FH	FIRE HYDRANT
⊙ MH	MANHOLE
⊙ SSMH	SANITARY SEWER MANHOLE
⊙ SP	SIGN POST
⊙ T	TREE(S)
⊙ WV	WATER VALVE
—x—x—x—	FENCE
---SAN---	SANITARY SEWER LINE FROM RECORD
---SW---	STORM WATER LINE
—W—	WATER LINE
⊕	CENTER LINE
R=	RADIUS
L=	ARC LENGTH
CB	CHORD BEARING
CD	CHORD DISTANCE
Δ	INTERIOR ANGLE (DELTA)
R/W	RIGHT-OF-WAY
(M)	MONUMENTED
(D)	DEEDED
(P)	PLATTED
(C)	CALCULATED
(CR)	CALCULATED FROM RECORD DIMENSIONS
(CM)	CALCULATED FROM FOUND MONUMENTS
(PR)	PROPORTIONED
BK.	BOOK
PG.	PAGE
DOC.	DOCUMENT NUMBER
INS.	INSTRUMENT NUMBER
VOL.	VOLUME
ESMT.	EASEMENT
B/L	BUILDING SETBACK LINE
U/E	UTILITY EASEMENT
D/E	DRAINAGE EASEMENT
S/E	SANITARY SEWER EASEMENT
SQ. FT.	SQUARE FEET
CO.	COMPANY
L/S	LANDSCAPING (BUSHES, TREES, FLOWERS, BORDER, MULCH, ANY OR ALL OF THEM)
ASPH	ASPHALT
CONC	CONCRETE
COR	CORNER
R.WALL	RETAINING WALL
STA.	STATION
L	LEFT
R	RIGHT
PI	POINT OF INTERSECTION
PC	POINT OF CURVE
PT	POINT OF TANGENT
— —	NOT TO SCALE
— —	FINISH GRADE MAJOR CONTOURS
— —	FINISH GRADE MINOR CONTOURS
— —	EXISTING GRADE MAJOR CONTOURS
— —	EXISTING GRADE MINOR CONTOURS
— —	PROPERTY LINE
•	CONCRETE OR METAL BOLLARD
○	WOOD BOLLARD OR WOOD POST
⊙	ADA PARKING STALL
▨	ADA DETECTION PAD

**LEGAL DESCRIPTION**

Lot 1, SECOND REPLAT OF KIRBY ESTATES, A minor subdivision in the City of Raymore, Cass County, Missouri.



**GENERAL NOTES**

- All work in public easement and Right-of-Way shall be installed per the requirements and specifications of the City of Raymore, Missouri.
- All existing topographic, survey, and utility information shown was provided to BHC Rhodes in the form of a Topographic Survey prepared by Anderson Survey Company and dated 8/17/2018. BHC Rhodes makes no guarantees as to the accuracy of the existing information shown hereon. Contractors shall satisfy themselves as to the existing conditions of the site and have all utilities located prior to commencing construction.
- The Contractor shall be required to obtain all Federal, State, and Local permits required for this project prior to commencing construction.
- Any work adjacent to or crossing existing streets requires proper traffic control devices. Traffic control devices shall be placed in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The Contractor shall be required to demolish, remove and dispose of all existing structures, pavements, and features necessary to construct the improvements shown hereon. Any waste materials generated during construction shall be removed from the site by the Contractor and disposed of in accordance with all local, State, and Federal regulations governing such disposal.
- The Contractor shall prevent any trash, debris, or liquid wastes from being disposed of in sanitary sewers, storm sewers, or open drainage systems.
- The Contractor shall be solely responsible to protect adjacent property, structures, and other improvements from damage during construction. In the event of damage to adjacent property, structures, or improvements, the contractor shall repair or replace such damage to the Owner's satisfaction at the Contractor's expense.
- Contractors at the site shall be solely responsible for jobsite safety for all aspects of work shown hereon.
- All work and materials used in the construction of the improvements shown hereon shall comply with all referenced standards, specifications, and plan notes.
- All buildings are shown as a reference only. All buildings shall be located and constructed per the Architectural drawings prepared by others.
- Contractor shall be responsible for contacting all utility companies for field locations of underground utilities affected by the contract. All existing utilities indicated on these plans are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced at the expense of the contractor.
- Coordinate with facility representative as to when construction activities may be performed to work with the operations of the facility.
- Any and all hazards shall be properly identified and barricaded from access during all non-construction periods.
- All excavation shall be unclassified. No separate payment will be made for rock excavation.
- A Right-of-Way permit is required from the City of Raymore, Missouri Public Works Department for any work within the public right-of-way.
- Prior to ordering precast structures, shop drawings shall be submitted to the design engineer for approval.
- Subgrade soil for all concrete structures, regardless of the type or location, shall be firm, dense and thoroughly compacted and consolidated; Shall be free from muck and mud. In all cases where subsoil is mucky or works into mud or muck during such operations, A seal course of either concrete or rock shall be placed below subgrade to provide a firm base for working and for placing the floor slab.

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CLIENT PROJECT NO. - 2066  
**SITE DEVELOPMENT**

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1	12/06/19	PER CITY COMMENTS

**PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION**

**GENERAL INFORMATION**

DATE	OCTOBER 04, 2019
BSALS PROJECT NO.	20660002

**C1.0**

## RAYMORE BEHAVIORAL HEALTH CLINIC

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### DEMOLITION PLAN

DATE: OCTOBER 04, 2019  
BSALS PROJECT NO.: 20660002

# C2.0

#### GENERAL NOTES

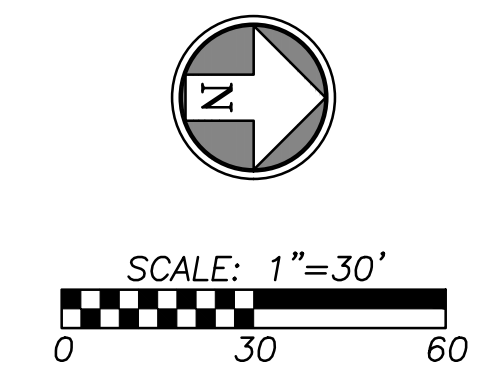
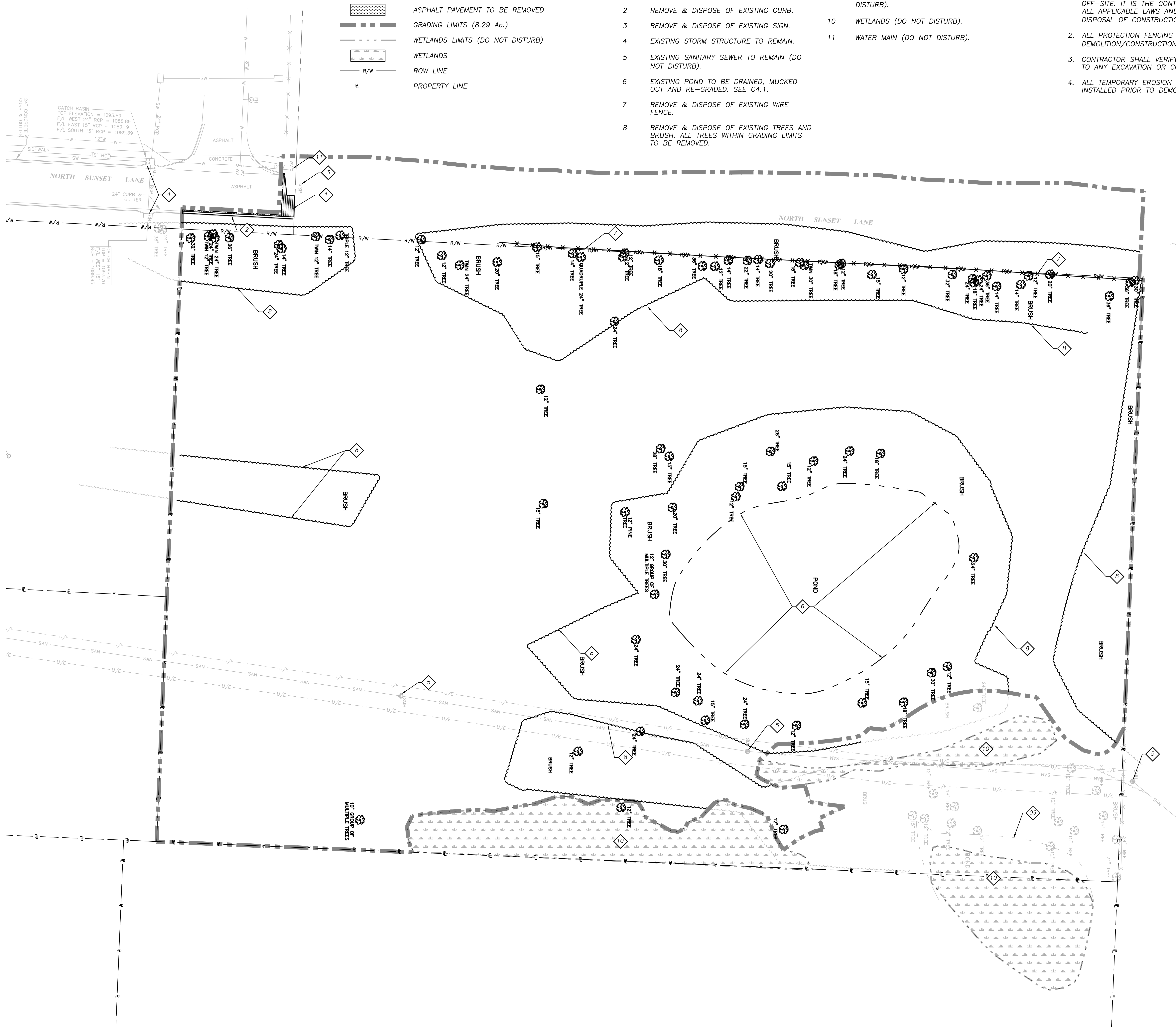
- ALL MATERIALS SHALL BE REMOVED AND DISPOSED OF OFF-SITE. IT IS THE CONTRACTORS RESPONSIBILITY TO MEET ALL APPLICABLE LAWS AND REGULATIONS PERTAINING TO THE DISPOSAL OF CONSTRUCTION/DEMOLITION MATERIAL.
- ALL PROTECTION FENCING SHALL BE INSTALLED PRIOR TO DEMOLITION/CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION.

#### DEMOLITION NOTES

- REMOVE & DISPOSE OF EXISTING ASPHALT.
- REMOVE & DISPOSE OF EXISTING CURB.
- REMOVE & DISPOSE OF EXISTING SIGN.
- EXISTING STORM STRUCTURE TO REMAIN.
- EXISTING SANITARY SEWER TO REMAIN (DO NOT DISTURB).
- EXISTING POND TO BE DRAINED, MUCKED OUT AND RE-GRADED. SEE C4.1.
- REMOVE & DISPOSE OF EXISTING WIRE FENCE.
- REMOVE & DISPOSE OF EXISTING TREES AND BRUSH. ALL TREES WITHIN GRADING LIMITS TO BE REMOVED.
- EXISTING POND TO REMAIN (DO NOT DISTURB).
- WETLANDS (DO NOT DISTURB).
- WATER MAIN (DO NOT DISTURB).

#### LEGEND:

- SAW CUT LINE
- ASPHALT PAVEMENT TO BE REMOVED
- GRADING LIMITS (8.29 Ac.)
- WETLANDS LIMITS (DO NOT DISTURB)
- WETLANDS
- ROW LINE
- PROPERTY LINE



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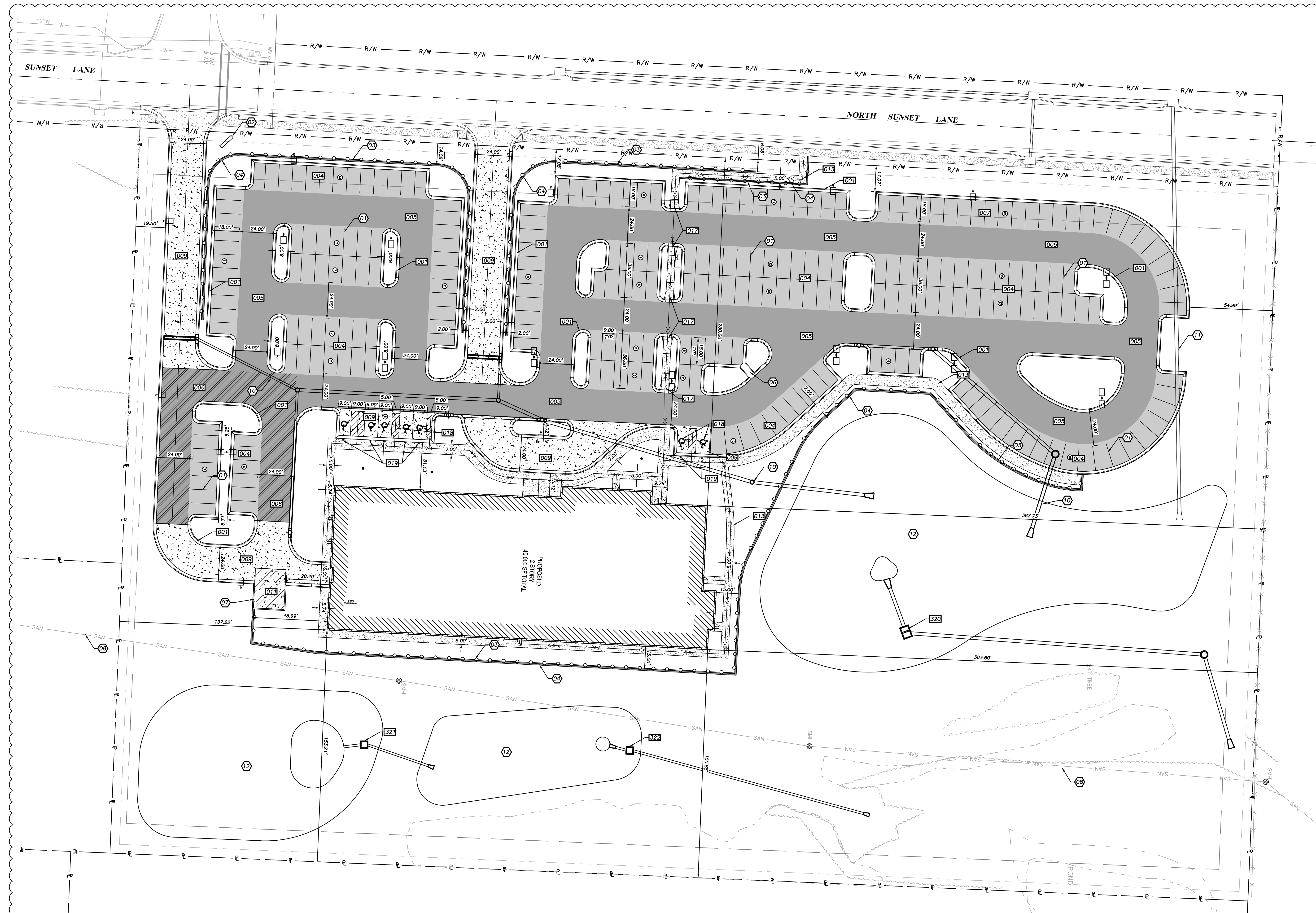
### GENERAL NOTES

- All work in public easement and Right-of-Way shall be installed per the requirements and specifications of the City of Raymore, Missouri.
- All existing topographic, survey, and utility information shown was provided to BHC Rhodes in the form of an Topographic Survey prepared by Alpha-Omega Geotech, Inc and dated November 28, 2018. BHC Rhodes makes no guarantee as to the accuracy of the existing information shown hereon. Contractors shall satisfy themselves as to the existing conditions of the site and have all utilities located prior to commencing construction.
- The Contractor shall be required to obtain all Federal, State, and Local permits required for this project prior to commencing construction.
- Any work adjacent to or crossing existing streets requires proper traffic control devices. Traffic control devices shall be placed in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor shall be required to demolish, remove and dispose of all existing structures, pavements, and features necessary to construct the improvements shown hereon. Any waste materials generated during construction shall be removed from the site by the Contractor and disposed of in accordance with all local, State, and Federal regulations governing such disposal.
- The contractor shall prevent any trash, debris, or liquid wastes from being disposed of in sanitary sewers, storm sewers, or open drainage systems.
- The Contractor shall be solely responsible to protect adjacent property, structures, and other improvements from damage during construction. In the event of damage to adjacent property, structures, or improvements, the contractor shall repair or replace such damage to the Owners's satisfaction at the Contractor's expense.
- Contractors at the site shall be solely responsible for jobsite safety for all aspects of work shown hereon.
- All work and materials used in the construction of the improvements shown hereon shall comply with all referenced standards, specifications, and plan notes.
- All buildings are shown as a reference only. All buildings shall be located and constructed per the Architectural drawings prepared by others.
- Contractor shall be responsible for contacting all utility companies for field locations of underground utilities affected by the contract. All existing utilities indicated on these plans are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced at the expense of the contractor.
- Coordinate with facility representative as to when construction activities may be performed to work with the operations of the facility.
- Any and all hazards shall be properly identified and barricaded from access during all non-construction periods.
- Unless specified otherwise, all construction shall meet the requirements of the Kansas Department of Transportation (KDOT) Standard Specifications, except as modified by these plans.
- Third party inspection of the storm sewer is required, after inspection, provide documentation to the City of Raymore, Missouri.
- Private Erosion & Sediment Control inspections are required in accordance with NPDES schedule and requirements. After inspections, provide the City of Raymore, Missouri with reports and documentation.
- A Right-of-Way permit is required from the City of Raymore, Missouri Public Works Department for any work within the public right-of-way.

MARK	DATE	DESCRIPTION
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### SITE LEGEND

- PARKING STALL COUNT
- PROPOSED BUILDING
- LIGHT DUTY ASPHALT PAVEMENT
- MEDIUM DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- MEDIUM DUTY PCC PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAD
- CONCRETE FLUME
- STANDARD CURB & GUTTER
- RETAINING WALL
- DRY DETENTION
- ACCESSIBLE ADA ROUTE
- 4' ALUMINUM FENCE
- STORM SEWER



### CONSTRUCTION NOTES

- 01 LEAD FREE, WATER-BORNE EMULSION BASED WHITE TRAFFIC PAINT FOR PARKING LOT.
- 02 MONUMENT SIGN; RE: TO ARCHITECTURAL
- 03 BLACK IRON FENCE.
- 04 MODULAR BLOCK RETAINING WALL; RE: GRADING PLAN.
- 05 INSTALL LIGHT POLES.
- 06 INSTALL CONCRETE FLUME.
- 07 PROPOSED TRASH ENCLOSURE; RE: ARCHITECTURAL PLANS.
- 08 EXISTING SANITARY SEWER TO REMAIN.
- 09 INSTALL BOLLARD LIGHTS.
- 10 PROPOSED PRIVATE STORM SEWER.
- 11 PROPOSED PUBLIC STORM SEWER.
- 12 DETENTION POND.

### DETAILS

SEE CONSTRUCTION DETAILS - SHEETS C6.0-C6.2

- 001 CONCRETE CURB & GUTTER
- 004 LIGHT DUTY ASPHALT PAVEMENT
- 005 MEDIUM DUTY ASPHALT PAVEMENT
- 006 HEAVY DUTY ASPHALT PAVEMENT
- 009 MEDIUM DUTY PCC PAVEMENT
- 011 DUMPSTER PAD
- 013 CONCRETE SIDEWALK SECTION
- 017 SIDEWALK RAMP
- 018 (ADA) HANDICAP PARKING STRIPING
- 019 (ADA) HANDICAP PARKING SIGNAGE
- 320 DETENTION OUTLET STRUCTURE 1
- 321 DETENTION OUTLET STRUCTURE 2
- 322 DETENTION OUTLET STRUCTURE 3

### SITE DATA

**SITE:**  
SITE AREA: 8.22 AC  
IMPERVIOUS AREA: 142,930 SF (39.9%)

**BUILDING**  
PROPOSED BUILDING: 40,000 SF

**STANDARD PARKING STALLS**  
PROPOSED BUILDING PARKING STALLS:  
MEDICAL/DENTAL (6768 SF) 1/600 SF: 12  
OFFICE (33,232 SF) 1/300 SF: 111  
TOTAL REQUIRED: 123  
TOTAL PROVIDED: 255

**ADA PARKING STALLS**  
TOTAL REQUIRED: 7 (2 VAN)  
TOTAL PROVIDED: 7 (2 VAN)

### LEGAL DESCRIPTION

Lot 1, SECOND REPLAT OF KIRBY ESTATES, A minor subdivision in the City of Raymore, Cass County, Missouri.

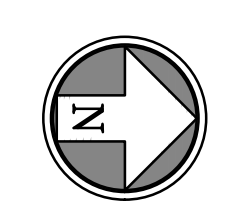
The above description was prepared by Anderson Survey Company. Dated 8/17/2018

### PROJECT ADDRESS

N SUNSET LANE & 58 HIGHWAY  
RAYMORE, MO 64083

### ZONING

PO - PROFESSIONAL OFFICE USE



SCALE: 1"=30'  
0 30 60

PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

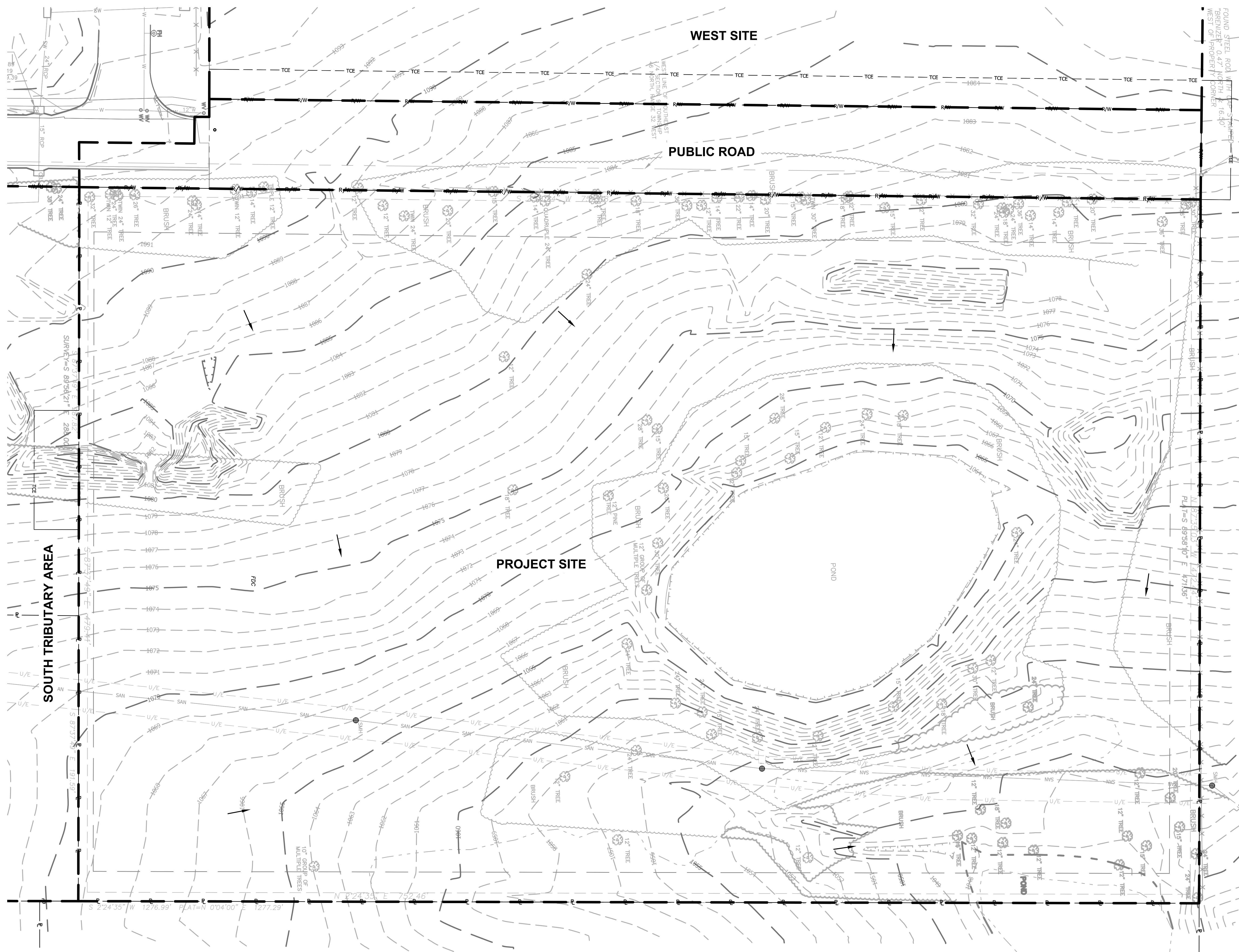
### GENERAL SITE LAYOUT

## RAYMORE BEHAVIORAL HEALTH CLINIC

CLIENT PROJECT NO. - 2066

SITE DEVELOPMENT

100%

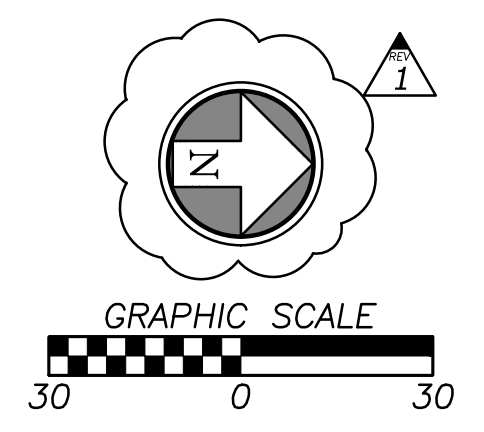


**DRAINAGE LEGEND**

	DRAINAGE AREA BOUNDARY
	DRAINAGE DIRECTION
	EXISTING GRADE MAJOR CONTOUR
	EXISTING GRADE MINOR CONTOUR
	PROPERTY LINE
	RIGHT-OF-WAY LINE

MARK	DATE	DESCRIPTION
1	12/06/19	PER CITY COMMENTS

DRAINAGE AREAS						
Basin ID	AREA	PERVIOUS	IMPERVIOUS	CN-Value	C-VALUE	
Project Site	358,206 SF (8.22 ac)	330,196 SF (7.58 ac)	28,010 SF (0.64 ac)	81	0.42	
Public Road	42,753 SF (0.98 ac)	35,387 SF (0.81 ac)	7,366 SF (0.17 ac)	83	0.40	
West Site	172,407 SF (3.96 ac)	172,407 SF (3.96 ac)	000 SF (0.00 ac)	80	0.30	
South Tributary Area	1,189,390 SF (27.30 ac)	678,196 SF (15.57 ac)	511,194 SF (11.74 ac)	88	0.56	
<b>Total</b>	<b>1,762,756 SF (40.47 ac)</b>	<b>1,216,186 SF (27.92 ac)</b>	<b>546,570 SF (12.55 ac)</b>	<b>86</b>	<b>0.49</b>	



PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

EXISTING CONDITIONS

DATE: OCTOBER 04, 2019  
BSALS PROJECT NO.: 20660002

C4.0

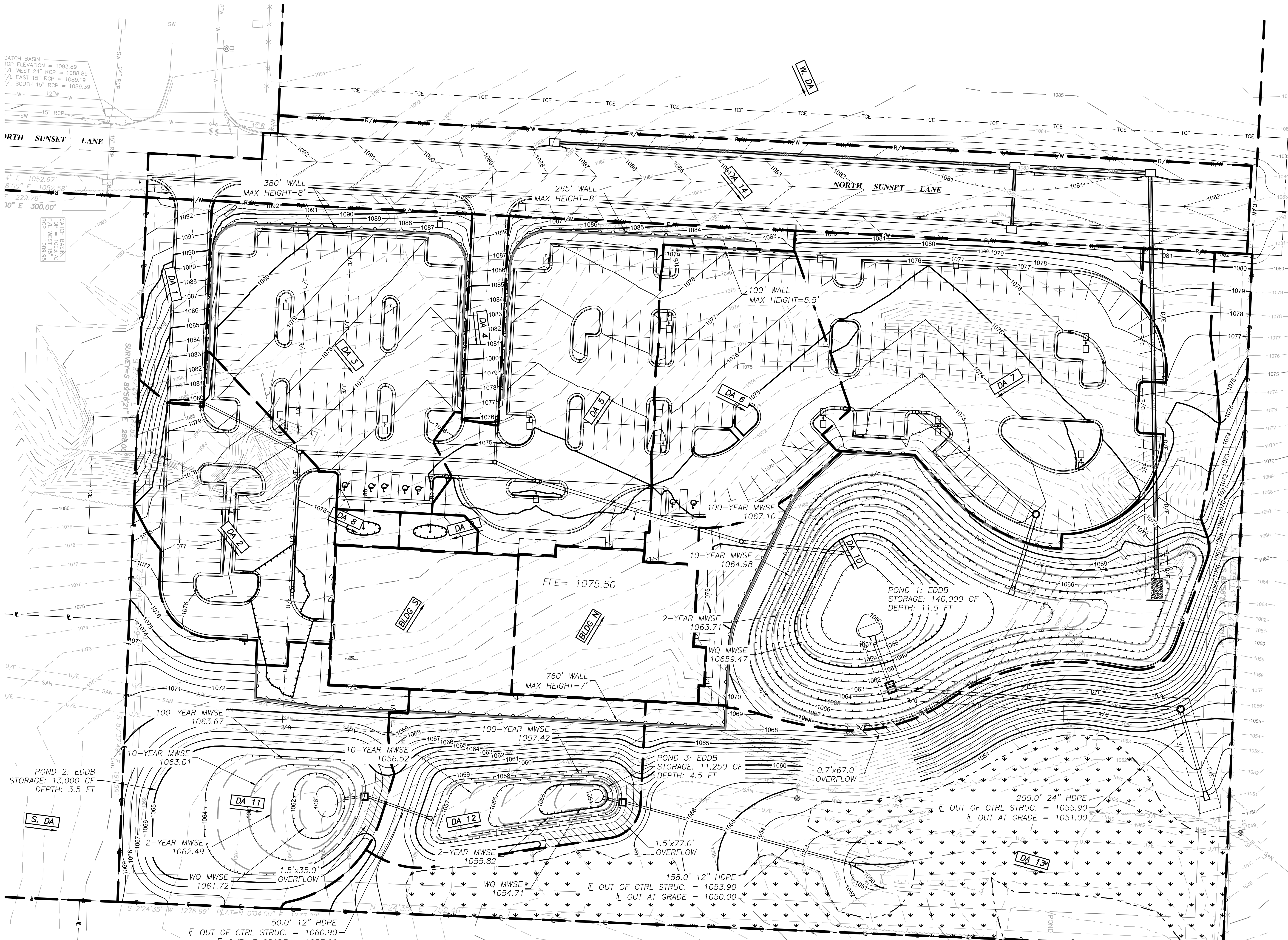
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SITE DEVELOPMENT

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### GRADING NOTES

- Contractor shall obtain a copy of the 22222 and satisfy himself as to the existing conditions and recommendations contained in the report.
- As discussed in the Geotechnical Report, ???.
- Contractor shall obtain soils suitable as structural fill from off-site sources. All borrow materials must be tested and approved by the Geotechnical Engineer prior to importing the soils to the project site.
- Contractor shall operate under the terms and permits included in the Stormwater Pollution Prevention Plan (SWPPP) prepared for this project and permitted through the Missouri Department of Natural Resources. Contractor shall employ a qualified person to conduct regular inspections of the site erosion control measures and document such inspections in the SWPPP document maintained by the Contractor.
- All topsoil, vegetation, root structures, and deleterious materials shall be stripped from the ground surface prior to the placement of embankments. Contractor shall obtain the On-site geotechnical representative's acceptance of the existing ground surface materials and the proposed fill material prior to the placement of fill.
- All proposed contour lines and spot elevations shown are finish ground elevations. Contractor shall account for pavement depths, building pads, topsoil, etc when grading the site.
- All disturbed areas that are not to be paved (green spaces) shall be finish graded with a minimum of six inches of topsoil.
- All excavation and embankments shall comply with the recommendations provided by the Geotechnical Engineer.
- Prior to placing any concrete or asphalt pavement the contractor shall perform a proof roll of the pavement sub-grade with a fully loaded tandem axle dump truck. The proof roll shall be conducted in the presence of the Engineer and the On-Site Geotechnical Representative. Areas that display rutting or pumping that are unsatisfactory to the Engineer shall be re-worked and a follow-up proof roll shall be conducted prior to acceptance of the sub-grade for paving. The contractor may, at its own expense, stabilize the sub-grade using Class C fly ash or quicklime.
- Finished grades shall not be steeper than 3:1.
- All grading work shall be considered unclassified. No additional payments shall be made for rock excavation. Contractor shall satisfy himself as to any rock excavation required to accomplish the improvements shown hereon.
- A 2% maximum cross slope shall be maintained on all pedestrian sidewalks and paths.



### LEGEND

- 980 — FINISH GRADE 5' CONTOURS
- 980 — FINISH GRADE 1' CONTOURS
- 980 — EXISTING GRADE 10' CONTOURS
- 980 — EXISTING GRADE 1' CONTOURS
- R/W — R/W — RIGHT-OF-WAY LINE
- — — — — PROPERTY LINE
- — — — — SECTION LINE
- — — — — PROPOSED STORM SEWER MAIN
- — — — — PROPOSED RETAINING WALL
- DA # — — — — — DRAINAGE AREA # & DIRECTION
- — — — — NATIVE VEGETATION
- — — — — NATIVE VEGETATION BOUNDARY

MARK	DATE	DESCRIPTION
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### Compass Health

Basin ID	AREA	PERVIOUS	IMPERVIOUS	CN-Value	C-VALUE
DA 1	6,053 SF (0.14 ac)	2,557 SF (0.06 ac)	3,496 SF (0.08 ac)	90	0.65
DA 2	20,013 SF (0.46 ac)	6,115 SF (0.14 ac)	13,898 SF (0.32 ac)	93	0.72
DA 3	29,694 SF (0.68 ac)	5,962 SF (0.14 ac)	23,733 SF (0.54 ac)	94	0.78
DA 4	3,534 SF (0.08 ac)	000 SF (0.00 ac)	3,534 SF (0.08 ac)	98	0.90
DA 5	27,756 SF (0.64 ac)	6,562 SF (0.15 ac)	21,194 SF (0.49 ac)	94	0.76
DA 6	21,604 SF (0.50 ac)	2,219 SF (0.05 ac)	19,385 SF (0.45 ac)	96	0.84
DA 7	39,360 SF (0.90 ac)	8,878 SF (0.20 ac)	30,482 SF (0.70 ac)	94	0.76
DA 8	1,053 SF (0.02 ac)	1,053 SF (0.02 ac)	000 SF (0.00 ac)	80	0.30
DA 9	1,268 SF (0.03 ac)	1,268 SF (0.03 ac)	000 SF (0.00 ac)	80	0.30
DA 10	51,234 SF (1.18 ac)	50,159 SF (1.15 ac)	1,075 SF (0.02 ac)	80	0.31
DA 11	31,386 SF (0.72 ac)	30,794 SF (0.71 ac)	592 SF (0.01 ac)	80	0.31
DA 12	18,410 SF (0.42 ac)	17,444 SF (0.40 ac)	966 SF (0.02 ac)	81	0.33
DA 13	82,588 SF (1.90 ac)	82,271 SF (1.89 ac)	317 SF (0.01 ac)	80	0.30
DA 14	42,508 SF (0.98 ac)	9,982 SF (0.23 ac)	32,526 SF (0.75 ac)	94	0.76
BLDG S	11,863 SF (0.27 ac)	000 SF (0.00 ac)	11,863 SF (0.27 ac)	98	0.90
BLDG N	12,397 SF (0.28 ac)	000 SF (0.00 ac)	12,397 SF (0.28 ac)	98	0.90

Basin ID	AREA	PERVIOUS	IMPERVIOUS	CN-Value	C-VALUE
South DA	1,189,390 SF (27.30 ac)	678,196 SF (15.57 ac)	511,194 SF (11.74 ac)	88	0.56
West DA	172,407 SF (3.96 ac)	172,407 SF (3.96 ac)	000 SF (0.00 ac)	80	0.30

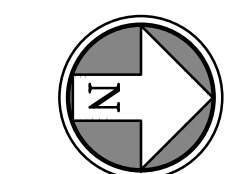
Totals: 1,762,516 SF (40.46 ac) 1,075,867 SF (24.70 ac) 686,650 SF (15.76 ac) 87 0.53

BMP ID	Cover/BMP Description	Treatment Area (ac)	BMP Value Rating	Value Rating * Area
1	Dry Detention/Inlet Filter	3.45	9.0	21.6
2	Dry Detention	2.85	4.3	12.1
3	Native Vegetation	0.80	9.5	7.6
4	No BMP	1.12	0.0	0.0
Total:			8.22	41.3
			Weighted VR:	5

NOTE: ALL PRIVATE INLETS THAT DRAIN TO POND 1 WILL HAVE INLET FILTERS

### BMP MAINTENANCE

FOR ALL BMP MAINTENANCE REFER TO BMP MARC MANUAL 2012.



SCALE: 1"=30'  
0 30 60

### PROPOSED STORMWATER MANAGEMENT PLAN

DATE: OCTOBER 04, 2019  
BSALS PROJECT NO. 20660002

## RAYMORE BEHAVIORAL HEALTH CLINIC

CLIENT PROJECT NO. - 2066  
SITE DEVELOPMENT

100%

MARK	DATE	DESCRIPTION
1	12/06/19	PER CITY COMMENTS

PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

### UTILITY PLAN

DATE: OCTOBER 04, 2019  
BSALS PROJECT NO. 20660002

C5.0

#### CONSTRUCTION NOTES

- W - WATER SERVICE INFORMATION - CITY OF RAYMORE**
- PROPOSED 12" WATER MAIN LINE; RE. PUBLIC WATERLINE IMPROVEMENT PLANS.
  - 8" PUBLIC FIRE PROTECTION LINE; RE. PUBLIC WATERLINE IMPROVEMENT PLANS.
  - PUBLIC FIRE HYDRANT; RE. PUBLIC WATERLINE IMPROVEMENT PLANS.
  - 6" PRIVATE FIRE PROTECTION LINE WITH ASSOCIATED TAP.
  - CONNECT FIRE PROTECTION LINE TO BUILDING; RE. MEP.
  - 3" WATER SERVICE LINE WITH ASSOCIATED TAP AND METER.
  - CONNECT WATER SERVICE LINE TO BUILDING; RE. MEP.
  - CONNECTION FOR REMOTE FDC.
  - 6" FIRE PROTECTION LINE.
  - REMOTE FDC; INSTALLED PER CITY OF RAYMORE FIRE DEPT. STANDARDS.

- E - ELECTRIC SERVICE INFORMATION - EVERGY**
- CONTRACTOR TO INSTALL PRIMARY UNDERGROUND ELECTRIC SERVICE FROM EXISTING ELECTRIC STRUCTURE TO TRANSFORMER PAD. EXISTING STRUCTURE NEXT TO PRICE CHOPPER NORTH OF SITE. COORDINATE WITH EVERGY.
  - PROPOSED TRANSFORMER PAD.
  - CONTRACTOR TO INSTALL SECONDARY UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING; RE. MEP.

- C - COMMUNICATION SERVICE INFORMATION - COMCAST**
- CONTRACTOR TO INSTALL COMMUNICATION CONDUIT W/ PULL WIRE FROM THE BUILDING TO THE CONNECTION AT COMMUNICATION BOX; COORDINATE W/ COMMUNICATION UTILITY PROVIDER.
  - CONNECT COMMUNICATIONS CONDUITS TO BUILDING; REF. MEP.

- G - GAS SERVICE INFORMATION - SPIRE**
- PROPOSED GAS MAIN; CIVIL TO COORDINATE W/ SPIRE.
  - GAS SERVICE LINE.
  - GAS SERVICE CONNECTION TO BUILDING; RE. MEP.

- ST - STORM SEWER INFORMATION - CITY OF RAYMORE**
- PUBLIC STORM SEWER LINE; RE. N. SUNSET LANE PUBLIC STREET & STORM SEWER IMPROVEMENTS.
  - STORM SEWER LINE.
  - STORM ROOF DRAIN LINE.

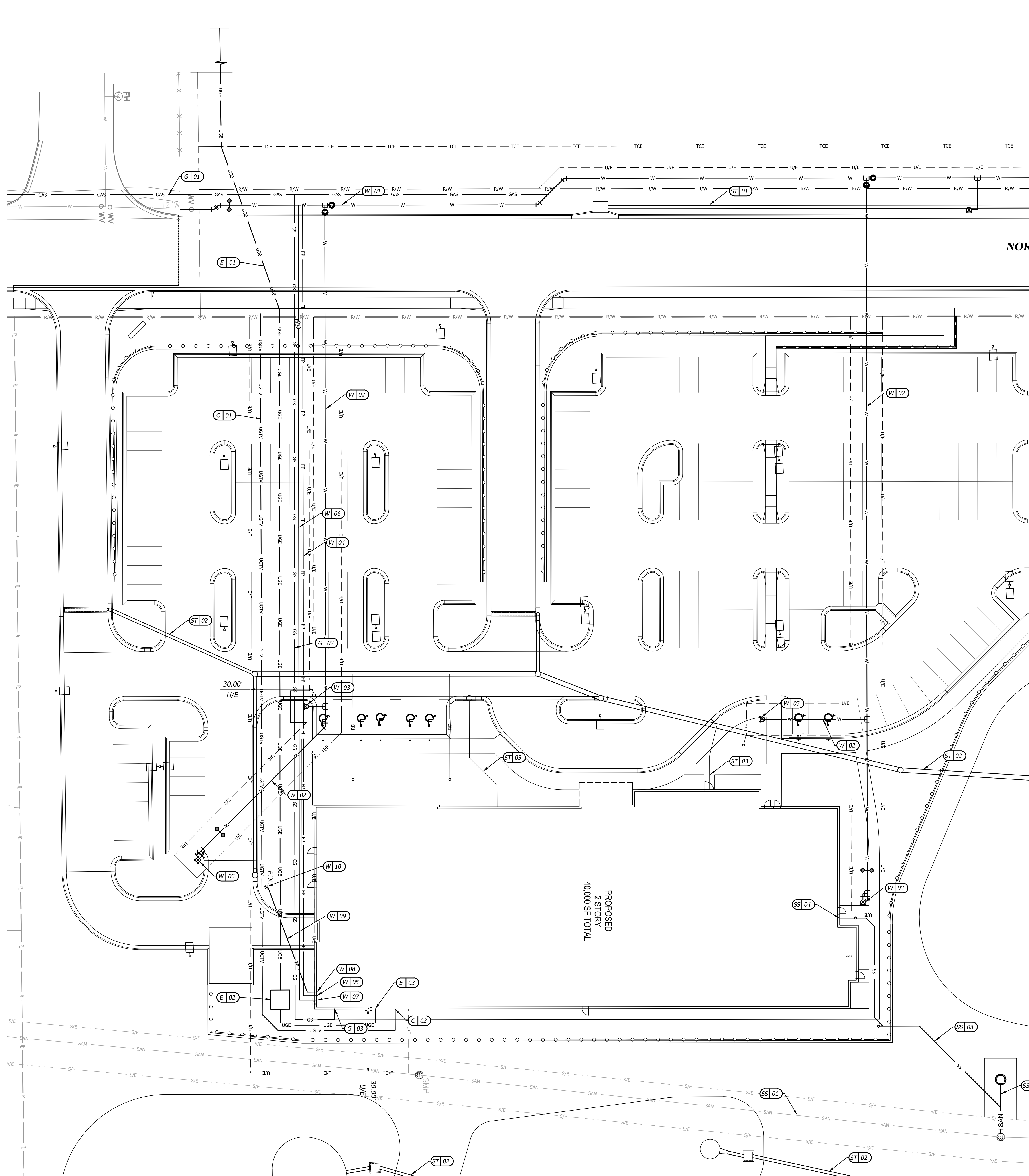
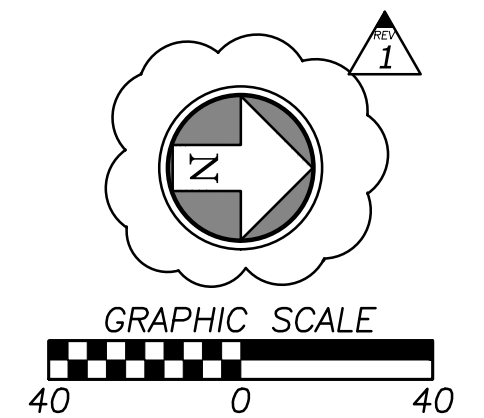
- SS - SANITARY SEWER INFORMATION - CITY OF RAYMORE**
- EXISTING 27" SANITARY SEWER MAIN.
  - 8" SANITARY SEWER MAIN; RE. PUBLIC SEWER IMPROVEMENT PLANS.
  - 6" SANITARY SEWER SERVICE LINE.
  - CONNECT SANITARY SERVICE LINE TO BUILDING; RE. MEP.

#### EROSION CONTROL LEGEND

- W PUBLIC WATER
- FP DOMESTIC WATER LINE
- WS FIRE PROTECTION LINE
- UGE UNDERGROUND ELECTRIC LINE
- UGTV UNDERGROUND COMM. LINE
- GAS PROPOSED GAS MAIN
- GS GAS SERVICE LINE
- SAN EXISTING SANITARY MAIN
- SAN PROPOSED SANITARY MAIN
- SS SANITARY SERVICE LINE

#### UTILITY NOTES

- Contractor shall refer to all specifications, guidelines, and installation drawings from City of Raymore Water, Spire, Comcast, City of Raymore Sanitary, City of Raymore Storm, and Evergy for the installation of all service lines.
- Contractor to ensure 6' minimum separation between utilities at crossings. Contractor to call civil if any conflicts between utilities are found.
- Fire Line Notes:
  - All private fire lines shall be installed in accordance with NFPA 24, and other applicable codes and standards.
  - Contact the fire department to schedule inspections prior to private fire lines being backfilled.
  - Contact the fire department to witness scheduled hydrostatic tests and flushes of private fire lines.

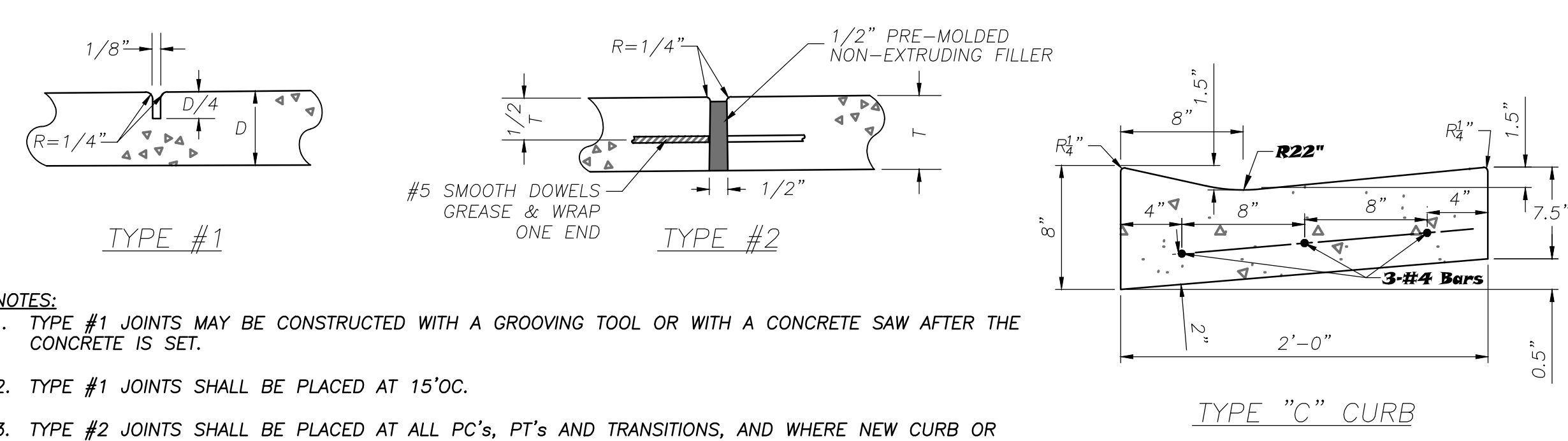


## RAYMORE BEHAVIORAL HEALTH CLINIC

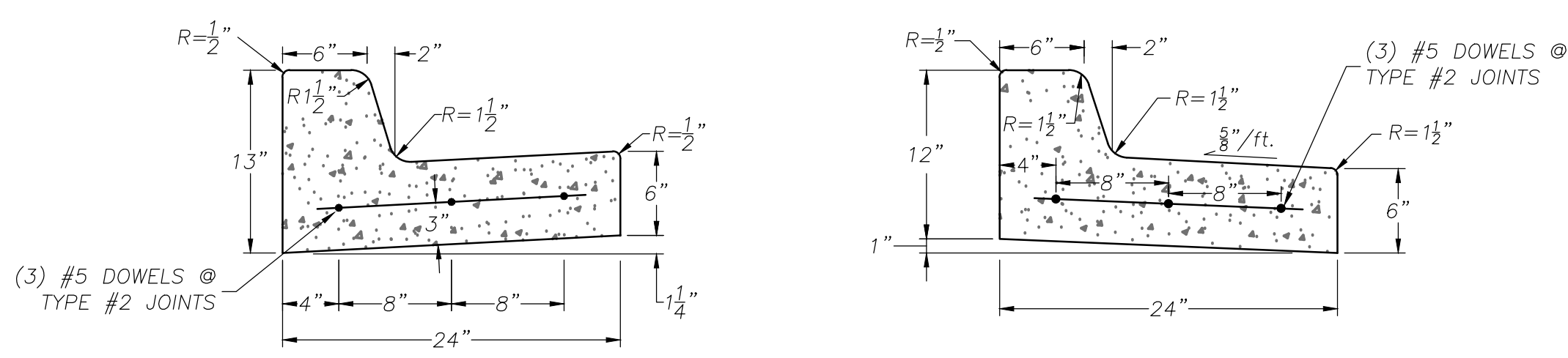
CLIENT PROJECT NO. - 2066

### SITE DEVELOPMENT

100%

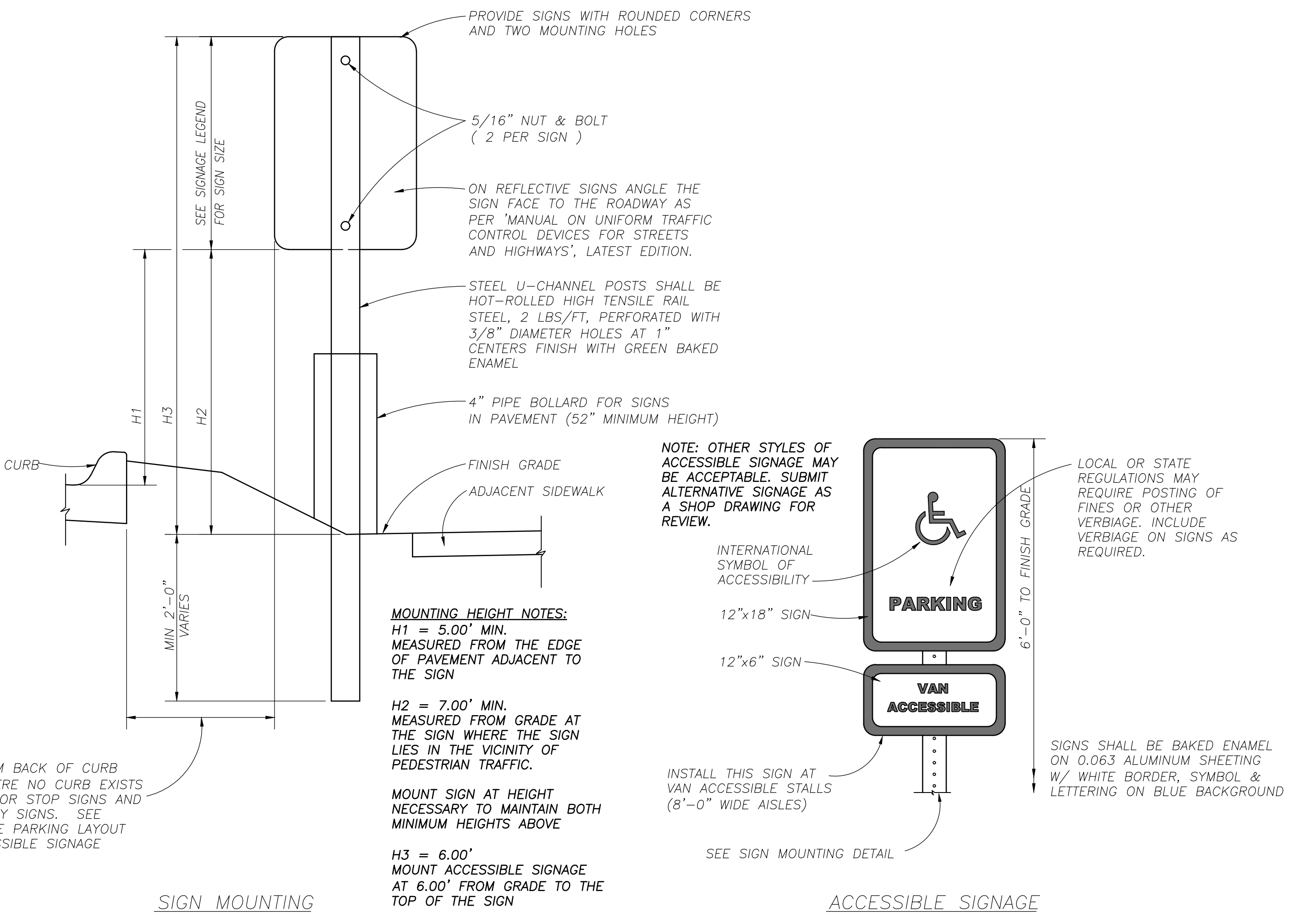


- NOTES:**
- TYPE #1 JOINTS MAY BE CONSTRUCTED WITH A GROOVING TOOL OR WITH A CONCRETE SAW AFTER THE CONCRETE IS SET.
  - TYPE #1 JOINTS SHALL BE PLACED AT 15'OC.
  - TYPE #2 JOINTS SHALL BE PLACED AT ALL PC'S, PT'S AND TRANSITIONS, AND WHERE NEW CURB OR PAVEMENT TIES INTO EXISTING CURB.
  - TYPE #2 SMOOTH BARS SHALL BE 24" LONG.

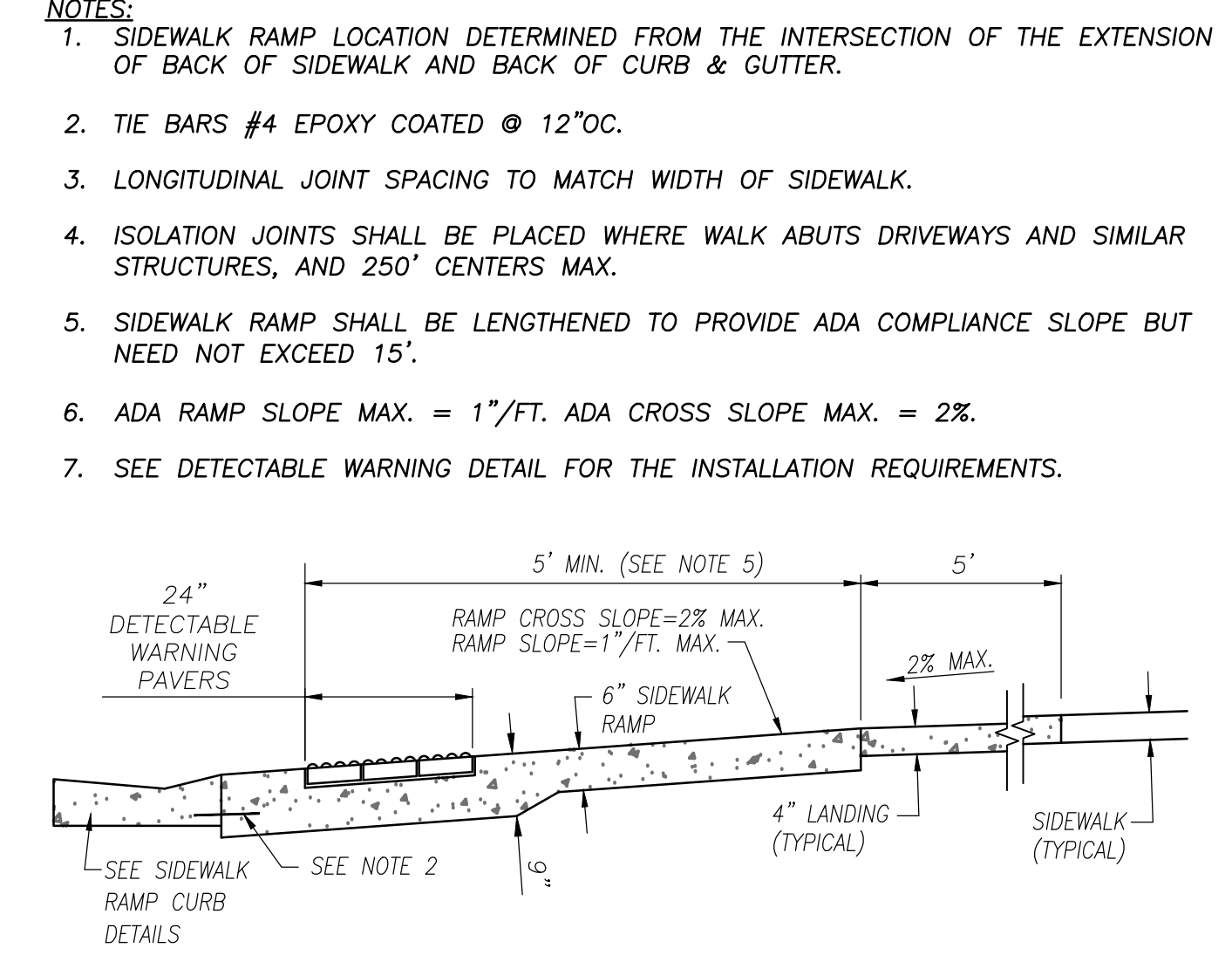
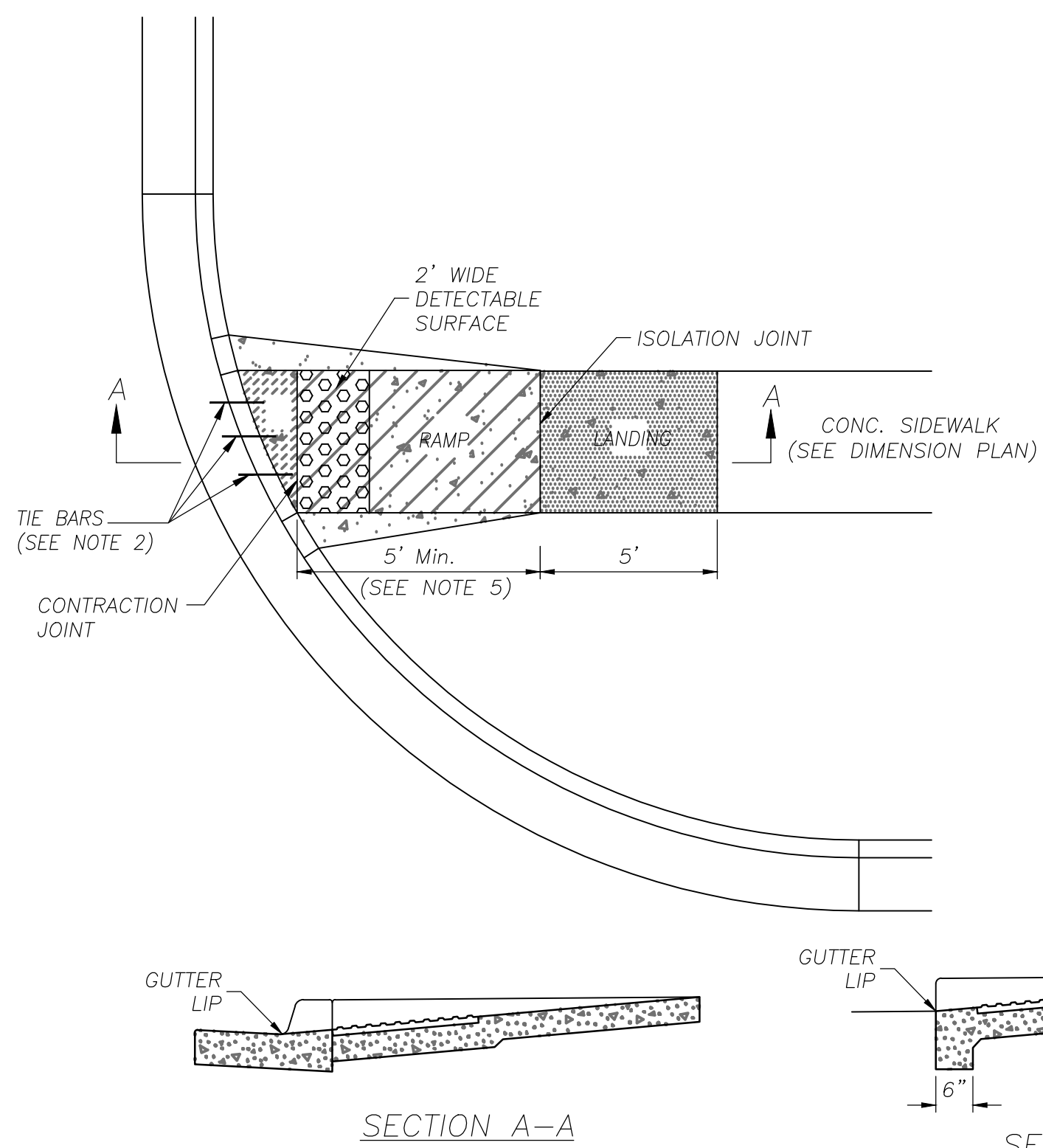


- NOTES:**
- ALL CONCRETE SHALL CONFORM TO KDOT GRADE 4.0 (AE).
  - ALL JOINTS WITH EXISTING CURB SHALL BE TYPE #2 JOINTS.
  - A TYPE #2 JOINT SHALL BE PLACED AT ALL CURB RETURNS.
  - A TYPE #1 JOINT SHALL BE PLACED AT 15'OC.
  - AB-3 MAY BE USED AS A LEVELING COURSE TO BRING SUBGRADE TO PROPER ELEVATION (6" max.).
  - DURING DRY CURB TRANSITIONS, WATER SHALL FLOW FROM THE GUTTER TO THE LIP @ 0.5% min. SLOPE.

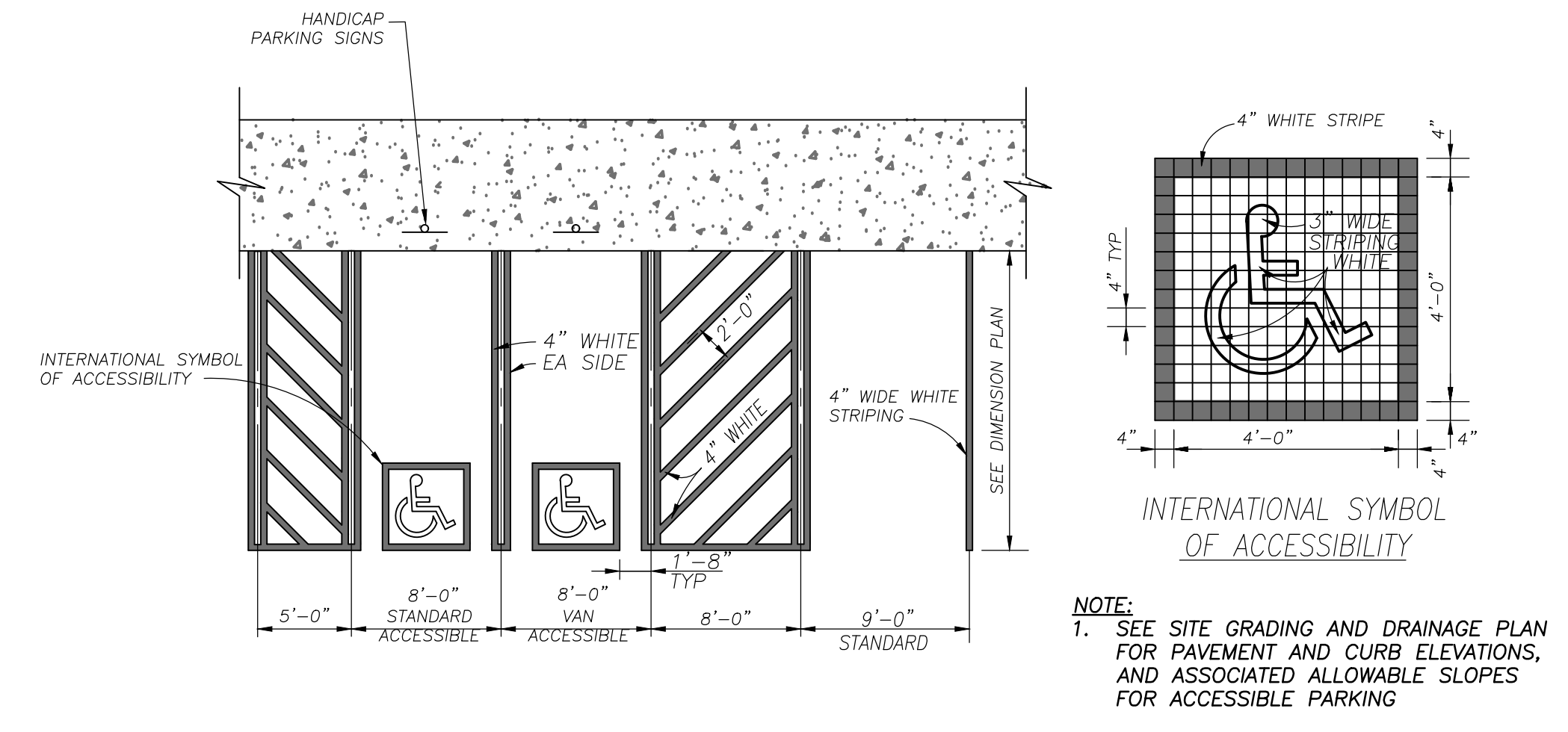
**002 Concrete Curb & Gutter**  
Not to Scale



**019 (ADA) Handicap Parking Signage**  
Not to Scale



**017 Sidewalk Ramp**  
Not to Scale



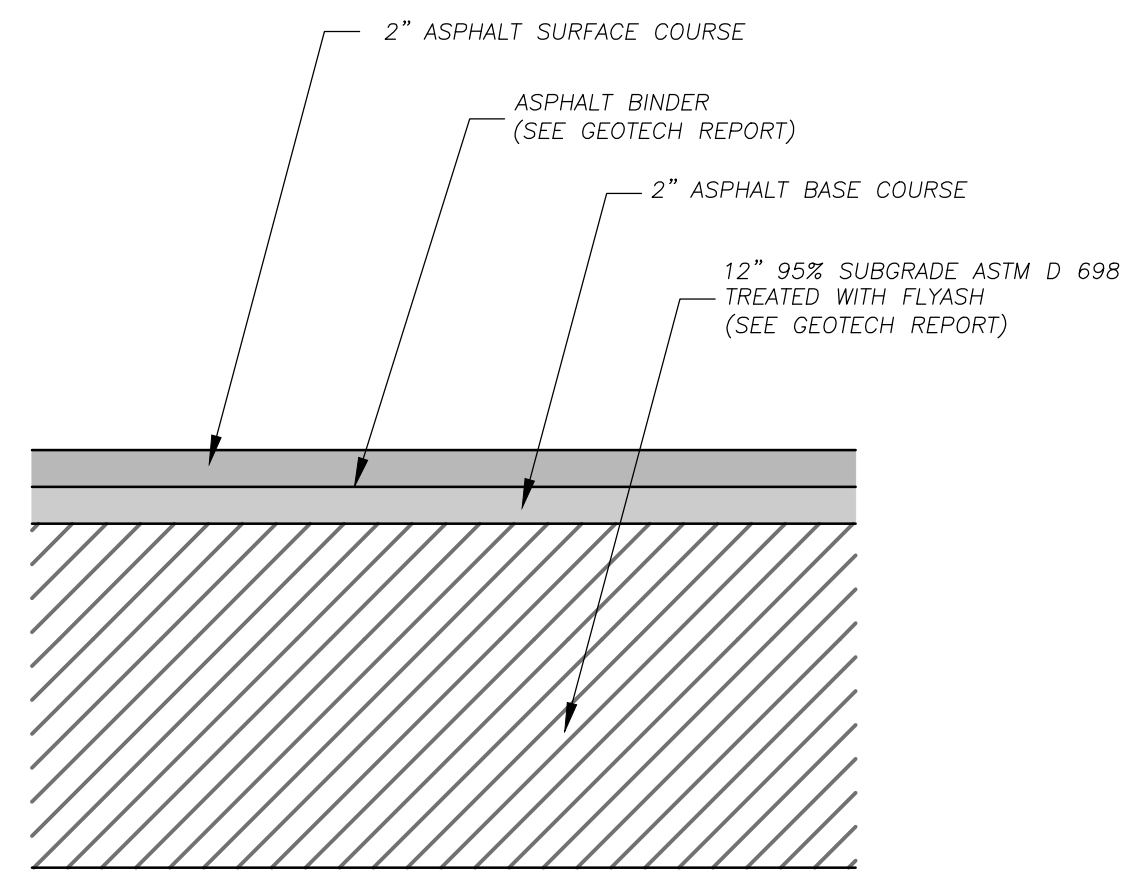
**018 (ADA) Handicap Parking Striping**  
Not to Scale

MARK	DATE	DESCRIPTION
1	12/06/19	PER CITY COMMENTS

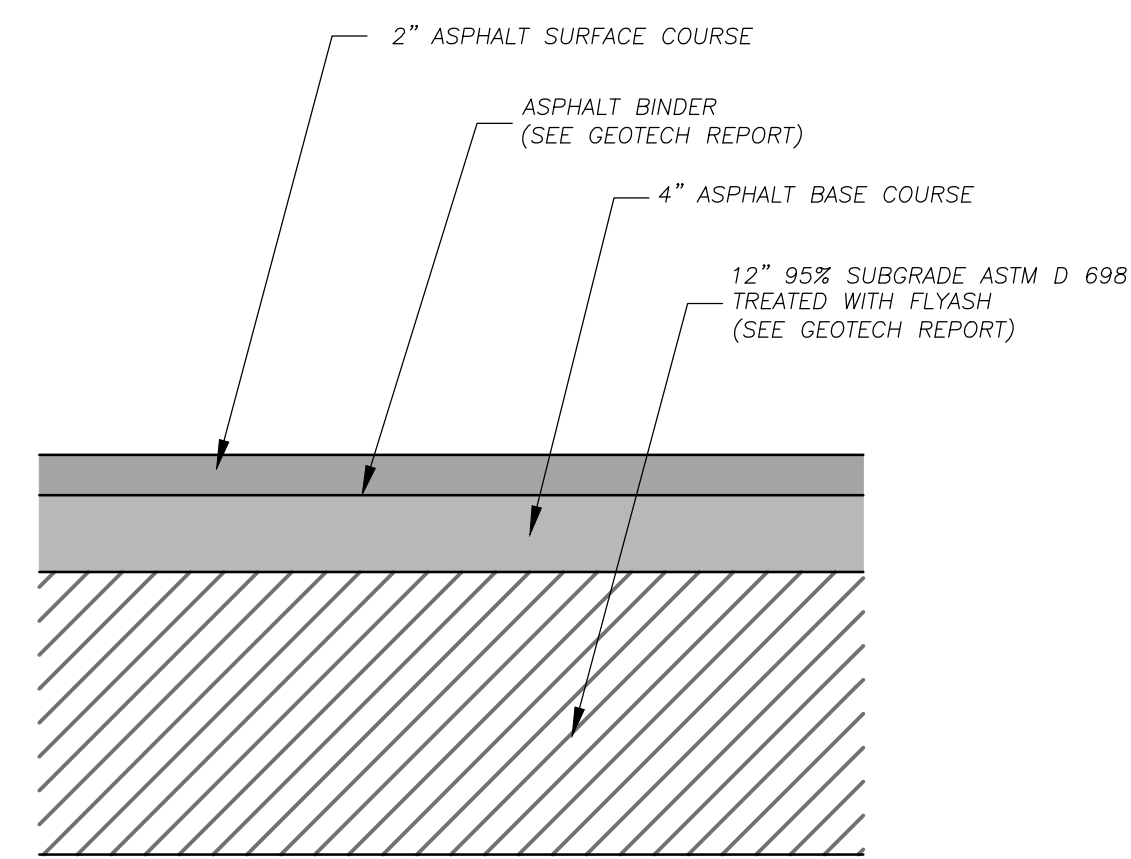
PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

### SITE DETAILS

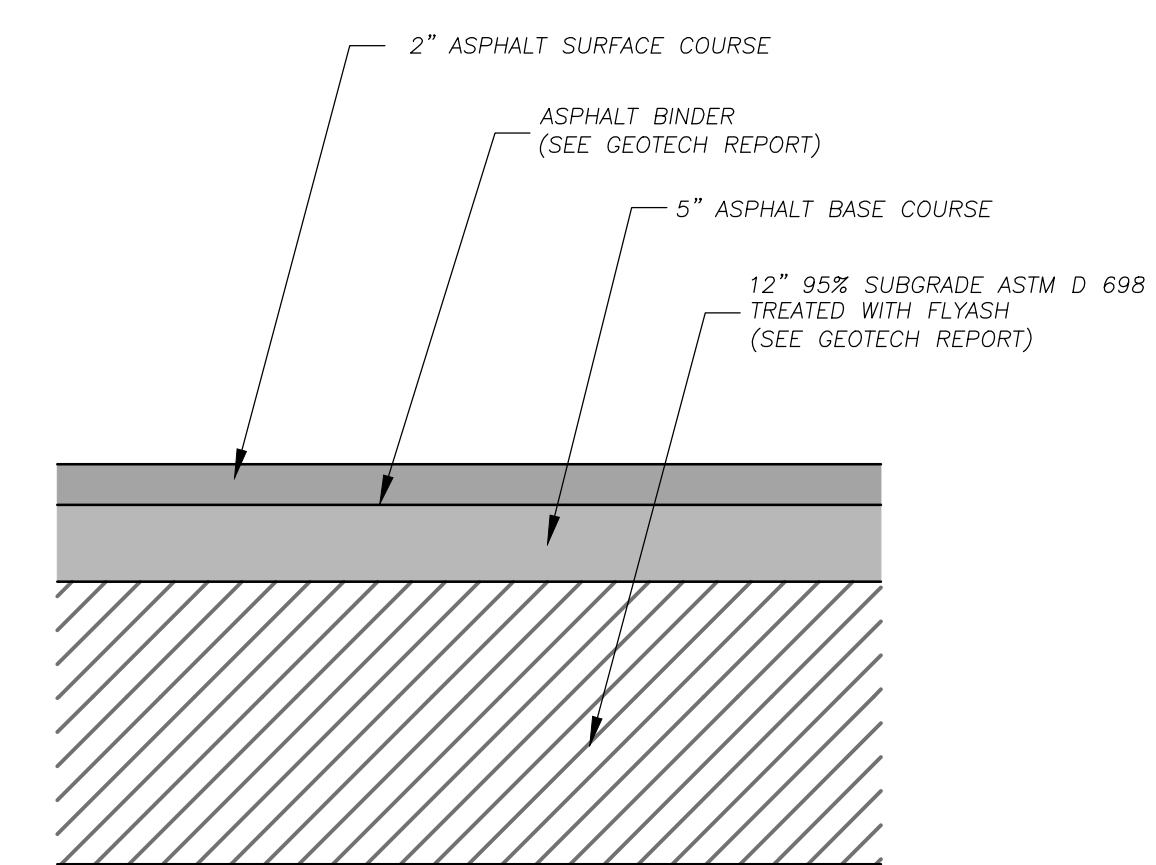




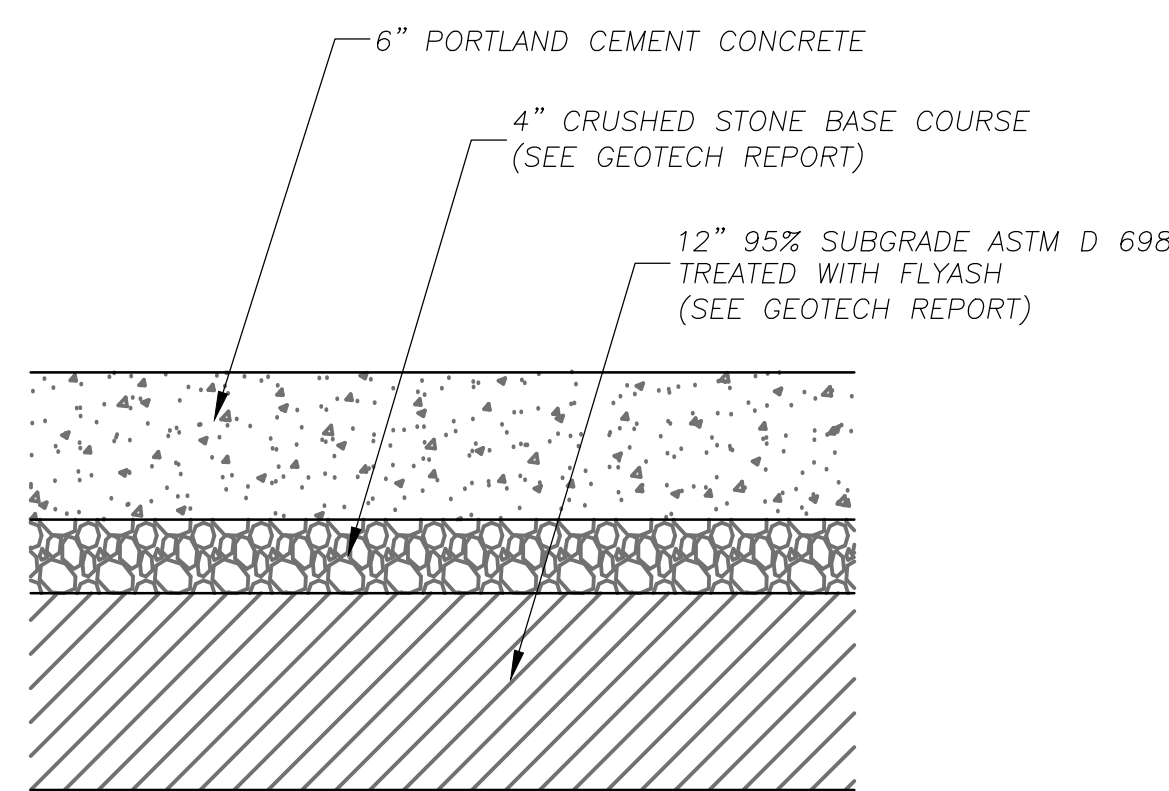
**004 Light Duty Asphalt Section**  
Not to Scale



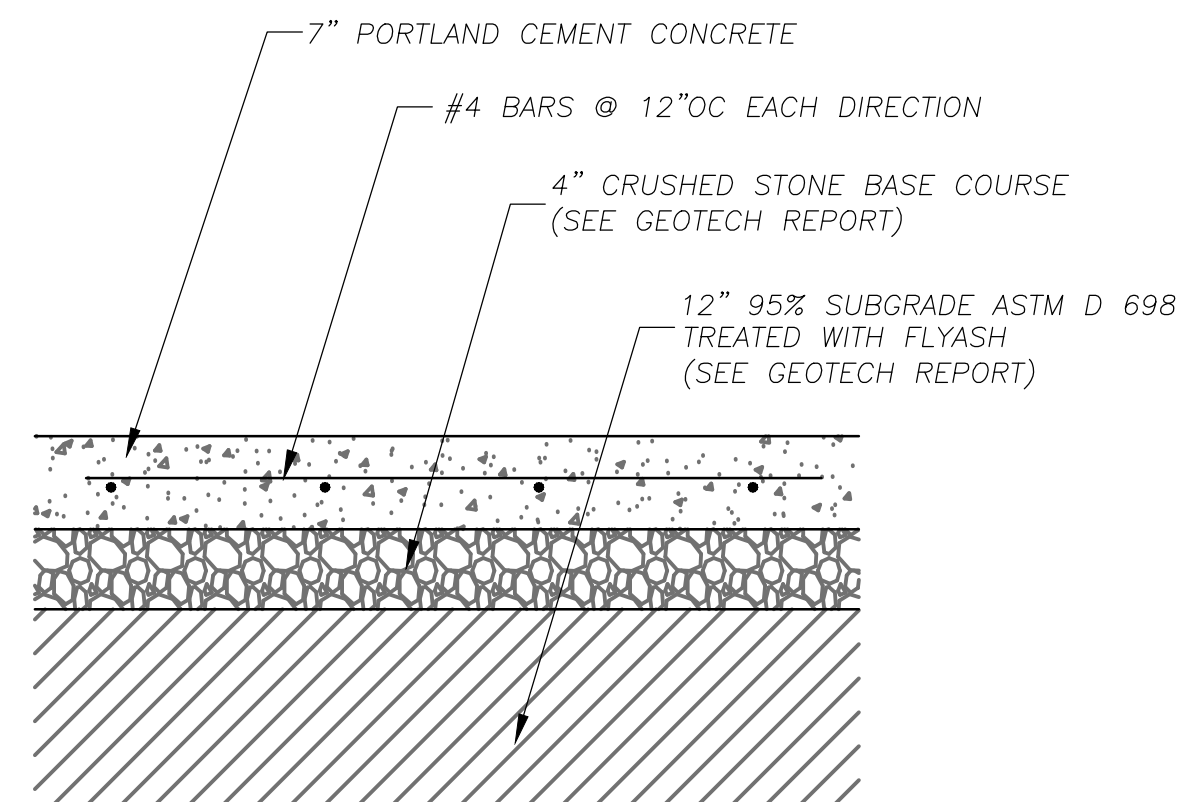
**005 Medium Duty Asphalt Section**  
Not to Scale



**006 Heavy Duty Asphalt Section**  
Not to Scale



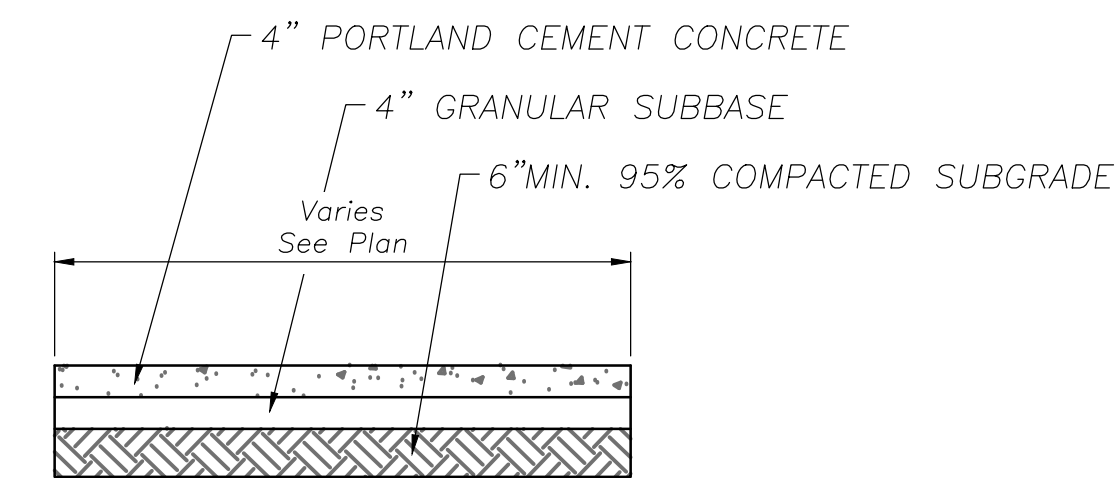
**009 Medium Duty Concrete Section**  
Not to Scale



**011 Concrete Dumpster Pad Section**  
Not to Scale

**NOTES:**

- CONTROL JOINT SPACING SHALL MATCH WIDTH OF SIDEWALK.
- REFER TO LANDSCAPING PLANS FOR SCORING PATTERNS.
- ISOLATION JOINTS SHALL BE PLACED @ 250' CENTERS OR WHERE WALKS ABUT CURBS, BUILDINGS, ETC...
- ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH.



**013 Concrete Sidewalk Section**  
Not to Scale

## RAYMORE BEHAVIORAL HEALTH CLINIC

CLIENT PROJECT NO. - 2066

### SITE DEVELOPMENT

100%

MARK	DATE	DESCRIPTION
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PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

### PAVEMENT SECTION DETAILS

DATE	OCTOBER 04, 2019
BSALS PROJECT NO.	20660002

# C6.1

## RAYMORE BEHAVIORAL HEALTH CLINIC

CLIENT PROJECT NO. - 2066  
SITE DEVELOPMENT

100%

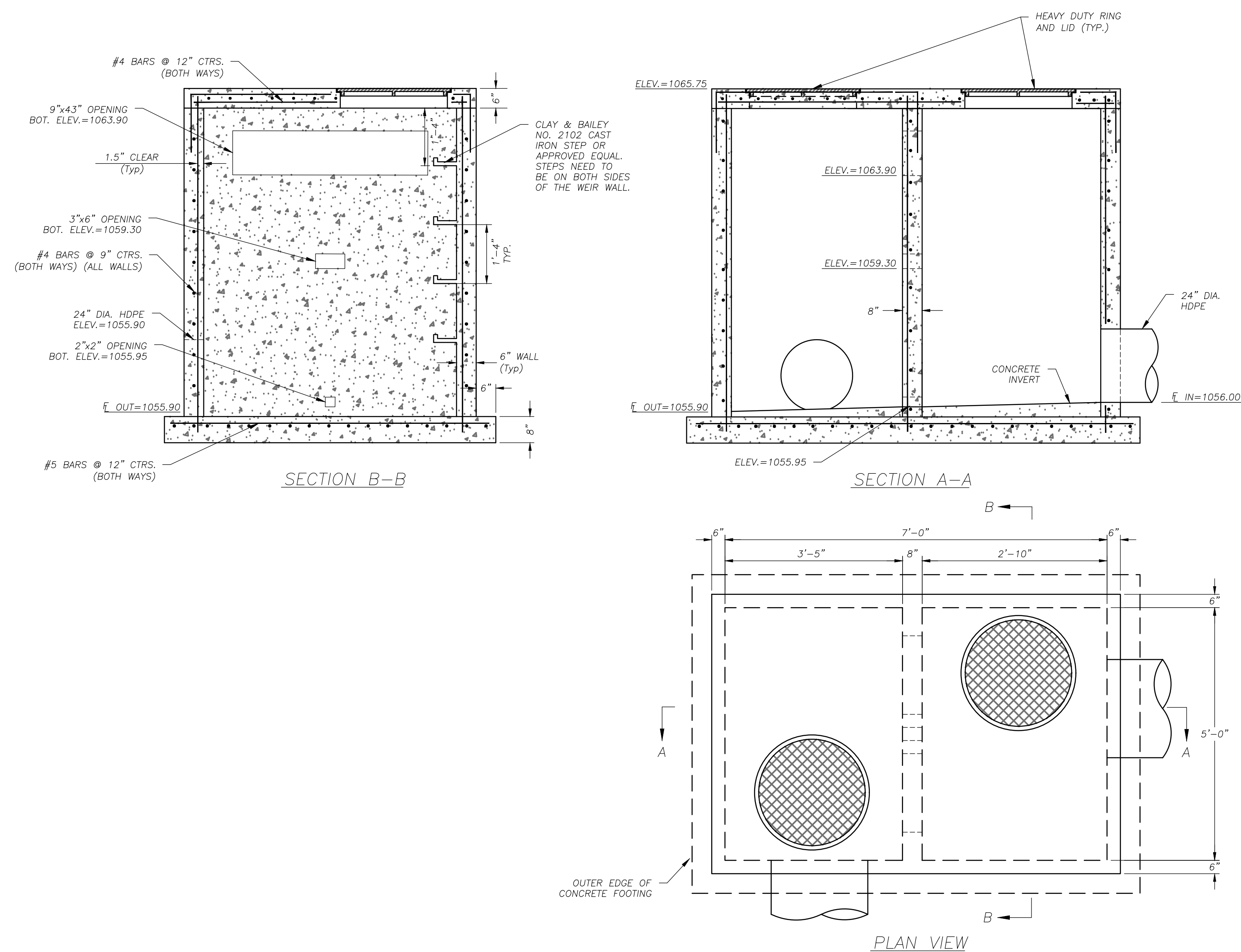
MARK	DATE	DESCRIPTION
1	12/06/19	PER CITY COMMENTS

PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

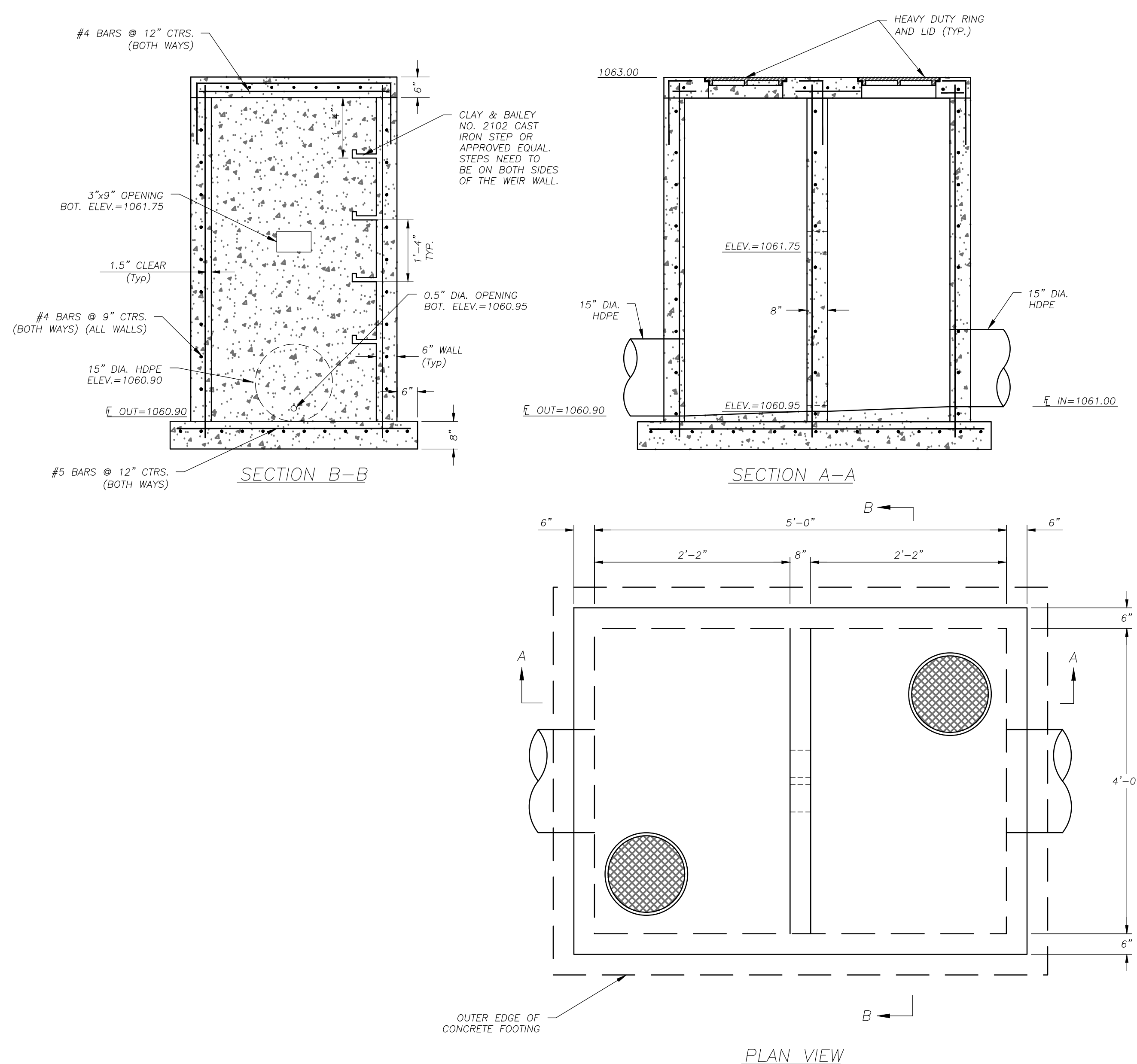
STORMWATER  
DETAILS

DATE	OCTOBER 04, 2019
BSALS PROJECT NO.	20660002

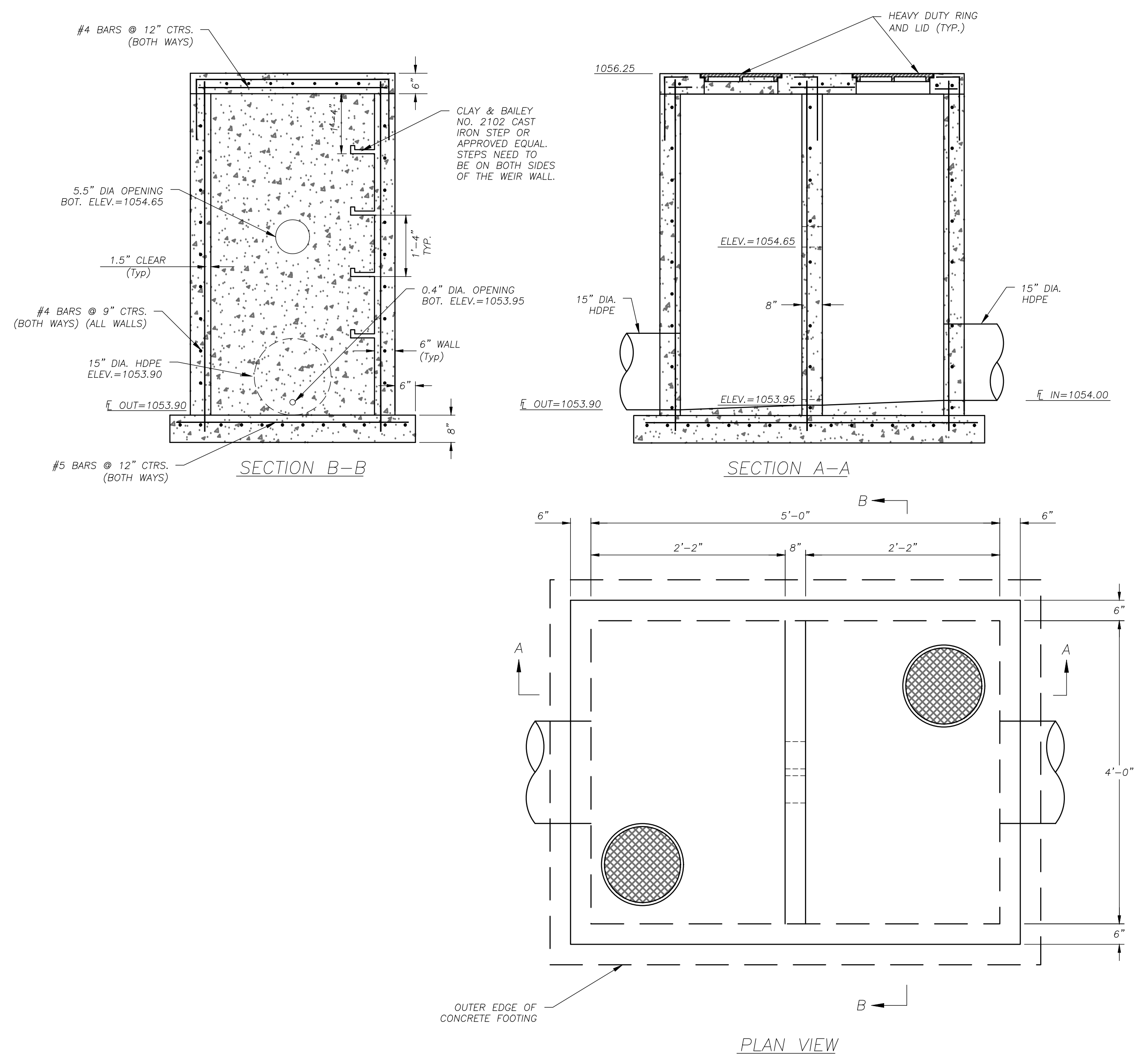
C6.2



**320 Detention Outlet Control Structure 1**  
Not to Scale



**321 Detention Outlet Control Structure 2**  
Not to Scale



**322 Detention Outlet Control Structure 3**  
Not to Scale

**GENERAL NOTES**

**GENERAL**

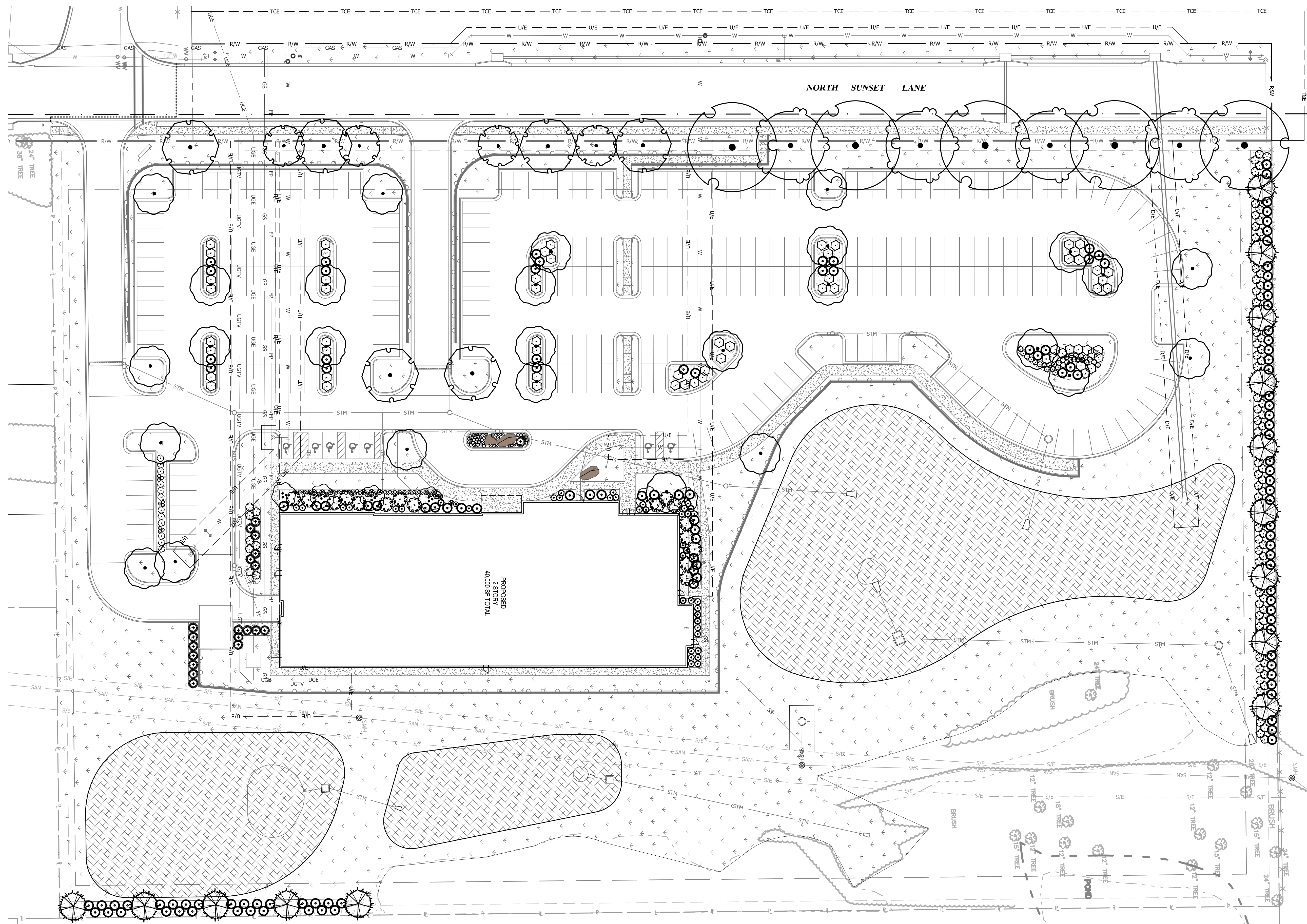
- ALL STORM SEWER STRUCTURES SHALL BE PRECAST OR POURED IN PLACE.
  - PRECAST SHOP DRAWINGS ARE TO BE APPROVED BY THE ENGINEER.
  - DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS OR CLEARANCES. ANY QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
  - THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION. THE CONCRETE THICKNESS AND REINFORCEMENT SHOWN IS FOR BOXES WITH ("L"+"H") AND ("W"+"H") LESS THAN OR EQUAL TO 20. FOR BOXES WITH EITHER OF THESE CALCULATIONS GREATER THAN 20, A SPECIAL DESIGN IS REQUIRED.
  - RING & COVER TO BE EAST JORDAN IRON WORKS #00150230 (HEAVY DUTY) OR APPROVED EQUAL.
- CONCRETE**
- CONCRETE USED IN THIS WORK SHALL BE KCMMB4K FOR ALL PRECAST STRUCTURAL COMPONENTS, AND KCMMSK FOR ALL POURED-IN-PLACE COMPONENTS AS APPROVED BY THE KANSAS CITY METROPOLITAN MATERIALS BOARD, AND SHALL MEET THE REQUIREMENTS OF THE SHAWNEE TECHNICAL SPECIFICATIONS.
  - CONCRETE CONSTRUCTION SHALL MEET THE APPLICABLE REQUIREMENTS OF STANDARD SPECIFICATIONS FOR STATE ROAD AND BRIDGE CONSTRUCTION, KANSAS DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
  - INLET FLOORS SHALL BE SHAPED WITH NON-REINFORCED KCMMB4K CONCRETE INVERT TO PROVIDE SMOOTH FLOW.
  - BEVEL ALL EXPOSED EDGES WITH 3/4" TRIANGULAR MOLDING.

**REINFORCING STEEL**

- REINFORCING STEEL SHALL BE NEW BILLET, MINIMUM GRADE 40 AS PER ASTM A615, AND SHALL BE BENT COLD.
- ALL DIMENSIONS RELATIVE TO REINFORCING STEEL ARE TO CENTERLINE OF BARS. 2" CLEARANCE SHALL BE PROVIDED THROUGHOUT UNLESS NOTED OTHERWISE. TOLERANCE OF ±1/8" SHALL BE PERMITTED.
- ALL LAP SPLICES NOT SHOWN SHALL BE A MINIMUM OF 40 BAR DIAMETERS IN LENGTH.
- ALL REINFORCING STEEL SHALL BE SUPPORTED ON FABRICATED STEEL BAR SUPPORTS @ 3'-0" MAXIMUM SPACING.
- ALL DOWELS SHALL BE ACCURATELY PLACED AND SECURELY TIED IN PLACE PRIOR TO PLACEMENT OF BOTTOM SLAB CONCRETE. STICKING OF DOWELS INTO FRESH OR PARTIALLY HARDENED CONCRETE WILL NOT BE ACCEPTABLE.

**CONSTRUCTION**

- THE BOTTOM SLAB SHALL BE AT LEAST 24 HOURS OLD BEFORE PLACING SIDEWALL CONCRETE. ALL SIDEWALL FORMS SHALL REMAIN IN PLACE A MINIMUM OF 24 HOURS AFTER SIDEWALLS ARE POURED BEFORE REMOVAL, AND AFTER REMOVAL SHALL BE IMMEDIATELY TREATED WITH MEMBRANE CURING COMPOUND.
- PIPE CONNECTIONS TO PRECAST STRUCTURES SHALL HAVE A MINIMUM OF 6" OF CONCRETE AROUND THE ENTIRE PIPE WITHIN 2' OF THE STRUCTURE.
- MATERIAL SELECTION AND COMPACTION REQUIREMENTS FOR BACKFILL AROUND STRUCTURES SHALL BE AS SPECIFIED IN THE MERRIAM TECHNICAL SPECIFICATIONS.



**GENERAL LANDSCAPE NOTES**

- The Contractor shall verify and coordinate all final grade with the Landscape Architect and or design team prior to completion.
- Location and placement of all plant material shall be coordinate with the Landscape Architect prior to installation.
- Location of all utilities are approximate. The Contractor shall field verify locations prior to commencement of construction operations.
- Refer to Civil Drawings for all grading and berming, erosion control, storm drainage, utilities and site layout.
- The Contractor shall arrange and conduct a pre-construction meeting onsite with Landscape Architect prior to work.
- Plant quantities are for information only drawing shall prevail if conflict occurs. Contractor is responsible for calculating own quantities and bid accordingly.
- The Contractor is to notify Landscape Architect after staking is complete and before plant pits are excavated.
- Tree locations in areas adjacent to drives, walks, walls and light fixtures may be field adjusted as approved by Landscape Architect.
- The Contractor shall report subsurface soil or drainage problems to the Landscape Architect.
- The plan is subject to changes based on plant size and material availability. All changes or substitutions must be approved by the City of Raymore, Missouri and the Landscape Architect.
- Aluminum landscape edging to be used on all landscape beds abutting turf areas as noted on landscape plans.
- Landscape Contractor shall be responsible for watering all plant material until the time that a permanent water source is ready.
- The Contractor shall show proof of procurement, sources, quantities, and varieties for all shrubs, perennials, ornamental grasses, and annuals within 21 days following the award of the contract.
- Contractor shall provide full maintenance for newly landscaped areas for a period of 30 days after the date of final acceptance. At the end of the maintenance period, a healthy, well-rooted, even-colored, viable turf and landscaped area must be established. The landscaped areas shall be free of weeds, open joints, bare areas, and surface irregularities.

**GENERAL IRRIGATION NOTES**

- Irrigation plan to be provided during permitting phase of development
- Irrigation plan to not interfere with any proposed improvements show within plans.
  - Irrigation system design to be based on available psi - min operating pressure for spray heads shall be 30 psi and min operating for drip zones shall be 40 psi.
  - The mechanical contractor shall be responsible for electrical power service to the controller and shall make all hook-ups from the electrical service to the automatic controller. All exposed low voltage wire shall be enclosed in a conduit.
  - Place valve boxes 12" minimum from and parallel to curbs and walks, grouped valves to be equally spaced.
  - Install all mainlines to slope at 1% minimum to drain valves located at low points of main system.
  - General contractor shall provide 110v, non-interrupted electrical service for the irrigation controller.
  - Irrigation controller and rain sensor shall be located in owner approved locations.

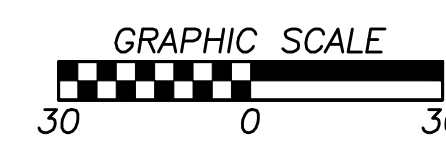
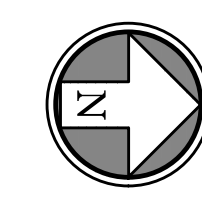


**RAYMORE BEHAVIORAL HEALTH CLINIC**  
CLIENT PROJECT NO. - 2066  
**SITE DEVELOPMENT**

100%

**LEGEND**

- 980 PROPOSED FINISH GRADE MAJOR CONTOUR
- 982 PROPOSED FINISH GRADE MINOR CONTOUR
- 980 EXISTING GRADE MAJOR CONTOUR
- 982 EXISTING GRADE MINOR CONTOUR
- STW PROPOSED STORM SEWER LINE
- RD PROPOSED ROOF LINE DRAIN
- R PROPERTY LINE
- R/W RIGHT-OF-WAY LINE



MARK	DATE	DESCRIPTION
1	12/06/19	PER CITY COMMENTS

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.
	27	Chionanthus virginicus / White Fringetree	B & B	2"Cal
	6	Ginkgo biloba / Maidenhair Tree	B & B	2"Cal
	4	Nyssa sylvatica 'Black Tupelo' / Sour Gum	B & B	2"Cal
	14	Picea abies / Norway Spruce	B & B	2"Cal
	5	Quercus bicolor / Swamp White Oak	B & B	2"Cal
	4	Ulmus parvifolia 'Lacebark Elm' / Chinese Elm Tree	B & B	

**PLANT SCHEDULE CONT.**

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT
	30	Clethra alnifolia 'Sixteen Candles' / Summersweet Clethra	3 gal	
	17	Hydrangea serrata 'Tuff Stuff' / Tuff Stuff Hydrangea	2 gal	12"-18" H
	12	Hypericum frondosum 'Sunburst' / Sunburst Hypericum	5 gal	2' height
	6	Magnolia virginiana 'Green Mile' / Green Mile Sweet Bay Magnolia	B & B	6' Ht
	63	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	2' height
	73	Viburnum plicatum 'Popcorn' / Popcorn Japanese Snowball	5 gal	
	16	Viburnum plicatum tomentosum 'Summer Snowflake' / Summer Snowflake Japanese Snowball	5 gal	4' Ht.

PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT
	21	Hemerocallis x 'Red' / Red Daylily	5 gal	6" - 12" Ht.
	67	Panicum virgatum 'Heavy Metal' / Blue Switch Grass	2 gal	2' height

SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT.
	169,500 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue	sod

**HARDSCAPE SCHEDULE**

- MULCH Double Ground Hardwood Mulch, 3" depth. 16,108 sf
- BOULDER 1,200 - 1,000 LB Cobble Stone Boulder, 3 - 5 Ft length. 3

**BMP PLANT SCHEDULE**

- NATIVE GRASS MIX BMP Plantings require Straw Double Net Erosion Control Blanket. Liatris spicata / Spike Gayfeather, Panicum virgatum / Switch Grass, Spartina pectinata / Prairie Cordgrass. 52,205 sf

**PLANT SCHEDULE CONT.**

EVERGREEN SHRUB	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT
	127	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal	4'
	25	Taxus x media 'Hicksii' / Hicks Yew	5 gal	30" ht.

UPRIGHT EVERGREEN	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT
	9	Juniperus chinensis 'Spartan' / Spartan Juniper	B & B	8' - 10' Ht.
	20	Juniperus chinensis 'Blue Heaven' / Blue Heaven Juniper	B & B	6' Ht
	6	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar	B & B	10'-12' Ht.

**SITE DATA**

	Quantity	Required	Existing	Provided	Total
<b>Site Area</b>	357,185				
<b>Open Space Req</b>					
landscape 20% of lot area		71,437.04		214,872.09	
1 tree btwn bldg front & street		Y	Y	Y	
<b>Building Planting</b>					
5' wide perimeter around foundation		Y	Y	Y	
<b>Type A Screening</b>					
5' wide		Y	Y	Y	
6' ht w/ 12' intermittent		Y	Y	Y	
<b>Perimeter Parking Landscape</b>					
<b>Public Street</b>					
6' wide		Y	Y	Y	
1 tree/40 LF	698.89	17.47	1	17	18
<b>Island/Interior Landscape</b>					
Parking provided	261				
8' wide & 128 SF		Y	Y	Y	
1 tree/10 spaces	261	26.10	0	28	28
3 shrub /10 space	261	78.30	0	168	168
<b>Utility Screening</b>					
loading areas should be screened from public		Y	Y	Y	
<b>Monument Sign</b>					
groundcover min. 3' wide around sign base		Y	Y	Y	

PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

**LANDSCAPE PLAN**

DATE: OCTOBER 04, 2019  
BSALS PROJECT NO.: 20660002

**L1.0**